



**Murray City Planning Commission Meeting
Notice of Meeting and Agenda**

Thursday, July 3rd, 2025

Pre-Meeting: 6:00 p.m. (Poplar Room #151, Public Welcome)

The premeeting is to briefly review the agenda items and ask any questions to staff.

**Meeting Time: 6:30 p.m.
Murray City Hall, 10 East 4800 South, Council Chambers**

The public may view the Murray Planning Commission meeting via live stream at www.murraycitylive.com or <https://www.facebook.com/Murraycityutah/>. You may submit comments via email at pc@murray.utah.gov. Comments are limited to 3 minutes or less, and written comments will be entered into the meeting record. Please include your name and contact information.

Supporting materials are available at <https://www.murray.utah.gov/779/Agendas-Attachment>.

CALL MEETING TO ORDER

BUSINESS ITEMS:

1. Approval of Minutes
 - a. June 5, 2025
2. Conflict(s) of Interest
3. Approval of Findings of Fact
 - a. Gold Wheels – Conditional Use Permit
 - b. Aloha Tattoos – Conditional Use Permit

CONDITIONAL USE PERMIT(S) – ADMINISTRATIVE ACTION

4. Seyed Auto
525 West 5300 South, Suite 125
Auto sales business in the C-D, Commercial Development Zone Project # 25-057
5. La Rana Auto Sales
4195 South 500 West, #30
Auto sales business in the M-G, Manufacturing General Zone Project # 25-062

SITE PLAN REVIEW(S) – ADMINISTRATIVE ACTION

6. Holy Protection Orthodox Church
Site plan approval for construction of a new church building in the G-O, General Office Zone Project #25-050
7. Murray Tower Plaza
Design review and Master Site Plan approval for the development of a mixed-use project. Project # 25-015

LAND USE ORDINANCE TEXT AMENDMENT(S) – LEGISLATIVE ACTION

8. Chapter 17.24.050 Major Home Occupation & all chapters pertaining to Residential zoning districts.

Project # 25-031

Amendment to the Murray City Land Use Ordinance to increase the amount of children allowed in residential daycare facilities from twelve (12) to sixteen (16)

ANNOUNCEMENTS AND QUESTIONS

ADJOURNMENT

The next scheduled meeting will be held on Thursday, July 17th, 2025, at 6:30 p.m. MST in the Murray City Council Chambers, 10 East 4800 South, Murray, Utah.

Those wishing to have their comments read into the record may send an email by 5:00 p.m. the day prior to the meeting date to pc@murray.utah.gov. Comments are limited to three minutes or less (approximately 300 words for emails) and must include your name and address.

Special Accommodations for the hearing or visually impaired will be made upon a request to the office of Murray City Recorder (801-264-2662). We would appreciate notification two working days prior to the meeting. TTY is Relay Utah at #711.

Committee members may participate in the meeting via telephonic communication. If a Committee member does participate via telephonic communication, the Committee member will be on speakerphone. The speakerphone will be amplified so that the other Committee members and all other persons present will be able to hear all discussions.

No agenda item will begin after 10:00 p.m. without a unanimous vote of the Commission.

At least 24 hours prior to the meeting, a copy of the foregoing notice was sent to the City Recorder to post in conspicuous view in the front foyer of the Murray City Center, Murray, Utah. A copy of this notice was also posted on Murray City's internet website www.murray.utah.gov and the state noticing website at <http://pmn.utah.gov>.



MURRAY CITY PLANNING COMMISSION

MEETING MINUTES

June 5, 2025

6:30 P.M. MDT

Murray City Council Chambers, 10 East 4800 South, Murray, Utah

CALL MEETING TO ORDER

MEMBERS PRESENT

Present: Michael Richards, Chair
Ned Hacker
Aaron Hildreth
Peter Klinge
Jake Pehrson
Katie Rogers
Chad Wilkinson, CED Director
Zachary Smallwood, Planning Division Manager
Members of the Public (per sign-in sheet)

Excused: Pete Hristou, Vice Chair

Chair Richards called the meeting to order at 6:00 p.m.

STAFF REVIEW MEETING

The Staff Review meeting was held from 6:00 p.m. to 6:30 p.m. The Planning Commission members briefly reviewed the applications on the agenda. An audio recording is available at the Murray City Community and Economic Development Department Office.

BUSINESS ITEM(S)

APPROVAL OF MINUTES

Commissioner Klinge made a motion to approve the minutes for May 1, 2025. Seconded by Commissioner Pehrson. A voice vote was made, with all in favor.

Commissioner Rogers made a motion to approve the minutes for May 15, 2025. Seconded by Commissioner Klinge. A voice vote was made, with all in favor.

CONFLICT(S) OF INTEREST

There were no conflicts of interest for this meeting.

APPROVAL OF FINDINGS OF FACT

Commissioner Klinge made a motion to approve the findings of facts for Gold Wheels conditional use permit and Aloha Tattoos conditional use permit. Seconded by Commissioner Pehrson. A voice vote was made, with all in favor.

SUBDIVISION REVIEW(S) – ADMINISTRATIVE ACTION

49th Street Galleria Subdivision - Project # 25-052 - 4998 South Galleria Drive Preliminary and Final Subdivision review for a six (6) lot subdivision in the MCMU Zoning District

Tyler Morris was present to represent this request. Zachary Smallwood presented the application for subdivision approval, to divide the project into six individual lots, located in the MCMU zone. He provided some details regarding the property. He said a portion of the property may end up for sale once the lots are divided. He showed a map of the proposed lots, providing some details regarding how they were divided and the size of each one. Notices were sent to property owners and affected entities. One phone call was received with questions. Staff recommends that the Planning Commission grant the preliminary and final subdivision approval.

A discussion was had regarding the applicant's intent to sell the townhomes once developed. Commissioner Pehrson said that a decision can't be made based on their intent to sell.

Commissioner Klinge and Mr. Smallwood had a discussion regarding the approval process for each of the projects that fall under the master site plan approval. Mr. Smallwood said, unless something about one of the projects changes, they will not need to come before the Planning Commission for additional review.

Tyler Morris approached the podium. Chair Richards asked if he had read and could comply with the conditions. He said he could. He elaborated on the overall plan for development. He provided a brief summary on what would be done on each lot. He said he intends for the commercial building to be owned by someone else. He also intends to sell the townhome components, with possibly a few for rent.

Chair Richards opened this agenda item for public comment.

Michael Todd said that he owns an adjacent parcel of land. He said he's tried to negotiate a sale with someone from the development company with no success. He said that's worked hard to clean up the site to sell it. He really wants to incorporate it into this project. He asked the planning commission to decide what should be done with his parcel.

Chair Richards closed the public comment period for this agenda item.

Chair Richards responded to Mr. Todd's comment saying that he can only encourage more discussion between the two parties. He said the city is open to any discussion Mr. Todd would like to have regarding the development of the parcel.

Commissioner Klinge asked what type of development is allowed on Mr. Todd's property. Mr. Smallwood said it allows for residential or mixed-use. He said because it's not a principal frontage, it doesn't require commercial on that frontage.

Commissioner Pehrson made a motion that The Planning Commission grant Preliminary and Final Subdivision Approval for the 49th Street Galleria Subdivision on the properties addressed 4998 South Galleria Drive subject to the following conditions:

1. The project shall meet Murray City Engineering requirements including the following:
 - a. Meet City subdivision requirements and standards – City Code Title 16.
 - b. Provide Galleria Drive dedication – City Code 17.76.120
 - c. Address all engineering and survey review comments prior to printing the plat to mylar.
2. The project shall meet all applicable fire code standards and provide adequate numbers and placement of hydrants.
3. The subdivision shall include the installation of street lighting in accordance with Murray City Power Department standards.
4. All lots within the subdivision shall comply with the standards for lots in the MCMU Zone as outlined in Chapter 17.146 of the Murray City Land Use Ordinance.
5. The applicant shall prepare a Final Subdivision Plat which complies with all requirements of Title 16, Murray City Subdivision Ordinance.
6. The applicant shall meet all Water and Wastewater Department requirements.
7. The subdivision plat shall be recorded within one year of the final approval by the Planning Commission or the subdivision plat approval shall be null and void.

Seconded by Commissioner Rogers. Roll call vote:

A Hacker
A Hildreth
A Klinge
A Pehrson
A Richards
A Rogers

Motion passes: 6-0

LAND USE ORDINANCE TEXT AMENDMENT(S) – LEGISLATIVE ACTION

Chapter 17.08 Definitions & 17.68 Landscape Requirements - Project # 25-055 - Amendments to the landscape requirements to allow residents to qualify for the Utah Water Savers rebate program and minor clarification items

Zachary Smallwood presented this agenda item. He said that this is a text amendment to the landscape requirements allowing residents to qualify for the Utah Water Savers rebate program, as well as some minor modifications of sections that have been needing cleaned up in the code. He discussed adding three definitions to the amendment – active recreation areas, activity zones and turf grass. He said that the requirement for applicants to provide hard copies needs to be removed, since the Building Division only accepts electronic applications now. Mr. Smallwood said they are amending the process to allow for staff to make minor modifications without having to go through the formal process of modifying code. He said they need to remove the exemption for single-family and two-family dwellings; however, staff needs to see landscaping plans when a building permit is applied for. He said they are requesting a modification to the requirement for landscaping to cover 50% at the time of planting to be covered 50% at maturity. He said that staff updated the language used in the code for the landscape setback. He also said the language in the code referring to the MU zone was removed, and the terms for CC-FBC, MCMU, Centers Mixed Use, and Village Mixed Use were added. Mr. Smallwood discussed an addition to the residential section of the code regarding lawn restrictions. He said that lawn shall not be located in areas smaller than eight feet wide. It shall not be installed in park strips, paths or slopes greater than 25% grade. Also, the language stating that lawn shall not exceed 20% of the landscaped area outside of active recreation areas has been increased to 35% on residential in the front and side yards of new residential construction. Notices were sent to affected entities and posted on the city and state public meeting website. One phone call was received from Granite School District with questions regarding grass at Cottonwood High School. Staff recommends that the Planning Commission forward a recommendation of approval to the City Council for the proposed amendments.

Commissioner Hacker asked if only residents can apply for the Utah Water Savers rebate program. Mr. Smallwood said that commercial properties may apply for it as well.

Commissioner Klinge clarified that the landscaping requirements apply moving forward. Mr. Smallwood said yes, this applies to new or remodeled construction.

Commissioner Pehrson asked if these amendments aren't approved, is the only ramification that residents won't be able to apply for the program. Mr. Smallwood said that's correct. Commissioner Pehrson asked if the eight-foot requirement is something that the city decided. Mr. Smallwood said it's a state standard.

Commissioner Pehrson and Mr. Smallwood had a discussion about what would trigger an existing resident or commercial property to have to comply with the new requirements. Mr. Smallwood said for residential it would be new construction or complete rebuild and for commercial it would be an application for conditional use permit, a 50% improvement or a site plan.

Commissioner Pehrson asked if parking strips are required in Murray City. Mr. Smallwood said they are. Mr. Pehrson asked if the city code could be changed so that they aren't required. Mr. Smallwood said it could, but he would not be in favor of it, as the provide pedestrian safety.

A discussion was had regarding the need to change landscaping requirements so a few residents could take advantage of the program. Mr. Smallwood said that, as water issues across the state increase, more residents are looking to take advantage of the program. Residents haven't been able to apply because Murray City has previously not met the landscaping standards. Adopting the proposed standards will allow Murray City to participate in the program. He said that most other cities have adopted these standards.

Commissioner Hacker and Mr. Smallwood had a discussion regarding the standards as they relate to commercial properties. Commissioner Hacker asked how the standards apply when an applicant is applying for a conditional use permit and needs to meet those landscaping requirements. Mr. Smallwood said that the city still wants to see planted material, they just want to reduce the amount of lawn.

Commissioner Pehrson wanted to confirm that the program is not just applicable to the park strip. Mr. Smallwood said the rebate applies to a park strip as well as landscaping a front lawn. A discussion was had regarding the difference between the Flip Your Strip and Utah Water Saver's programs.

Chair Richards opened the agenda item for public comment.

Rachel Palmer spoke in favor of the proposed amendments to the landscaping code. She is pleased that she'll be able to apply for the Utah Water Saver's program. She added that the standards may seem arbitrary, but they are supported by scientific evidence.

Chair Richards closed the public comment period for this agenda item.

Commissioner Rogers made a motion that the Planning Commission forward a recommendation of approval to the City Council for the proposed amendments to Chapters 17.08 Definitions and 17.68 Landscaping Requirements as reviewed in the Staff Report.

Seconded by Commissioner Klinge.

Commissioner Rogers amended her motion to include the definition of lawn to include turfgrass.
Roll call vote:

<u>A</u>	Hacker
<u>A</u>	Hildreth
<u>A</u>	Klinge
<u>N</u>	Pehrson
<u>A</u>	Richards
<u>A</u>	Rogers

Motion passes: 6-0

Residential Yard Exceptions Amendments - Project # 25-056 - Amendments to the residential yard exception standards in all residential zoning districts allowing roof extensions into the front and rear setback areas

Zachary Smallwood presented this agenda item. He said this is an amendment for all residential zones allowing roof extensions into the front and rear setback areas. He showed images to illustrate the proposed changes. His example included a scenario where a resident wants to add a patio cover or porch extension. The extension could be up to half of the width of the dwelling but may not be closer than ten feet from the rear property line. In the front, it can encroach up to seven feet but may not be any closer than twenty feet from the property line. The roof or canopy must be open on all three sides, except for supporting columns and footings. Public notices were sent to surrounding properties. Staff recommends that the Planning Commission forward a recommendation of approval to the City Council.

Commissioner Hildreth clarified with Mr. Smallwood how the encroachment will work.

A discussion was had regarding the old code versus the new code. Mr. Smallwood said that the old code was much more restrictive.

Chair Richards opened the agenda item for public comment. Seeing no comments, the public comment period was closed.

Commissioner Hildreth made a motion that the Planning Commission forward a recommendation of approval to the City Council for the proposed amendments to 17.92: Agricultural A-1; 17.96 Single-Family Medium Density Residential District R-1-6; 17.100 Single-Family Low Density Residential District R-1-8; 17.104 Single-Family Low Density Residential District R-1-10; 17.108 Single-Family Low Density Residential District R-1-12; 17.112 Medium Density Residential District R-2-10; 17.116 Multiple-Family Low Density Residential District R-M-10; 17.120 Multiple-Family Medium Density Residential District R-M-15; 17.124 Multiple-Family High Density Residential District R-M-20; and 17.128 Multiple-Family High Density Residential District R-M-25 as reviewed in the Staff Report.

Seconded by Commissioner Klinge. Roll call vote:

<u>A</u>	Hacker
<u>A</u>	Hildreth
<u>A</u>	Klinge
<u>A</u>	Pehrson
<u>A</u>	Richards
<u>A</u>	Rogers

Motion passes: 6-0

ANNOUNCEMENTS AND QUESTIONS

The next scheduled meeting will be held on July 3, 2025, at 6:30 p.m. MDT in the Murray City Council Chambers, 10 East 4800 South, Murray, Utah.

ADJOURNMENT

Chair Richards adjourned the meeting at 7:28 p.m.

A recording of this meeting is available for viewing at <http://www.murray.utah.gov> or in the Community and Economic Development office located at 10 East 4800 South, Suite 260.

The public was able to view the meeting via the live stream at <http://www.murraycitylive.com> or <https://www.facebook.com/Murraycityutah/>. Anyone who wanted to make a comment on an agenda item was able to submit comments via email at planningcommission@murray.utah.gov.

Zachary Smallwood, Planning Division Manager
Community & Economic Development Department



AGENDA ITEM #4 – Seyed Auto

ITEM TYPE:	Conditional Use Permit to allow an auto sales business		
ADDRESS:	525 West 5300 South Suite 125	MEETING DATE:	July 3 rd , 2025
APPLICANT:	Seyed Amir Adabkhah	STAFF:	Ruth Ruach, Planner 1
PARCEL ID:	21-12-356-003	PROJECT NUMBER:	#25-057
ZONE:	C-D, Commercial Development		
SIZE:	0.74-acre site 330 ft ² unit		
REQUEST:	The applicant is requesting Conditional Use Permit approval to allow an auto sales business within the C-D Zone on the property located 525 West 5300 South.		



I. LAND USE ORDINANCE

Section 17.160.030 of the Murray City Land Use Ordinance allows auto sales businesses (LU #5511) within the C-D zoning district subject to Conditional Use Permit approval.

II. BACKGROUND

Project Location

The subject property is located on 5300 South and north of the Hidden Village Park.

Surrounding Land Use and Zoning

<u>Direction</u>	<u>Land Use</u>	<u>Zoning</u>
North	Residential	R-N-B
South	Parks and Open Space	R-1-8
East	Professional Services	C-D
West	Parks and Open Space	C-D

Project Description

The applicant is requesting a Conditional Use Permit to establish an auto sales office within an existing office building. The applicant emphasizes that the office suite will accommodate administrative functions and sales activities for the auto business and that no vehicle storage will occur on the property.

Landscape

Per Murray City Code sections 17.68.040 and 17.160.100, to meet minimum code requirements, the applicant will be required to work with the property owner to install additional landscaping along 5300 South as shown below:

Frontage	Trees	5-gallon Shrubs	1-gallon Shrubs
5300 South, 134 Feet	4	7	13

Access and Parking

The subject property has one twenty-eight (28') foot wide access point from 5300 south. According to 17.160.090, office uses require four (4) parking stalls for every 1000 square feet of net usable floor area. The applicant will provide five (5) parking stalls, which exceeds the number of required stalls.

III. LAND USE ORDINANCE STANDARDS REVIEW

Murray City Code Section 17.56.060 outlines the following standards of review for conditional uses.

- A. That the proposed use of the particular location is necessary or desirable to provide a service or facility which will contribute to the general well-being of the community and the neighborhood.**

With compliance to city regulations, the proposed use will provide a service that will contribute to the success of the entire area.

- B. That such use will not, under the circumstances of the particular case, be detrimental to the health, safety or general welfare of person residing or working in the vicinity, or injurious to property or improvements in the vicinity.**

The proposed use will not be detrimental to the health, safety, or general welfare of persons working in the vicinity.

- C. That the proposed use will stress quality development with emphasis towards adequate buffering, landscaping, proper parking, and traffic circulation, use of appropriate gradation of building height away from single family districts and density to create privacy and compatibility with surrounding uses, use of building materials which are in harmony with the area, impact on schools, utilities, and streets.**

With conditions, the proposed use will integrate well into the area. Staff does not anticipate a significant impact on the surrounding area and businesses.

- D. That the applicant may be required to provide such reports and studies which will provide information relating to adequate utilities, traffic impacts, school impacts, soil and water target studies, engineering reports, financing availability, market considerations, neighborhood support and any other information which may be needed in order to render a proper decision.**

Murray City Planning Division Staff has determined that the applicant has submitted sufficient information for an adequate review of this Conditional Use Permit application by Murray City Staff and the Murray City Planning Commission. Additional materials may be required after the Planning Commission's review or as stated in the Staff Report.

IV. CITY DEPARTMENT REVIEW

The application materials for the auto sales business were made available to Murray City department staff for review and comment on June 19th, 2025. Reviewing personnel included the Engineering and Building Divisions, and the Water, Sewer, Power, and Fire Departments. All reviewing departments recommended approval without conditions or concerns.

V. PUBLIC INPUT

Sixteen (16) notices of the public meeting were sent to all property owners for parcels located within 300 feet of the subject property. As of the date of this report, staff has not received any public comments.

VI. FINDINGS

Based on the analysis of the Conditional Use Permit application to allow an automobile sales business, staff concludes the following:

1. The proposed use for an auto sales business (LU #5511), is allowed in the C-D Commercial Development Zoning District subject to Conditional Use Permit approval.
2. With conditions as outlined in the staff report, the proposed use and property will comply with the standards of the Murray City Land Use Ordinance.
3. The proposed use is not contrary to the goals and objectives of the Murray City General Plan in this area.

VII. CONCLUSION/RECOMMENDATION

Based on the information presented in this report, application materials submitted and a site review, staff recommends that the **Planning Commission APPROVE a Conditional Use Permit to allow an auto sales business at the property addressed 525 West 5300 South Suite #125**, subject to the following conditions:

1. The applicant shall obtain a Murray City Business License prior to beginning operations at this location.
2. Prior to business license approval, the applicant and the property owner shall install additional landscaping along 5300 South so that the property is in compliance with Chapter 17.68 Landscape Requirements.
3. The applicant shall obtain a building permit prior to any remodeling that may occur.
4. The project shall comply with all applicable building and fire code standards.
5. The applicant shall obtain permits for any new attached or detached signs proposed for the business.

CONDITIONAL USE PERMIT APPLICATION

Type of Application (check one): New Construction Remodel Amendment to existing CUP
 Land Use Change Addition

Application Information

Project Name: For : Seyed Amir Adabkhah

Project Address: 525 W 5300 S Ste 125 Murray, UT 84123

Parcel Identification (Sidwell) Number: 2112356003

Parcel Area(acres): .74 Current Use: OFFICE Proposed: Auto Sales

Floor Area(square feet): 330 Zoning District: CD Land Use Code: 5510

Applicant Information

Name: Seyed Amir Adabkhah

Mailing Address: 525 W 5300 S Ste 125 City: Murray State: UT ZIP: 84123

Phone #: 801-381-3443 Fax #: _____ Email Address: Amir 881881@gmail.com

Property Owner's Information (if different)

Name: Wager and Wager LLC/Property Owner : Susan L Wager

Mailing Address: 91 Twin Waters Ln City: Ellensburg State: WA ZIP: 98926

Phone #: 801-455-9800 Fax #: _____ Email Address: Suzwager@gmail.com

Describe the request in detail (use additional pages, or attach narrative if necessary):

Seyed Amir Adabkhah applied for a Automobile dealers license. Has office at property 525 W 5300 S Ste 125 Murray UT 84123. No Vehicles will be kept at office location

Authorized Signature: _____ Date: _____

For Office Use Only

Project Number: _____

Date Accepted: _____

Planner Assigned: _____

Property Owners Affidavit

I (we) Susan Wager, being first duly sworn, depose and say that I (we) am (are) the current owner of the property involved in this application: that I (we) have read the application and attached plans and other exhibits and are familiar with its contents; and that said contents are in all respects true and correct based upon my personal knowledge.

Susan L Wager

Owner's Signature

Owner's Signature (co-owner if any)

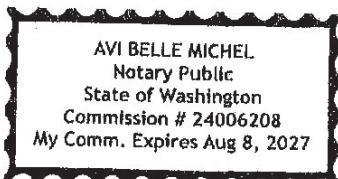
State of Utah Washington

County of Salt Lake Kittitas

Subscribed and sworn to before me this 2nd day of May, 2025.

Avi Belle Michel

Notary Public



Residing in Kittitas, WA

My commission expires: August 8th, 2027

Agent Authorization

I (we), _____, the owner(s) of the real property located at _____
in Murray City, Utah, do hereby appoint _____, as my (our) agent to represent me (us)
with regard to this application affecting the above described real property, and authorize _____
to appear on my (our) behalf before any City board or commission considering this application.

Owner's Signature

Owner's Signature (co-owner if any)

State of Utah

§

County of Salt Lake

On the _____ day of _____, 20 _____, personally appeared before me _____
the signer(s) of the above Agent Authorization who duly acknowledge to me that they executed the same.

Notary public

Residing in: _____

My commission expires: _____



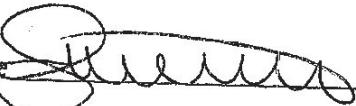
Jurat Certificate

State of Washington

County of Kittitas

Signed and sworn to (or affirmed) before me on March 19th, 2024 (date)

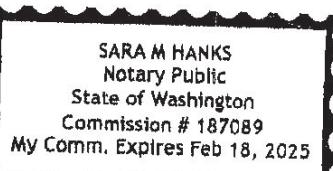
by Susan Wager (name of person making statement).

Notary Signature 

Title Notary Public

My appointment expires 02/18/2025

Place Seal Here



Description of attached document

Type or Title of Document

Property Owners Affidavit & Agent Authorization

Document Date

March 19th, 2024

Number of Pages

3 pages (including this page)

Signer(s) Other Than Named Above

NIA

Property Owners Affidavit

I (we) Susan L Wager, being first duly sworn, depose and say that I (we) am (are) the current owner of the property involved in this application: that I (we) have read the application and attached plans and other exhibits and are familiar with its contents; and that said contents are in all respects true and correct based upon my personal knowledge.

Susan L Wager
Owner's Signature

Owner's Signature (co-owner if any)

State of Utah
§
County of Salt Lake

Subscribed and sworn to before me this _____ day of _____, 20 ____.

Residing in _____ Notary Public
My commission expires: _____

Agent Authorization

I (we), Susan L Wager, the owner(s) of the real property located at 525 W. 5300 S., in Murray City, Utah, do hereby appoint Parley Turhbow, as my (our) agent to represent me (us) with regard to this application affecting the above described real property, and authorize Parley Turhbow to appear on my (our) behalf before any City board or commission considering this application.

Susan L Wager
Owner's Signature

Owner's Signature (co-owner if any)

State of Utah
§
County of Salt Lake

On the _____ day of _____, 20 ____, personally appeared before me _____ the signer(s) of the above *Agent Authorization* who duly acknowledge to me that they executed the same.

Residing in _____ Notary public
My commission expires: _____

Project # _____

OWNERS CERTIFICATION FORM
(To Be Complete and Signed by Property Owner)

Property Owner Name: Wager & Wager LLC Phone: 801-455-9800

Property Address: 525 W 5300 S Murray, UT 84107

Name of Organization/Business: _____

Contact Person: Parley Turnbow Phone: 801-274-1200

Email address: email@pdtmgt.com

Address: 6589 S. 1300 E #120 city: Salt Lake city UT Zip 84121

Project Description: _____

Additional information or comments:

Per City Code Section 17.76.180: Multi Warehouse Facilities:

A. Owners Certification: Upon application for planning and zoning commission or community development division approval for each tenant of a multiuse warehouse facility, the owner's affidavit must reflect in addition to other required information:

1. Certification that the Owner's property complies in all respects to all applicable zoning ordinances; and
2. Where applicable, further certification that the Owner's property will comply with any further conditions imposed as a result of each tenant's application for approval.

B. Parking Stalls: Each tenant shall have designated parking stalls meeting all city, state and federal requirements, including signage clearly assigning the required number of stalls to each tenant's business.

As owner of the property being considered for site plan review/conditional use permit, I will comply with Section 17.76.180 as specified above.

Signature: Susan L Wager Date: 3/19/24

Murray City Corporation
Community & Economic Development Division
4646 South 500 West
Murray UT 84123
(801) 270-2420





NOTICE OF PUBLIC HEARING

July 3rd, 2025, 6:30 PM

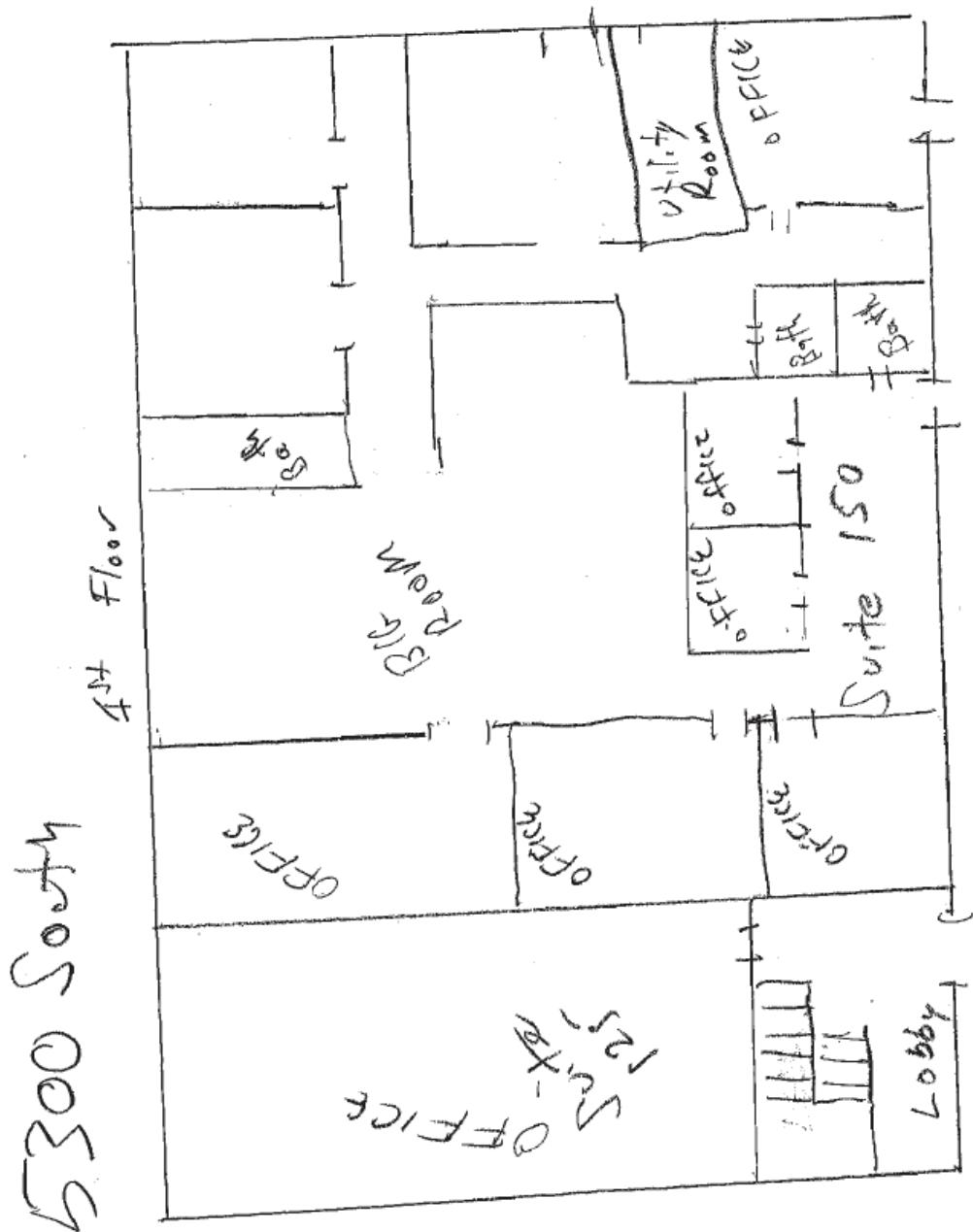
The Murray City Planning Commission will hold a public meeting in the Murray City Council Chambers, located at 10 East 4800 South to receive public comment on an application submitted by **Seyed Adabkhah** for the property located at **525 West 5300 South, Suite 125**. The applicant is requesting Conditional Use Permit approval to allow for the operation of an auto sales dealership.

To make comments regarding this application, the public may speak at the meeting, call the Murray City Planning Division at (801) 270-2430, or email pc@murray.utah.gov. You have received this notice because you own property within 300 feet of the subject property.

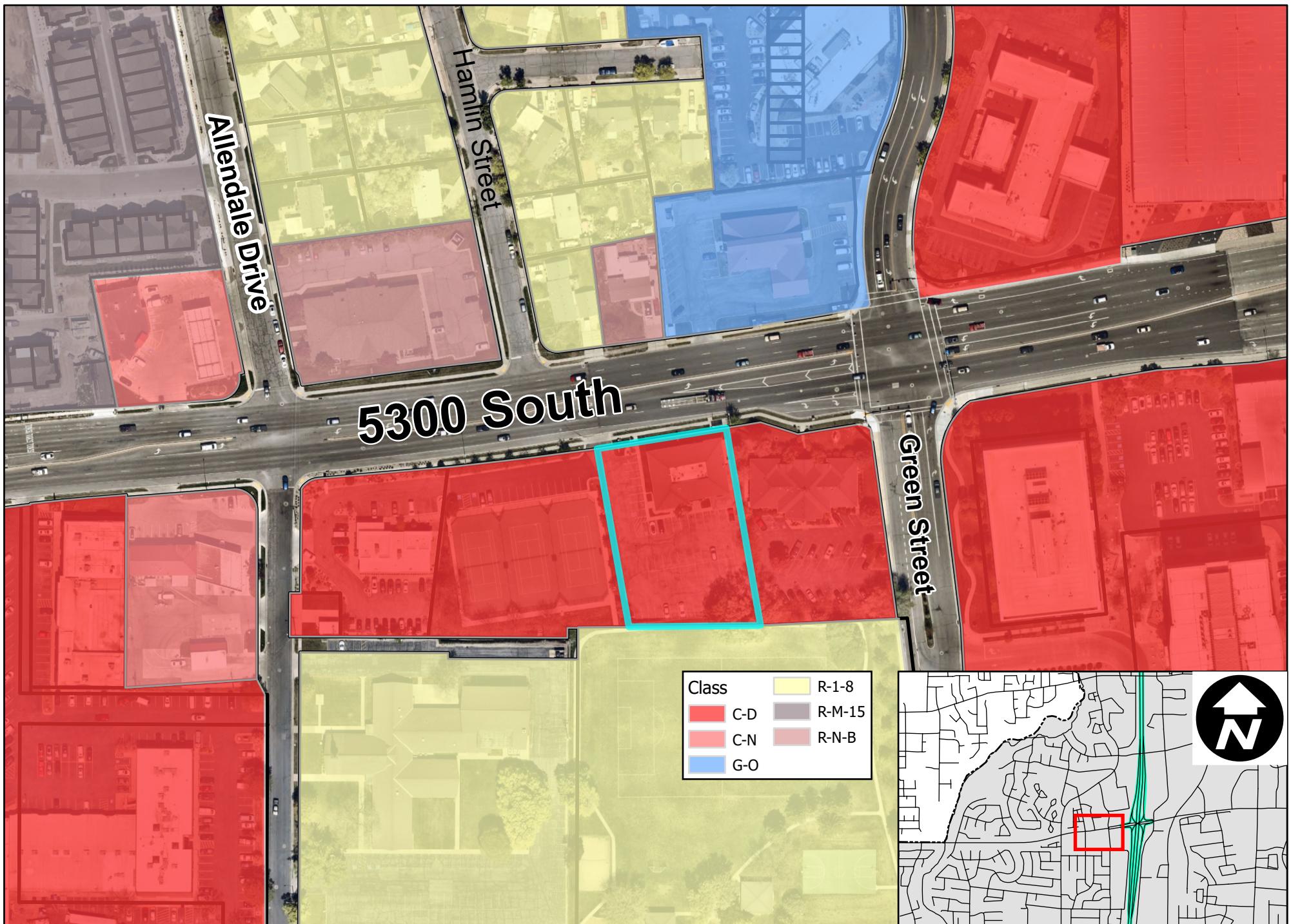
The meeting will be streamed online at www.murraycitylive.com or www.facebook.com/MurrayCityUtah/.



Special accommodations for the hearing or visually impaired will be upon a request to the office of the Murray City Recorder (801-264-2660). We would appreciate notification two working days prior to the meeting. TTY is Relay Utah at #711.



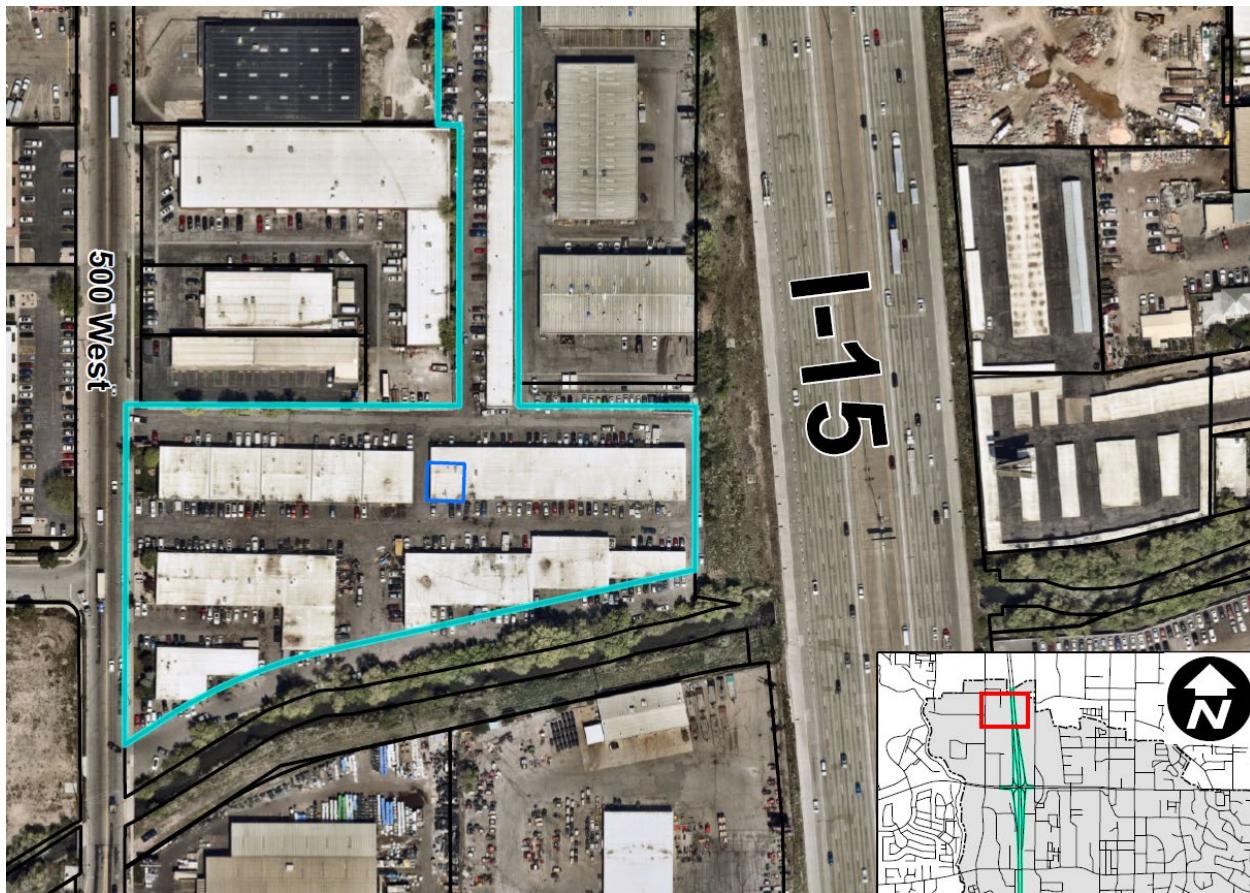
525 West 5300 South Suite 125





AGENDA ITEM #5 – La Rana Auto Sales

ITEM TYPE:	Conditional Use Permit to allow an auto sales business		
ADDRESS:	4195 South 500 West, #30	MEETING DATE:	July 3 rd , 2025
APPLICANT:	Jose Rojas	STAFF:	Ruth Ruach, Planner 1
PARCEL ID:	21-01-126-007	PROJECT NUMBER:	#25-062
ZONE:	M-G, Manufacturing General		
SIZE:	5.37-acre site 847 ft ² unit		
REQUEST:	The applicant is requesting Conditional Use Permit approval to allow an auto sales business within the M-G Zone on the property located 4195 South 500 West, #30.		



I. LAND USE ORDINANCE

Section 17.152.030 of the Murray City Land Use Ordinance allows auto sales businesses (LU #5511) within the M-G zoning district subject to Conditional Use Permit approval.

II. BACKGROUND

Project Location

The subject property is located east of I-15 and north of Big Cottonwood Creek. The subject property is located within an area referred to as “Garco”, an area characterized by large warehouse buildings and a history of industrial and auto related uses. The proposed auto sales business will occupy an existing unit on the site. All surrounding properties are located within the M-G, Manufacturing General zoning district.

Project Description

The proposed operation aims to provide a retail outlet for vehicle sales, utilizing a portion of the existing warehouse structure, unit #30. The applicant wishes to provide a convenient location for auto sales that is compatible with the industrial character of the area and complement auto services nearby.

Landscaping

The landscaping currently on the property meets the standards outlined in the code.

Access & Parking

Based on the requirement of one space for each 250 square feet of net office space, staff calculated that three (3) parking spaces are required. Utah state licensing regulations generally require auto sales businesses to have at least three (3) spaces for display vehicles. The applicant will provide three (3) parking spaces which can be accessed via three (3) access points from 500 West.

III. LAND USE ORDINANCE STANDARDS REVIEW

Murray City Code Section 17.56.060 outlines the following standards of review for conditional uses.

- A. That the proposed use of the particular location is necessary or desirable to provide a service or facility which will contribute to the general well-being of the community and the neighborhood.**

With compliance to city regulations, the proposed use will provide a service that will contribute to the operations of an industrial and manufacturing complex.

- B. That such use will not, under the circumstances of the particular case, be detrimental to**

the health, safety or general welfare of person residing or working in the vicinity, or injurious to property or improvements in the vicinity.

The proposed use will not be detrimental to the health, safety, or general welfare of persons working in the vicinity.

C. **That the proposed use will stress quality development with emphasis towards adequate buffering, landscaping, proper parking, and traffic circulation, use of appropriate gradation of building height away from single family districts and density to create privacy and compatibility with surrounding uses, use of building materials which are in harmony with the area, impact on schools, utilities, and streets.**

Several auto businesses are located on the subject property, which shows the proposed use is compatible with other uses in the area. Staff is anticipating very little impact on the surrounding area.

D. **That the applicant may be required to provide such reports and studies which will provide information relating to adequate utilities, traffic impacts, school impacts, soil and water target studies, engineering reports, financing availability, market considerations, neighborhood support and any other information which may be needed in order to render a proper decision.**

Murray City Planning Division Staff has determined that the applicant has submitted sufficient information for an adequate review of this Conditional Use Permit application by Murray City Staff and the Murray City Planning Commission. Additional materials may be required after the Planning Commission's review or as stated in the Staff Report.

IV. CITY DEPARTMENT REVIEW

The application materials for the auto sales business were made available to Murray City department staff for review and comment on June 19th, 2025. Reviewing personnel included the Engineering and Building Divisions, and the Water, Sewer, Power, and Fire Departments. All reviewing departments recommended approval without conditions or concerns.

V. PUBLIC INPUT

Eight (8) notices of the public meeting were sent to all property owners for parcels located within 300 feet of the subject property. As of the date of this report, staff has not received any public comments.

VI. FINDINGS

Based on the analysis of the Conditional Use Permit application to allow an automobile sales business, staff concludes the following:

1. The proposed use for an auto sales business (LU #5511), is allowed in the M-G Manufacturing General Zoning District subject to Conditional Use Permit approval.
2. With conditions as outlined in the staff report, the proposed use and property will comply

with the standards of the Murray City Land Use Ordinance.

3. The proposed use is not contrary to the goals and objectives of the Murray City General Plan in this area.

VII. CONCLUSION/RECOMMENDATION

Based on the information presented in this report, application materials submitted and a site review, staff recommends that the **Planning Commission APPROVE a Conditional Use Permit to allow an auto sales business at the property addressed 4195 South 500 West #30**, subject to the following conditions:

1. The applicant shall obtain a Murray City Business License prior to beginning operations at this location.
2. The applicant shall obtain a building permit prior to any remodeling that may occur.
3. Prior to approval of the business license, the applicant and/or property owner must stripe parking.
4. The project shall comply with all applicable building and fire code standards.
5. The applicant shall obtain permits for any new attached or detached signs proposed for the business.

CONDITIONAL USE PERMIT APPLICATION

Type of Application(check one): New Construction Remodel Amendment to existing CUP
 Land Use Change Addition

Application Information

Project Name: La Rana Auto Sales and motor Services

Project Address: 4195 S. 500 W #30 Murray City Utah 84123

Parcel Identification (Sidwell) Number: _____

Parcel Area(acres): _____ Current Use: _____ Proposed: _____

Floor Area(square feet): _____ Zoning District: _____ Land Use Code: _____

Applicant Information

Name: Mairy Reina / Jose Rojas

Mailing Address: 4391 W Short Leaf Dr. City: West Jordan State: UT ZIP: 84088

Phone #: 801-347-6726 Fax #: _____ Email Address: larana.dealer@gmail.com

Property Owner's Information (If different)

Name: Skye Gordon

Mailing Address: PO Box 571367 City: SLC State: UT ZIP: 84157

Phone #: 801-688-3305 Fax #: _____ Email Address: _____

Describe the request in detail (use additional pages, or attach narrative if necessary):

Authorized Signature: Skye Gordon Date: 6-10-2025

For Office Use Only

Project Number: PZ-25-062 Date Accepted: 06/11/2025

Planner Assigned: RWM

OWNERS CERTIFICATION FORM
(To Be Complete and Signed by Property Owner)

Property Owner Name: Skye Gordon Phone: 801-688-3305

Property Address: 419 S. 500 W. Murray, UT 84123

Name of Organization/Business: S.C.W. Development

Contact Person: _____ Phone: _____

Address: _____ City: _____ UT Zip: _____

Email address: SCWUtah@outlook.com

Project Description: _____

Additional information or comments:

Per City Code Section 17.76.180: Multi Warehouse Facilities:

A. Owners Certification: Upon application for planning and zoning commission or community development division approval for each tenant of a multiuse warehouse facility, the owner's affidavit must reflect in addition to other required information:

1. Certification that the Owners property complies in all respects to all applicable zoning ordinances; and
2. Where applicable, further certification that the Owner's property will comply with any further conditions imposed as a result of each tenant's application for approval.

B. Parking Stalls: Each tenant shall have designated parking stalls meeting all city, state and federal requirements, including signage clearly assigning the required number of stalls to each tenant's business.

As owner of the property being considered for site plan review/conditional use permit, I will comply with Section 17.76.180 as specified above.

Signature: Skye Gordon Date: 6-10-2025

Murray City Corporation
Community & Economic Development
10 East 4800 South, Suite 260
Murray, UT 84107
(801) 270-2430

Property Owners Affidavit

I (we) Skye Gordon, being first duly sworn, depose and say that I (we) am (are) the current owner of the property involved in this application: that I (we) have read the application and attached plans and other exhibits and are familiar with its contents; and that said contents are in all respects true and correct based upon my personal knowledge.



Owner's Signature

Owner's Signature (co-owner if any)

State of Utah

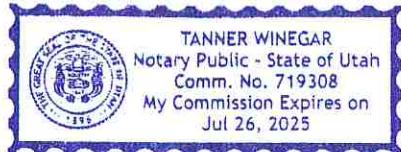
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County of Salt Lake

Subscribed and sworn to before me this 10 day of June, 20 25.


Notary Public

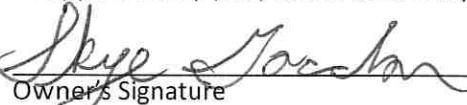
Residing in Murray, Utah



My commission expires: July 26, 2025

Agent Authorization

I (we), Skye Gordon, the owner(s) of the real property located at 4195 S. 500 W., in Murray City, Utah, do hereby appoint _____, as my (our) agent to represent me (us) with regard to this application affecting the above described real property, and authorize _____ to appear on my (our) behalf before any City board or commission considering this application.


Owner's Signature

Owner's Signature (co-owner if any)

State of Utah

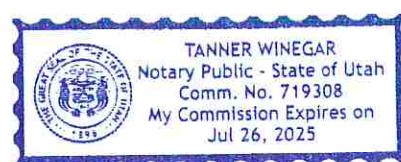
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County of Salt Lake

On the 10 day of June, 20 25, personally appeared before me Tanner Winegar the signer(s) of the above Agent Authorization who duly acknowledge to me that they executed the same.


Notary public

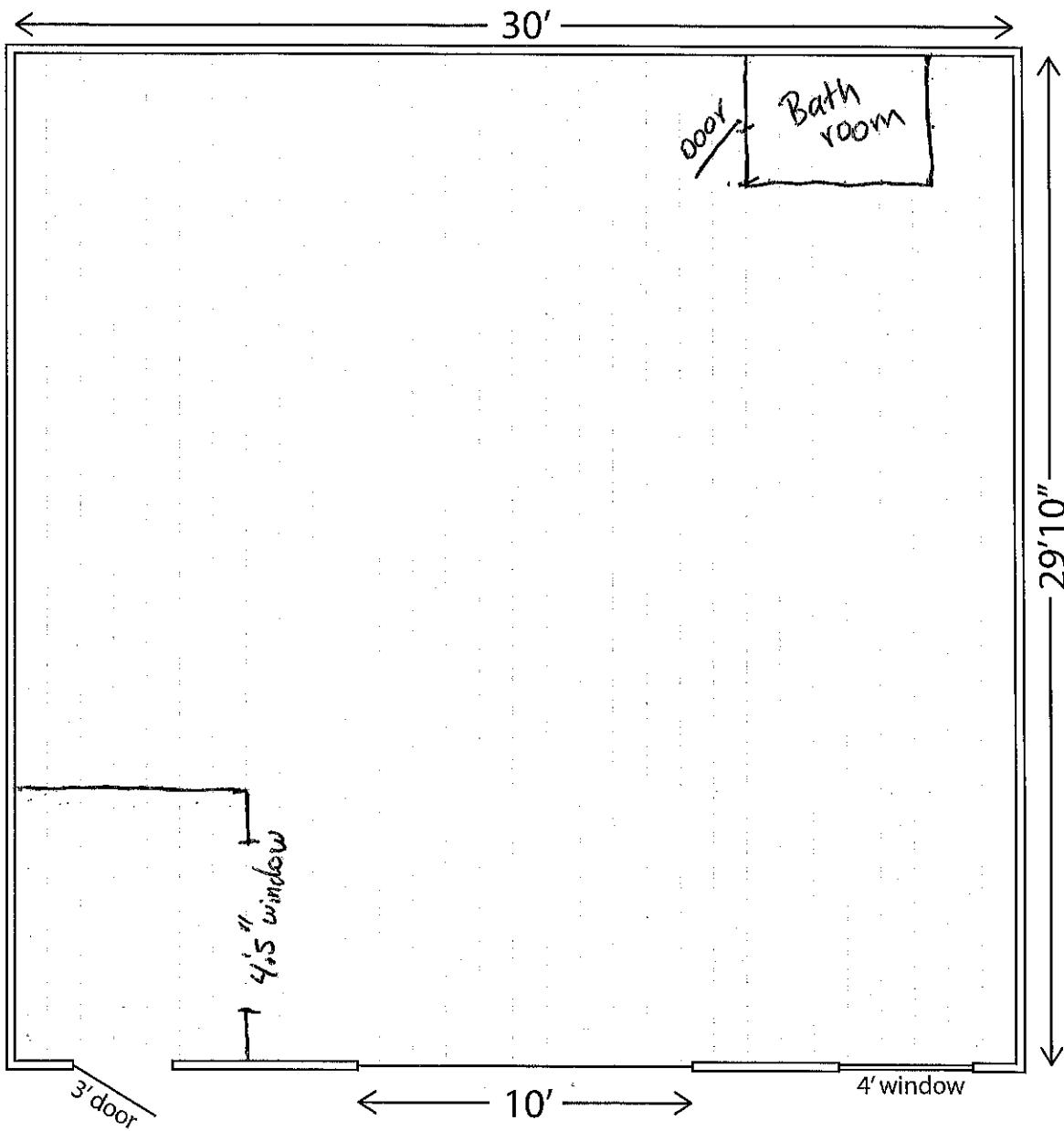
Residing in Murray, Utah



My commission expires: July 26, 2025

4195 South 500 West
Unit 30

Standard Unit
Floorplan



1 inch = 5 feet

- Fire Sprinklers
- Spray Booth
- ADA stalls
- Grease Trap

3 Parking stalls

Garco Unit Numbers

4195 South 500 West





NOTICE OF PUBLIC HEARING

July 3rd, 2025, 6:30 PM

The Murray City Planning Commission will hold a public meeting in the Murray City Council Chambers, located at 10 East 4800 South to receive public comment on an application submitted by **Jose Rojas** for the property located at **4195 South 500 West, #30**. The applicant is requesting Conditional Use Permit approval to allow for the operation of an auto sales dealership.

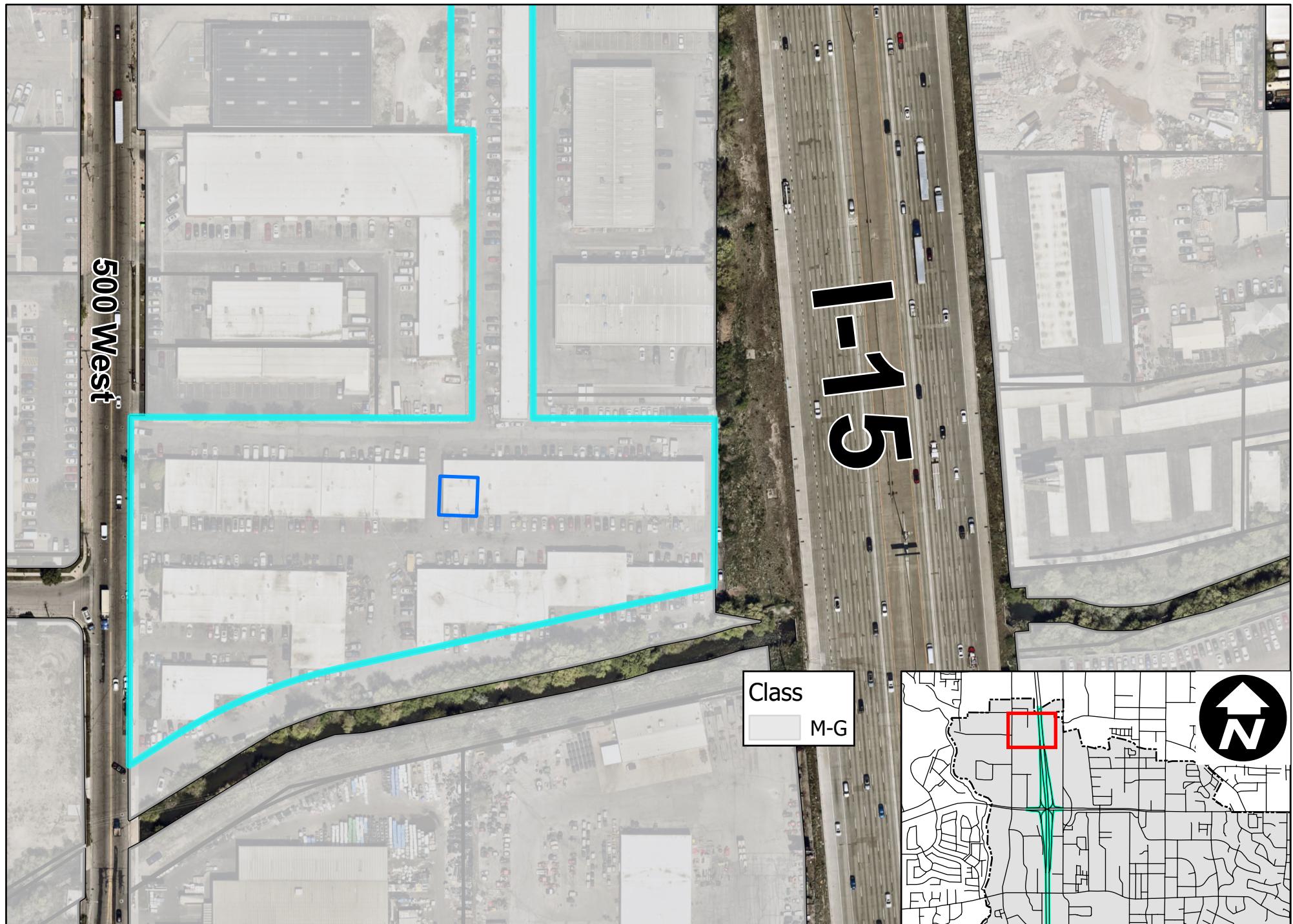
To make comments regarding this application, the public may speak at the meeting, call the Murray City Planning Division at (801) 270-2430, or email pc@murray.utah.gov. You have received this notice because you own property within 300 feet of the subject property.

The meeting will be streamed online at www.murraycitylive.com or www.facebook.com/MurrayCityUtah/.



Special accommodations for the hearing or visually impaired will be upon a request to the office of the Murray City Recorder (801-264-2660). We would appreciate notification two working days prior to the meeting. TTY is Relay Utah at #711.

4195 South 500 West #30





AGENDA ITEM #5 Holy Protection Orthodox Church

ITEM TYPE:	Site Plan Approval for a Church		
ADDRESS:	6109 South 900 E	MEETING DATE:	July 3 rd , 2025
APPLICANT:	Travis Sheppard, GSBS Architects	STAFF:	David Rodgers, Senior Planner
PARCEL ID:	22-17-319-032-4001 & 22-17-379-032-4002	PROJECT NUMBER:	25-050
ZONE:	G-O, General Office		
SIZE:	8,076 sq. ft. building, .53-acre site		
REQUEST:	The applicant is requesting site plan approval for construction of a new 8,076 sq. ft. church building.		



I. LAND USE ORDINANCE

Sections 17.54.020 and 17.144.040 of the Murray City Land Use Ordinance require new construction and significant modifications of existing buildings and sites in the G-O Zone to be reviewed and approved by the Planning Commission.

II. BACKGROUND

Project Location

The proposed building will be located on the east side of 900 East and south of 5900 South/Vine Street. The Site is currently vacant and adjacent to an office space and single-family neighborhoods.

Surrounding Land Use and Zoning

<u>Direction</u>	<u>Land Use</u>	<u>Zoning</u>
North	Office	G-O
South	Vacant	A-1
East	Low Density Residential	A-1
West	Low Density Residential	R-1-8

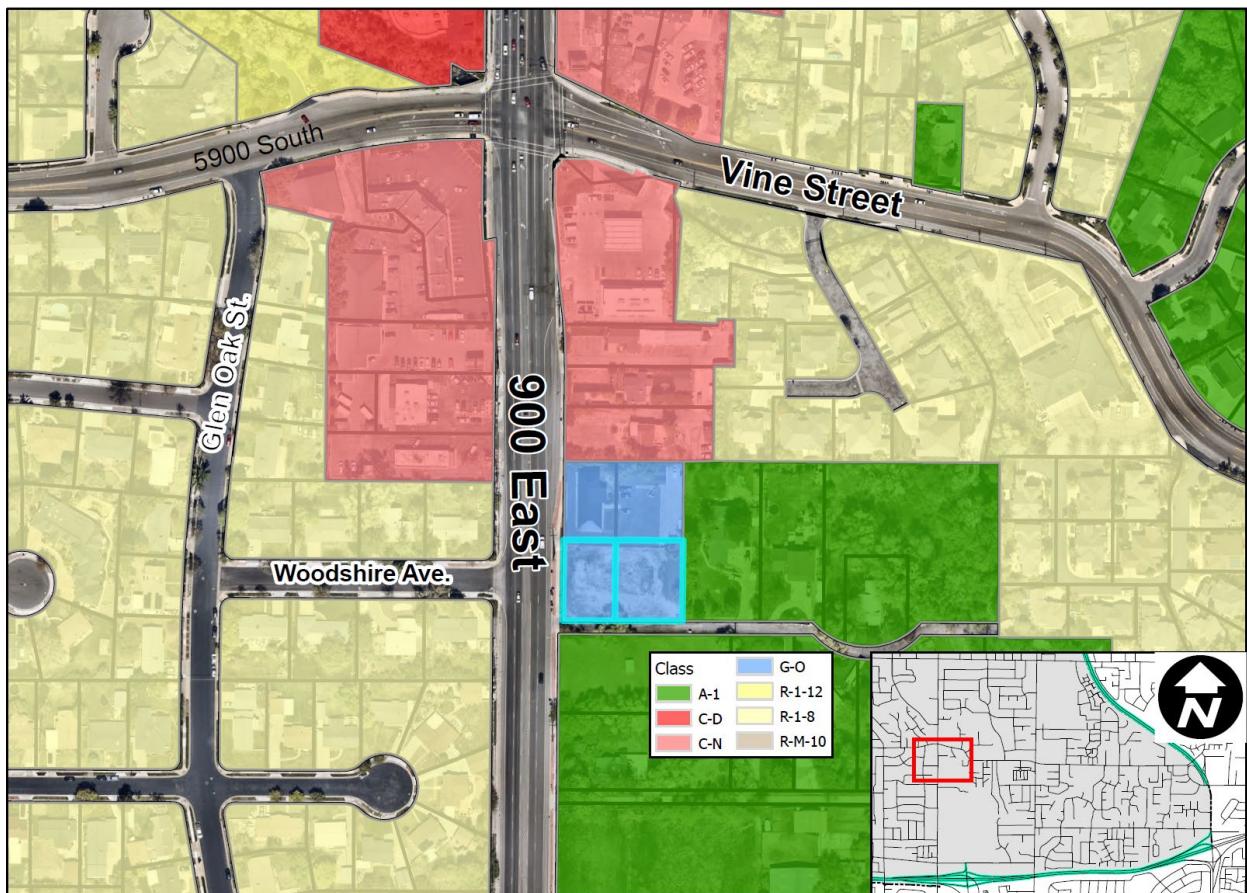


Figure 1: Zoning Map

Project Description & Review

Access & Circulation

This site faces 900 East and will be accessed via a private road to the south of the property. There is an existing right of way easement that allows them access to the private road which has been included in your packet for you to review. Murray City Engineering and Fire are requesting that the private land adjacent to the proposed building be paved to 20' to accommodate two-way traffic and will be a condition of approval. Staff will work with the applicant to ensure that the paving occurs prior to the issuing of the building permit.

Height

Code Section 17.144.100 states that the height of a structure located within one hundred feet (100') of the nearest boundary of a residential zone district may not exceed thirty feet (30'). Beyond one hundred feet (100'), the building height may increase one foot (1') of height for each additional four feet (4') of setback from the residential zone district. The height of the church building is shown to be twenty-three feet (23') excluding the dome, which is exempt from height requirements per Code Section 17.76.080. Staff finds the height complies with the standards of the G-O zone.

Fencing

Code Section 17.144.140 states that where the site abuts a residential zone, a six foot (6') high solid masonry wall shall be located on the property line. The proposed plans do not show a six-foot (6') wall between the site and the adjacent residential property. This requirement will be added as a condition of approval and must be shown prior to the issuance of a building permit.

Parking

The parking standard for churches in the G-O Zone is as follows: 1 parking space for each 3 1/2 seats, 1 parking space for each 7 feet of linear pew, or 1 space for every 25 square feet of floor space area where temporary seating can be located. The applicant has indicated that there will be 19 seven-foot (7') pews and has provided 19 on-site parking stalls. This meets code requirements. Due to the church being accessed via a private lane, all parking for attendees must be located on site and cannot spill over onto the street.

Though the applicant meets the required spaces, staff encourages the applicant to obtain additional parking from the property owner to the north for any special events, or large gatherings so that there is a lessened impact to the neighboring single-family dwellings to the east.

Use	Required	Provided
Church & Office	1 parking space for each 3 1/2 seats, 1 parking space for each 7 feet of linear pew, or 1 space for every 25 square feet of floor space area where temporary seating can be located.	19

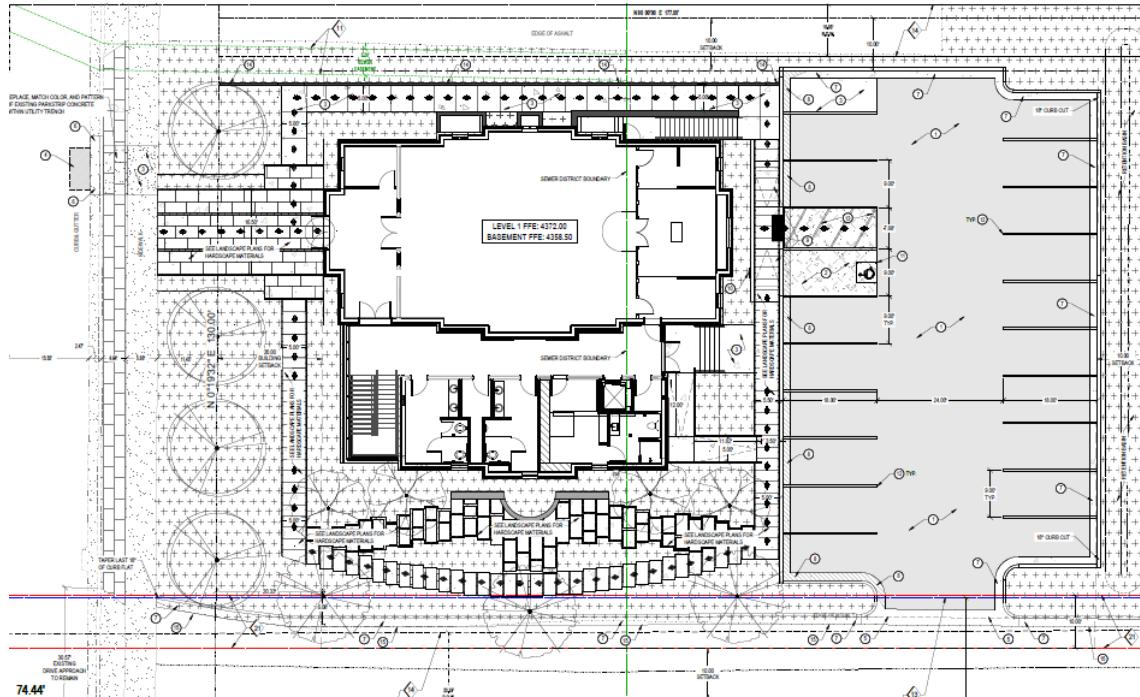


Figure 2: Site Layout and Circulation

Signage

A building permit that details signage will need to be approved prior to the operation of the building for religious or office purposes.

Landscaping

Chapter 17.68 of the Murray Land Use Ordinance, landscaping requirements, have minimums for total number of trees and shrubs based on the linear feet of 900 East frontage. There is also a minimum 15% landscaping coverage for the site and a requirement for a 10' buffer along the residential area to the east. The applicant has provided a landscaping plan matching the details in the chart below:

Landscaping (900 East Frontage)	Required	Proposed
Approximately 85 linear feet	3 Trees 4 5-gallon shrubs 9 1-gallon shrubs	4 Trees 9 5-gallon shrubs Lots of 1-gallon shrubs
Fifteen Percent (21,266 sq.ft.) Coverage	3190 sq.ft.	~5800 sq.ft

III. CITY DEPARTMENT REVIEW

A Planning Review meeting was held on June 17th, 2025, where the proposed Church was reviewed and discussed by Murray City department staff. The following comments have been provided by the departments that were in attendance:

- The Murray City Engineer provided the following comments:
 1. Meet City storm drain requirements, on-site detention and water quality treatment is required. Implement Low Impact Development practices where applicable.
 2. Provide a formal drainage and LID report.
 3. Provide site geotechnical report.
 4. Replace any damaged sidewalk along the 900 East frontage.
 5. Avoid parking on 900 East.
 6. Increase the private lane paved width to 20' min. to accommodate two-way traffic. The width should be increase on the north side of the lane/right-of-way.
 7. Locate and protect the existing private water service located on the north side of the property.
 8. Obtain UDOT encroachment permit for work in the 900 East right-of-way.
 9. Develop a site erosion control plan and implement prior to beginning any site work.
- The Murray City Fire Department provided the following comments:
 - Occupancy type and load sprinklers and alarm, if alarmed or sprinklered will need knox box and locking caps.
 - Type-I hood if cooking with grease laden product.
 - Per International Fire Code at minimum need 20' for fire department access road (Ch5).
 - If roof surface exceeds 30', aerial fire apparatus access roads shall have unobstructed 26' width if in the immediate vicinity of the building or portion thereof (Appendix D).
- The Murray City Water Division provided the following comments:
 - Water service provider is Jordan Valley Water Conservancy District.
 - Project is with within a ground water source protection zone (4) of one of Murray's water sources. Store chemicals properly (On impervious surfaces, indoors, shelves) Use secondary containment for tanks larger than 55 gallons. Notify the city in the event of a leak or spills.
- The Murray City Wastewater Division provided the following comments:

- New building will tie into Cottonwood Improvement District System (CID). All sewer work must meet Cottonwood Improvement District specification and be approved by CID
- Utility sheet comments on C4.01 refer to Mt. Olympus Improvement district standards, should be Cottonwood Improvement District.

The preceding comments are addressed as conditions of approval in the final section of this report.

IV. PUBLIC INPUT

Twenty-seven (27) notices were mailed to property owners within a 300' radius and to affected entities. As of the writing of this report, staff has had in-person discussion with two residents at the counter and told them they are welcome to attend the Planning Commission meeting.

V. FINDINGS

Based on the analysis of the application, materials submitted, site visits, and a survey of the surrounding area, Staff concludes the following:

1. The proposed use is consistent with the goals and objectives of the Murray City General Plan.
2. With conditions, the proposed plan meet the requirements of the Murray City Land Use Ordinance.
3. With conditions, the proposed plan will enhance the visual and physical appearance of one of Murray's most important connectivity centers per the Murray City General Plan.
4. With conditions, the proposed plan will promote the continuance of making 900 East a more vibrant area of Murray City.

VI. CONCLUSION/RECOMMENDATION

Based on the information presented in this report, application materials submitted and a site review, staff recommends that the **Planning Commission GRANT Site Plan approval for the proposed Holy Protection Orthodox Church for the property addressed 6109 South 900 East** subject to the following conditions:

1. The applicant shall meet all Murray City Engineering requirements.
2. The applicant shall meet all Fire Department requirements.
3. The applicant shall meet all Water Division requirements.
4. The applicant shall meet all Wastewater Division requirements.
5. The applicant shall obtain a building permit prior to any construction occurring on the site.
6. The applicant shall work with Murray City staff to locate a twenty-foot (20') paved access drive.

7. The applicant must show a six-foot masonry wall on the property line that is adjacent to the residential zone prior to the issuance of the building permit.
8. The applicant shall meet all landscaping requirements of Chapter 17.68 of the Murray City Land Use Ordinance including the additional street frontage landscaping prior to Planning approval of a building permit.
9. Meet all parking requirements of Chapter 17.72, including ADA stall regulations.
10. The applicant shall meet all sign requirements of Chapter 17.48 and obtain separate building permits for all signage.



Application for a Site Plan Review

Overview:

A site plan is an illustration from a "birds-eye view" of a development plan for one or more lots on which is shown the existing and proposed conditions of the lot, including, vegetation, drainage, flood plain, wetlands and waterways; landscaping and open space; walkways; means of ingress and egress; circulation; utility services; structures and buildings; signs and lighting; buffers, and screening devices; surrounding development; and any other information that reasonably may be acquired in order that an informed decision can be made by the City.

The site plan review process is designed to ensure that any proposed development or land use will comply with current city ordinances as well as the goals and objectives stated within the Murray City General Plan.

Application Submittal:

Applications for a site plan review may be submitted to the Murray City Community & Economic Development Department, located at 10 East 4800 South Suite 260. Planning staff will review the application and obtain payment after the application has been deemed complete. Planning staff has up to fifteen (15) business days to determine if the application is complete. Applicants will be notified in writing of an incomplete application with information required to correct any deficiencies. This may delay processing of the application and, if required, subsequent scheduling of public hearings.

- Take Note.** If there is an existing building on the property that is proposed to be demolished or remodeled, and the building is over 50 years old, it may require review by the Historic Preservation Board. Please contact Lori Edmunds at (801) 264-2620 for additional information.

Application Fee (non-refundable):

- Site Plan Review fee: \$200.00

Application Process:

Step 1. Contact the Planning Division: Meet informally with a member of the planning staff to discuss your proposal and review the issues, procedures and fees associated with the application.

Step 2. Submit Application: For all site plan applications, please submit the following information, ensuring each item is either checked off or marked 'NA' if not applicable. For each 'plan' submitted, include at least one (1) 11x17 copy (or larger if requested by staff) and a digital PDF.

Required for all applications:

- 1. Completed site plan review application form.
- 2. Property Owner's Affidavit (i.e. a written statement made before a notary).
- 3. If the property owner is to be represented by an "agent" during meetings with the City, please complete and submit the Agent Authorization form.
- 4. Payment of application fee.
- 5. Site Plan. The site plan should include the following information:
 - a. Include the project name and exact street address.

- b. Accurate dimensions of the subject property, drawn to scale (i.e. 1"=10', 1"=30', etc.), with north arrow and date of drawing.
- c. Property lines, adjoining streets, right-of ways, waterways, easements, etc. with dimensions.
- d. Location and dimension of existing and proposed buildings, entries and exits, driveways, parking areas, landscape areas, sidewalks, retaining walls, fences, exterior lighting, dumpster enclosures, etc.
- e. Location of existing property features such as streets, canals, ditches, waterways, hillsides, wetlands, flood plain, etc.

6. Floorplans. Include both existing and proposed floor plans. Indicate the scale (i.e. 1/8"=1', 1/4"=1', etc.) used on the plans.

Required for new buildings and site improvements:

- 1. Grading and Drainage Plan. A preliminary grading and drainage plan is required showing the road and lot layout; topography at two-foot contour intervals; north arrow; subdivision name; areas of substantial earth moving with erosion control plan; location of existing water courses, canals, ditches, springs, culverts, and storm drains; location of any 100-year flood plain designated by FEMA; show water flow directions, inlets, outlets, catch basins, waterways, culverts, detention basins, orifice plates, outlets to off-site facilities; existing wetlands;
- 2. Utility Plan. A preliminary utility plan may be required showing the road and lot layout; north arrow; subdivision name; show all existing and proposed utilities including sewer, water, fire hydrants, storm drains; subsurface drains, gas lines, power lines (existing only); street lights, location and dimensions of all utility easements;
- 3. Building elevations. These must be dimensioned to show an accurate representation of the proposed building. Provide a summary of the type of building materials which will be used for all structures. Indicate the scale (i.e. 1/8"-1', 1/4"=1', etc.) used on the elevation.
- 4. Preliminary Landscape Plan. This must include:
 - a. Areas to be planted in lawn;
 - b. Specific locations for each existing and proposed shade, evergreen, ornamental or fruit tree;
 - c. Areas to be planted in shrubs;
 - d. Areas to be planted as flower beds or with living ground covers;
 - e. Areas for non-living landscape materials (i.e. boulders, cobblestones, bark, etc.);
 - f. Ten (10) feet of landscaping is required along all frontage areas not occupied by drive access.

Additional Information:

The applicant may be required to provide such reports and studies which will provide information relating to adequate utilities, traffic impacts, school impacts, soil and water target studies, engineering reports, financing availability, market considerations, neighborhood support and any other information which may be needed in order to render a proper decision.

All plans submitted with the application will not be returned to the applicant and are the property of Murray City.

Step 3. Murray City Department Review: The application is routed to various departments and divisions within Murray City who provide insight or information to the Planning Commission and/or staff to help make an informed decision. If there are unique circumstances that require additional information, a meeting may be requested by the City to be held in person on Tuesday's at 9 am. The applicant will be notified ahead of time if attendance is required.

Step 4. Planning Staff Decision: Approximately fifteen (15) business days after the application is sent to be reviewed by Murray City Departments (Step 3) planning staff will issue a decision to approve, approve with conditions or deny the site plan. Please be advised that this decision does not grant permission to proceed without full review, appropriate approvals, and compliance with all city codes.

Step 5. Attend Planning Commission Meeting (if required): The applicant will be sent a copy of the planning commission agenda and staff recommendation in advance of the meeting date. The agenda will give the date, time, and location of the meeting. The applicant or an authorized representative must be in attendance at the meeting. If the applicant or the representative is not present, the Planning Commission may move on to the next agenda item. It is the applicant's responsibility to reschedule another hearing date. The applicant should be prepared to present the proposal in detail and answer questions from the Planning Commission members and other interested parties. The Planning Commission will then make a motion to approve or deny the request.

Appeal of Decision:

The City, an applicant, or an adversely affected party may appeal a final written decision made by the Planning Commission or staff to the Hearing Officer. Appeals must be in writing and received by the Planning Division within ten (10) calendar days of the Commission's written decision. Appeals must contain all pertinent documents and state the reason(s) for the appeal. Payment of a fee is required at the time of filing.

SITE PLAN REVIEW APPLICATION

Type of Application(check one): New Construction Remodel
 Land Use Change Addition

Application Information

Project Name: Holy Protection Orthodox Church

Project Address: 6109 S 900 E

Parcel Identification (Sidwell) Number: 22-17-379-032-4001 & 22-17-379-032-4002

Parcel Area(acres): .53 Current Use: Vacant Proposed: Church

Floor Area(square feet): 8,076 Zoning District: G-O Land Use Code: 6911

Applicant Information

Name: Travis Sheppard

Mailing Address: GSBS Architects, 375 W 200 S City: Salt Lake City State: Utah ZIP: 84101

Phone #: 801-521-8600 Fax #: _____ Email Address: tsheppard@gsbsarchitects.com

Property Owner's Information (If different)

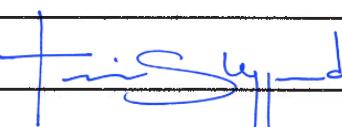
Name: Greg Adondakis

Mailing Address: 2457 E Walker Lane City: Murray State: Utah ZIP: 84117

Phone #: (801) 949-4924 Fax #: _____ Email Address: gadondakis@vfi.net

Describe the request in detail (use additional pages, or attach narrative if necessary):

We are submitting this Site Plan Review application for a new building located within the G-O (General Office) zoning district of Murray City. Per our correspondence with Planning Staff, we understand that both church services and associated office space are permitted uses in this zone. This application is being submitted in compliance with the requirement for Planning Commission review of new buildings in the G-O zone. We appreciate the opportunity to move forward and look forward to working with the City throughout the review process.

Authorized Signature:  Date: 6/27/2025

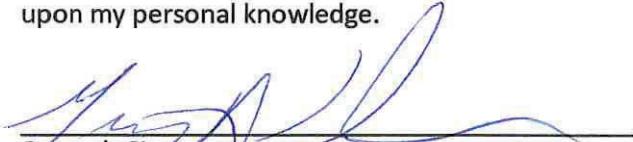
For Office Use Only

Project Number: _____ Date Accepted: _____

Planner Assigned: _____

Property Owners Affidavit

I (we) Greg Adondakis, being first duly sworn, depose and say that I (we) am (are) the current owner of the property involved in this application: that I (we) have read the application and attached plans and other exhibits and are familiar with its contents; and that said contents are in all respects true and correct based upon my personal knowledge.



Owner's Signature

Owner's Signature (co-owner if any)

State of Utah Arizona

§

County of Salt Lake Maricopa

Subscribed and sworn to before me this 29th day of April, 20 05.



Notary Public

Residing in Arizona

My commission expires: 01/01/2029



Agent Authorization

I (we), Greg Adondakis, the owner(s) of the real property located at 6109 S 900 E, in Murray City, Utah, do hereby appoint Travis Sheppard, as my (our) agent to represent me (us) with regard to this application affecting the above described real property, and authorize Travis Sheppard to appear on my (our) behalf before any City board or commission considering this application.



Owner's Signature (co-owner if any)

State of Utah Arizona

§

County of Salt Lake Maricopa

On the 29th day of April, 20 05, personally appeared before me Greg Adondakis, the signer(s) of the above Agent Authorization who duly acknowledge to me that they executed the same.



Notary public

Residing in: Arizona

My commission expires: 01/01/2029





NOTICE OF PUBLIC MEETING

July 3rd. 2025, 6:30 PM

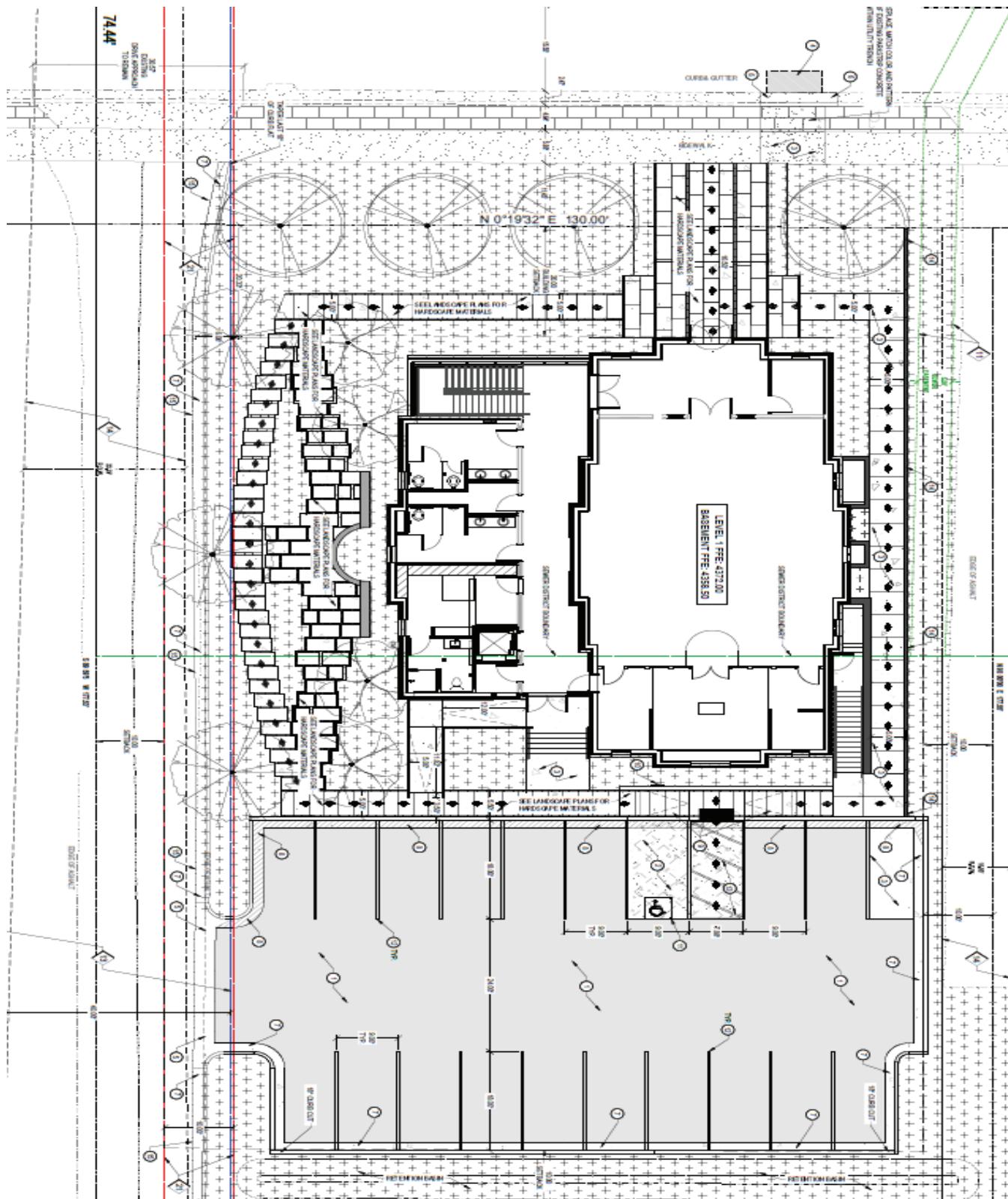
The Murray City Planning Commission will hold a public hearing in the Murray City Municipal Council Chambers, located at 10 East 4800 South to receive public comment on the following application:

Holy Protection Orthodox Church are requesting Site Plan Approval for the construction of a new building for church services and associated offices located at 6109 South 900 East.

To make comments regarding this proposal the public may do so at the meeting, by calling Murray City Planning Division at (801) 270-2430, or email pc@murray.utah.gov. You have received this notice because you own property within 500 feet of the subject properties.

The meeting will be streamed online, at www.murraycitylive.com or www.facebook.com/MurrayCityUtah/.

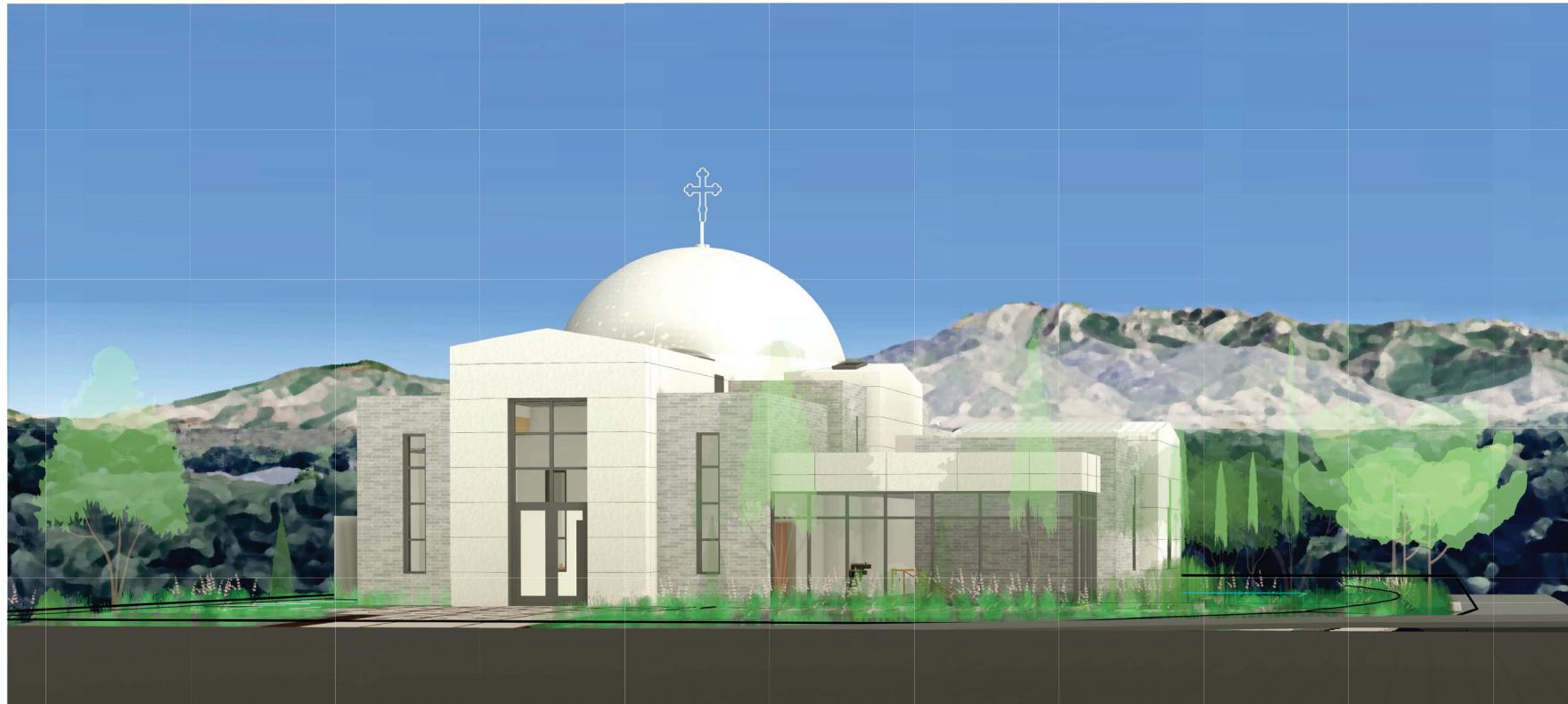




Special accommodations for the hearing or visually impaired will be upon a request to the office of the Murray City Recorder (801-264-2660). We would appreciate notification two working days prior to the meeting. TTY is Relay Utah at #711.

HOLY PROTECTION ORTHODOX CHURCH

SITE PLAN REVIEW



HOLY PROTECTION
ORTHODOX
CHURCH

6109 900 E, Murray, UT 84121

Greg & Tara Adondakis

2457 Walker Ln S,
Holladay, UT 84117

GSBS PROJECT NO.:
ISSUED DATE:

2024.02.09

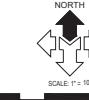
05/05/2025



RESERVED FOR CONSULTANT LOGO



REVISIONS:



GENERAL NOTES:

THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. SPECIFIC DETAILS REFERRED TO ON THIS SHEET SHALL BE USED IN CONSTRUCTION.

ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LOCAL AGENCY'S EROSION CONTROL STANDARDS AND SPECIFICATIONS AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE AGENCY INVOLVED IN THE APPROVAL OF THE EROSION CONTROL PLAN. THE CONTRACTOR SHALL BE HELD LIABLE FOR ANY DAMAGE TO PROPERTY CAUSED BY EROSION CONTROL MEASURES NOT AS PLANNED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES. IF CONFLICTS OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOT DAMAGE EXISTING UTILITIES UNLESS ABSOLUTELY NECESSARY.

THE CONTRACTOR SHALL PROVIDE APPROPRIATE DUST CONTROL.

WHEN GRAVING OPERATIONS HAVE BEEN COMPLETED AND THE DISTURBED GROUND SHALL BE LEFT TIDY FOR 30 DAYS OR MORE, THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS OF THE AREA.

THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.

MAINTENANCE:

THE CONTRACTOR SHALL MAKE ROUTINE CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIR OR SEDIMENT REMOVAL IS NECESSARY DUE TO CONDITIONS THAT MAY ARISE IN THE CONSTRUCTION ENVIRONMENT.

SILT FENCE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT THE LEAST DAILY DURING PROLONGED RAINFALL.

CLOSE EROSION CONTROL BARRIERS SHALL BE REPAIRED OR REPLACED IF DAMAGED. SILT FENCE AND UNDERCUTTING BEHIND BARRIERS SHALL BE REPAIRED.

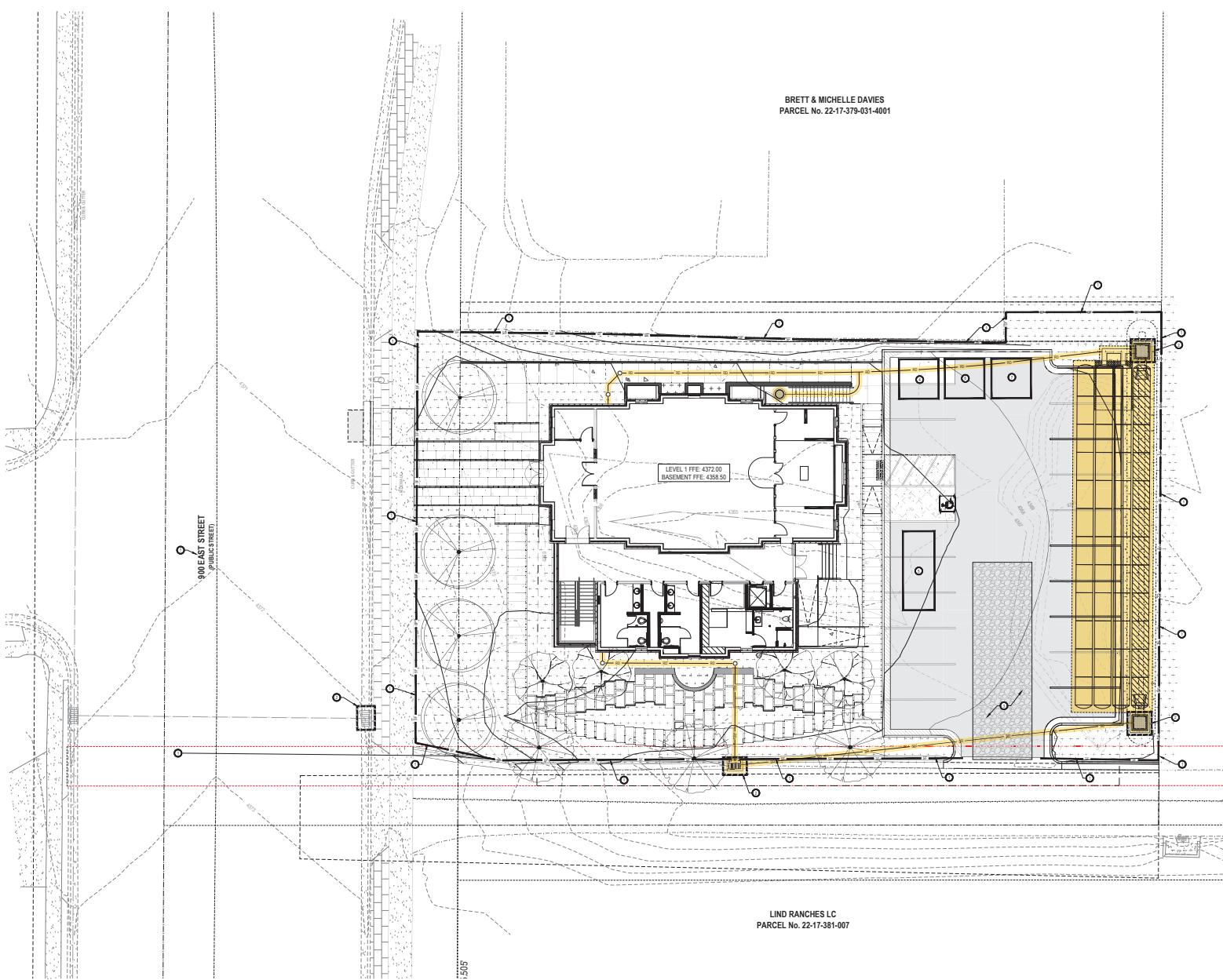
NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF SILT FENCING SHALL BE ACCOMPLISHED PRIOR TO THE NEXT RAINFALL.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

KEYED NOTES:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED IN THE EROSION CONTROL PLAN AND DETAILED ON THE CONSTRUCTION DRAWINGS:

- EROSION CONTROL BARRIERS: SEE DETAIL C2, SHEET C2.02
- SILT FENCE TO BE SHOWN ON PLAN: SEE DETAIL C2, SHEET C2.03
- TEMPORARY CONSTRUCTION TRAFFIC: SEE DETAIL C2, SHEET C2.03, LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.
- CONCRETE DISCHARGE AREA: CREATE A MIN. 10'X10' AREA WITH A HIGH BEAM LINE AREA WITH PLASTIC DISCHARGE HOSE IN CENTER. WHEN FULL, AND LEGALLY DISPOSE OF. SEE DETAIL A2, SHEET A2.01, LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.
- CONSTRUCTION DUMPSTIR: CHECK LEVEL DAILY. LEGALLY DISPOSE OF WASTE AS NEEDED. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.
- PORTABLE CONSTRUCTION TOILET: TOILET TO BE PROVIDED. SECURELY POSITION TYPICALLY IN A DEDICATED AREA. SEE DETAIL C2, SHEET C2.03, LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.
- MATERIALS STORAGE AND STOCKPILE AREA: SEE DETAIL A2, SHEET A2.01, LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.

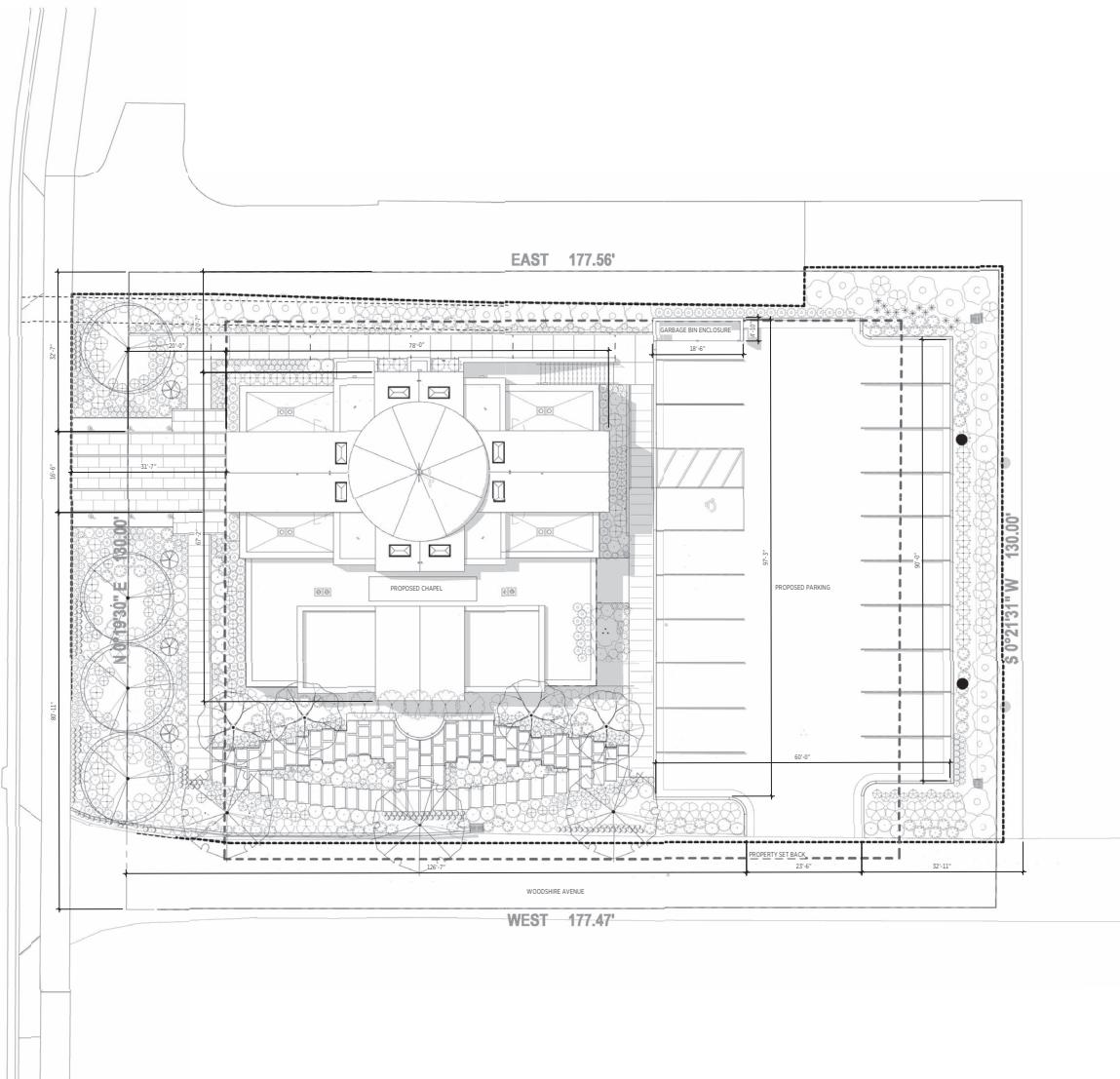


PROJECT BOUNDARIES		
	PROPERTY LINE	
	PROJECT LINE	
	PROPERTY SET BACKS	



BASS OF BEARING N 0°19'30" E 1315.16

900 EAST STREET (PUBLIC STREET)



ARCHITECTURAL SITE PLAN
AE101 | 1" = 10'-0"



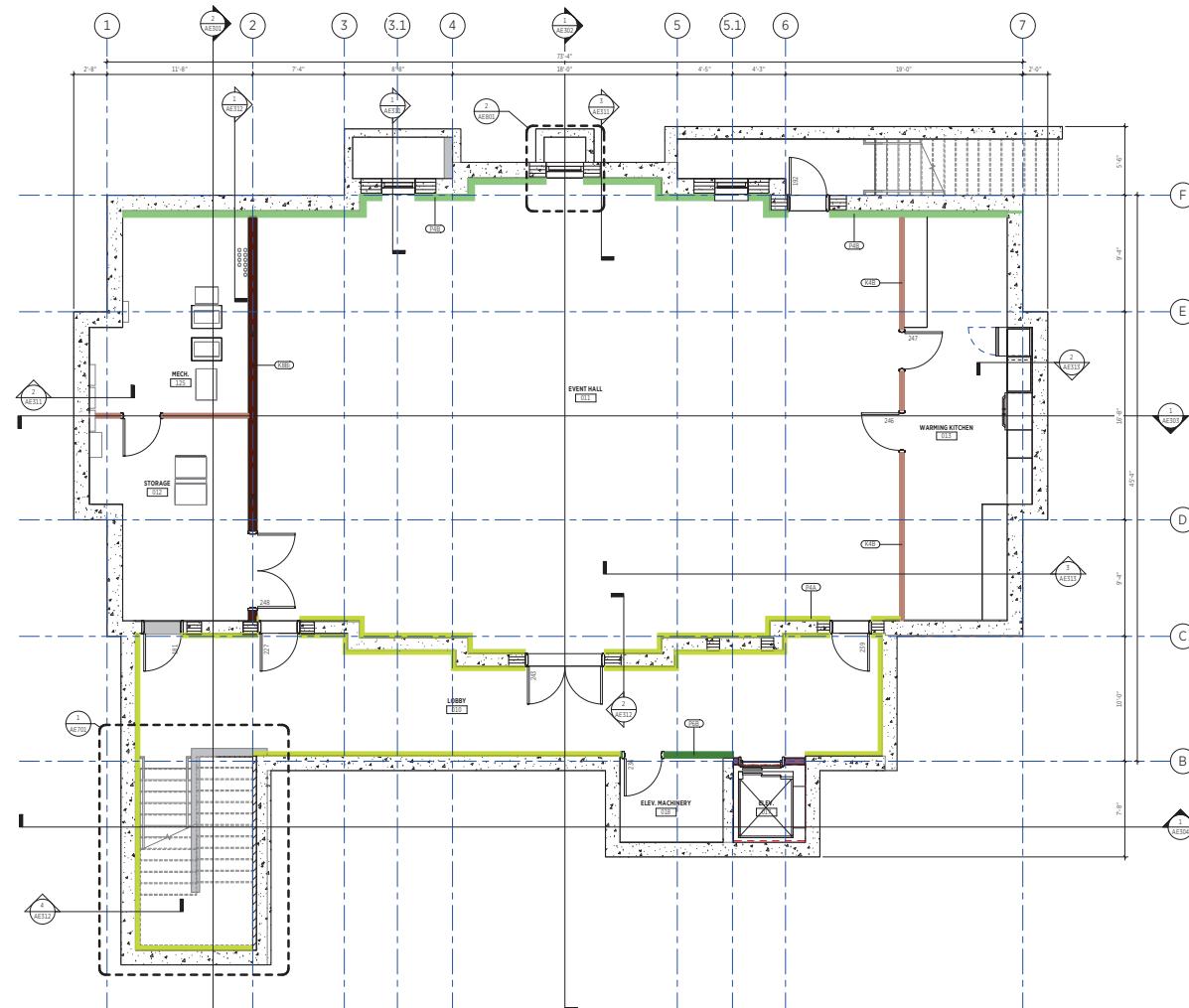
SITE PLAN REVIEW
HOLY PROTECTION
ORTHODOX
CHURCH

6109 900 E, Murray, UT 84121

Greg & Tara Adondakis

2457 Walker Ln S.
Holladay, UT 84117
OWNER/PROJECT NO.: 2024-022.00
GSBS PROJECT NO.: 05/05/2025
ISSUED DATE: ARCHITECTURAL SITE
PLAN

AE101 | REV



WALL TYPES SCHEDULE					
PLAN	TYPE	DESCRIPTION	UL#	STC	RATING
NON-RATED WOOD STUD WALLS					
	24A	24A WOOD STUDS @ 16" O.C. 4/8" GYPSUM BOARD, EACH SIDE, EXTEND GYR. BD. TO DECK ABOVE			
	44B	44B WOOD STUDS @ 16" O.C. 5/8" GYPSUM BOARD, EACH SIDE, EXTEND GYR. BD. TO DECK ABOVE			
	74B	74B WOOD STUDS @ 16" O.C. 5/8" GYPSUM BOARD, EACH SIDE, EXTEND GYR. BD. TO DECK ABOVE, FILL CAVITY W/ 1" ATTENUATION BLANKET. JOINTS FINISHED AND PERIMETER CAULKED			
DATED WOOD STUDS					
	24B	24B WOOD STUDS @ 16" O.C. 4/8" GYPSUM BOARD, EACH SIDE, EXTEND GYR. BD. TO DECK ABOVE			
	54B	54B WOOD STUDS @ 16" O.C. 5/8" GYPSUM BOARD, EACH SIDE, EXTEND GYR. BD. TO DECK ABOVE, FILL CAVITY W/ 1" ATTENUATION BLANKET. JOINTS FINISHED AND PERIMETER CAULKED			1HR.
WOOD STUD FRAMING					
	P4A	24A WOOD STUDS @ 16" O.C. 4/8" GYPSUM BOARD, ONE SIDE ONLY, EXTEND GYR. BD. TO DECK ABOVE			
	P4B	24A WOOD STUDS @ 16" O.C. 5/8" GYPSUM BOARD, ONE SIDE ONLY, EXTEND GYR. BD. TO DECK ABOVE			
	P5B	24A WOOD STUDS @ 16" O.C. 5/8" GYPSUM BOARD, ONE SIDE ONLY, EXTEND GYR. BD. TO DECK ABOVE			
	P6B	24A WOOD STUDS @ 16" O.C. 5/8" GYPSUM BOARD, ONE SIDE ONLY, EXTEND GYR. BD. TO DECK ABOVE			

ROOM AREA SCHEDULE		
NUMBER	NAME	AREA
001	LIBBY	488.67
011	EVENT HALL	1,777.57
012	STORAGE	183.57
014	LIBBY	294.77
022	ELEV.	36.07
028	ELEV. MACHINERY	98.57
030	MECH	140.00
025	MECH	176.97
Grand Total:		3,148.17

Area Schedule (Gross Building)	
Name	Area
BASEMENT	3,148 SF
MAIN FLOOR	4,534 SF
Total:	
8,682 SF	

REVISIONS:

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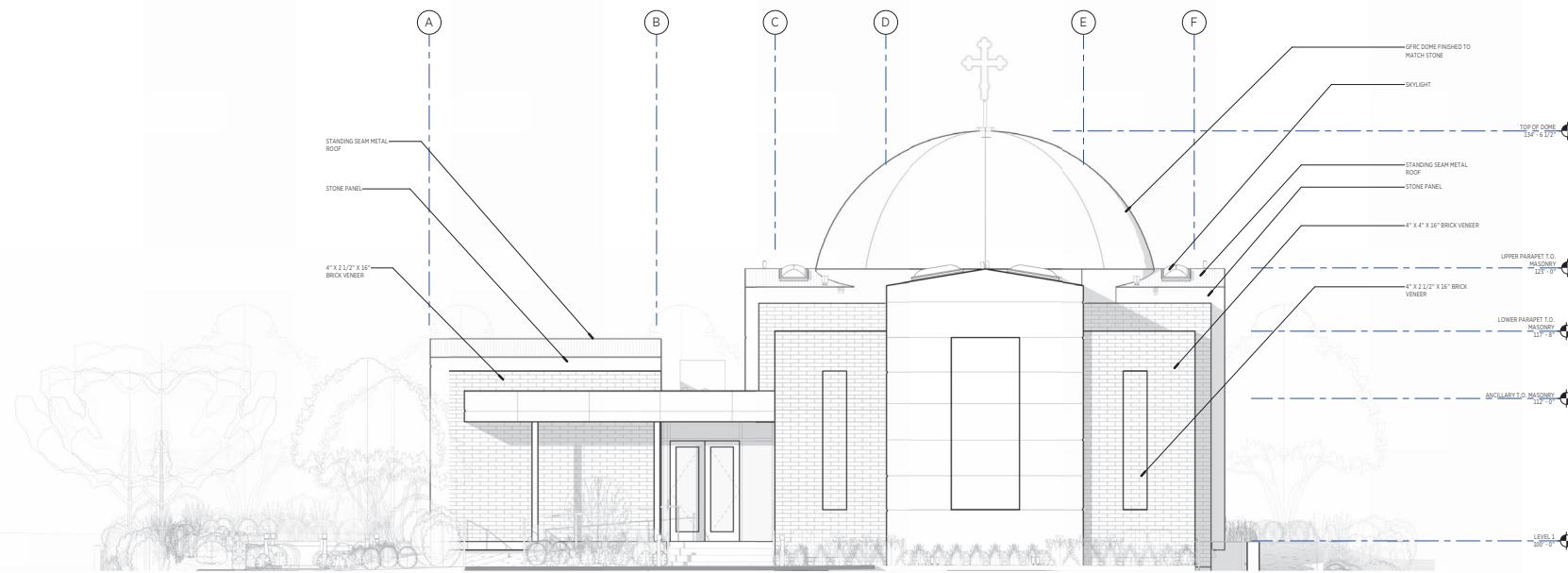
OWNER PROJECT NO.: 2024-022-00
ISSUE DATE: 05/05/2025

FLOOR & WALL TYPES -
BASEMENT



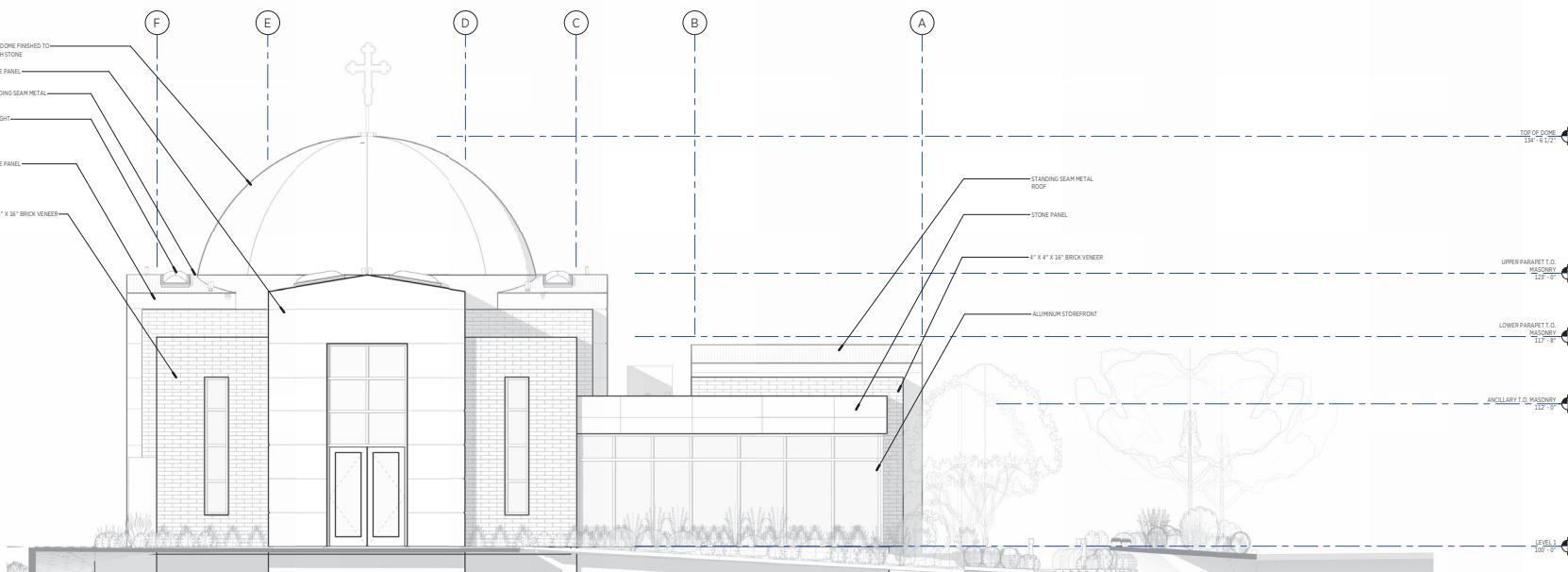
AE110

REV



EAST ELEVATION

AE201 1/4" = 1'-0"



WEST ELEVATION

AE201 1/4" = 1'-0"

SITE PLAN REVIEW
HOLY PROTECTION
ORTHODOX CHURCH

6109 900 E, Murray, UT 84121

Holiday, UT 84117

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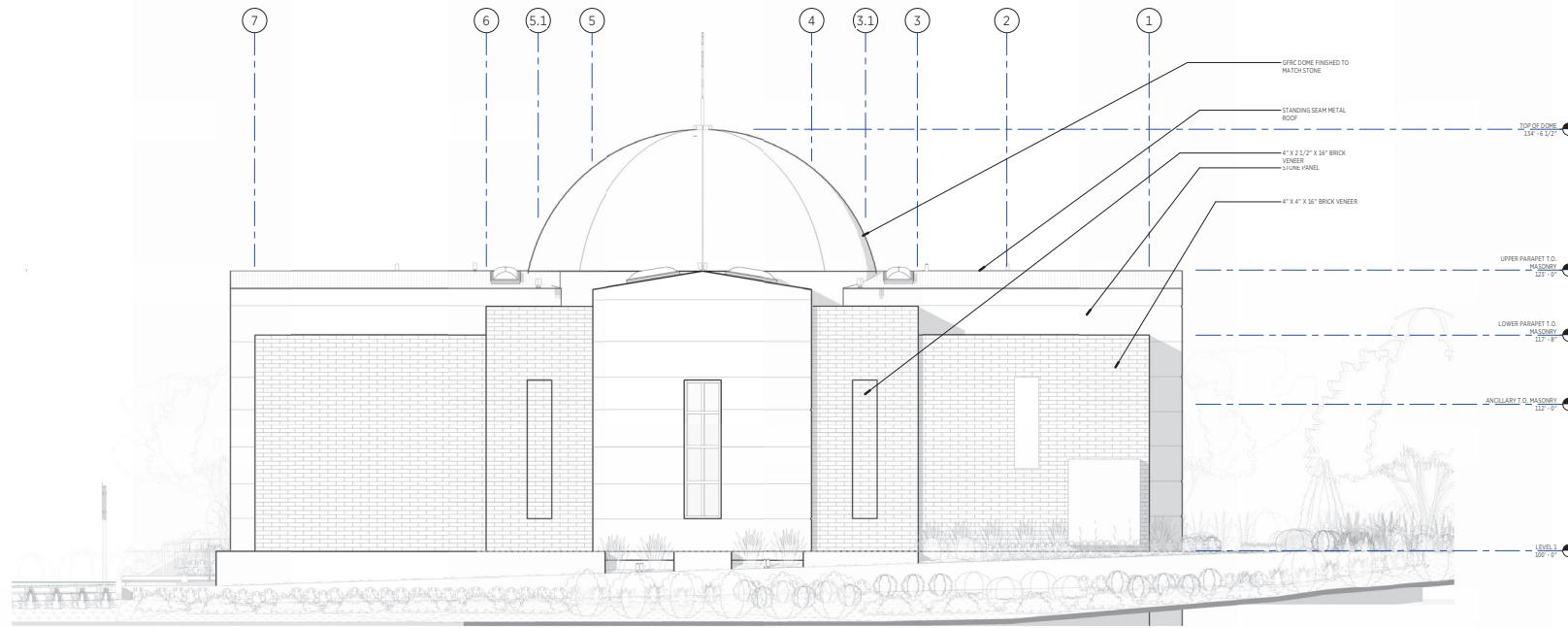
2457 Walker Ln S,

Holiday, UT 84117

OWNER PROJECT NO.: 2024.022.00

ISSUE DATE: 05/05/2025

EXTERIOR ELEVATIONS



KEYNOTE LEGEND	
Key Value	Keynote Text
C101	CONCRETE CURB AND GUTTER; REF. CIVIL
EX101	EXISTING BRICK PAVERS TO REMAIN
EX102	EXISTING SIDEWALK TO REMAIN
EX103	EXISTING ASPHALT TO REMAIN
EX104	EXISTING WATER METER TO REMAIN
EX105	EXISTING LIGHT POLE TO REMAIN
EX106	EXISTING UTILITY TO REMAIN
EX107	EXISTING PLANTING AREA TO REMAIN
F201	6' HEIGHT FENCE - NEW EURO/G/40
F202	6' HEIGHT PATHWAY GATE - NEW EURO/HDG/G
L202	ORNAMENTAL TREE; REF. PLANTING PLAN
L203	LANDSCAPE STEEL EDGING
L205	EVERGREEN TREE; REF. PLANTING PLAN
L301	PLANTING AREA; REF. PLANTING PLAN
P101	ASPHALT PAVING; REF. CIVIL
P102	CONCRETE PAVING; REF. CIVIL
P103	VEHICULAR CONCRETE; REF. CIVIL
P202	CAST IN PLACE CONCRETE PAVER - 4'-4" X 2'-2"
P204	CAST IN PLACE CONCRETE PAVER - 2'-2" X 2', 2'-2" X 3'-2" X 4'
P205	DECOMPOSED GRANITE WITH STABILIZING AGENT
P301	CONCRETE STAIRS
P302	CONTROL JOINT; TYP.
P304	EXPANSION JOINT; TYP.
R101	HANDRAIL AT STAIRS; TYP.
R102	HANDRAIL AT RAMP; TYP.
S100	RAMP; REF. CIVIL
S101	ADA PARKING SIGN; REF. CIVIL
S102	PARKING LOT STRIPING; REF. CIVIL
S301	CATCH BASIN; REF. CIVIL
W101	18" CONCRETE SEAT WALL
W102	6" CONCRETE RETAINING WALL

RESERVED FOR CONSULTANT LOGO

REVISIONS:

SITE SCHEDULE

PLAN	TYPE	DESCRIPTION
		ASPHALT
		DECOMPOSED GRANITE WITH STABILIZING AGENT
		EXISTING BRICK PAVERS
		4" PEDESTRIAN CONCRETE PAVING, REF. CIV.
		6" VEHICULAR CONCRETE PAVING, REF. CIV.
		CONCRETE PAVERS
		PLANTING AREA, REF. PLANTING PLAN
		LINIA PAVER - SHALE GREY, LARGE RECTANGLES

SITE PLAN REVIEW

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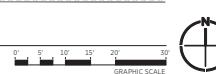
ISSUED DATE: 05/05/2025

LANDSCAPE SITE PLAN

REV

£5100

LANDSCAPE SITE PLAN



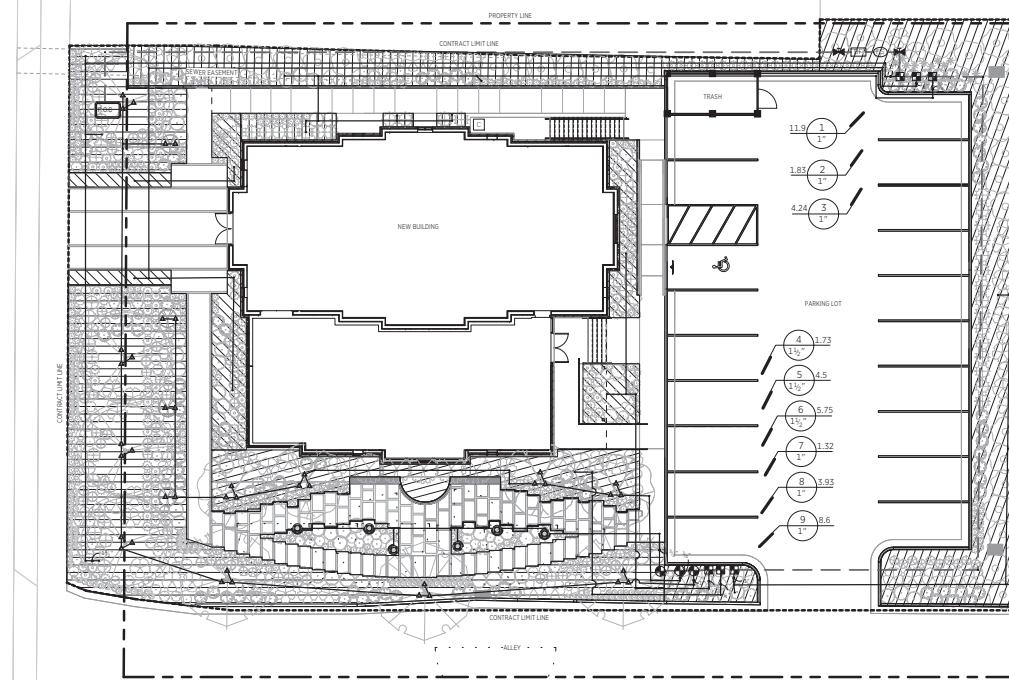
LS100 | REV

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
▲	HUNTER PCB FLOOD BUBBLER, 1/2IN. FPT.
■	HUNTER ICZ-101-25-LF Drip Control Valve, 1/2in. I.M. ICY GLOBE VALVE WITH IN-LINE FILTER SYSTEM. PRESSURE REGULATOR: 25 PSI. FLOW RANGE: 3 GPM - 15 GPM. 150 MESH STAINLESS STEEL SCREEN.
▲	AREA TO RECEIVE DRIPLINE HUNTER HDL-06-18-CV HD LINE, 1/2IN. DIA. DRIPLINE W/ 0.6 GPM EMMITERS AT 18" O.C. CHECK VALVE, DARK BROWN TUBING WITH GRAY STRIPING. DRIPLINE LATERALS SPACED AT 18" APART. WITH EMMITTERS PLACED ON THE LATERALS. DRIPLINE TO BE INSTALLED WITH HUNTER PLD BARBED OR PLD-LOC FITTINGS.
■	MANUFACTURER/MODEL/DESCRIPTION
▲	HUNTER HDL-06-18-CV HD LINE, 1/2IN. DIA. DRIPLINE W/ 0.6 GPM EMMITERS AT 18" O.C. CHECK VALVE, DARK BROWN TUBING WITH GRAY STRIPING. DRIPLINE LATERALS SPACED AT 18" APART. WITH EMMITTERS PLACED ON THE LATERALS. DRIPLINE TO BE INSTALLED WITH HUNTER PLD BARBED OR PLD-LOC FITTINGS.
■	MANUFACTURER/MODEL/DESCRIPTION
▲	HUNTER ICV-G-BSP 1", 1-1/2", 2", 3", 4" PLASTIC ELECTRIC REMOTE CONTROL VALVE, 1/2IN. DIA. CONFIGURATION: WITH BSP THREADED INLET/OUTLET. FOR COMMERCIAL/MUNICIPAL USE.
■	MATCO-NORCA 759 BRASS SHUT-OFF VALVE, 1/2" TO 4". TWO-PIECE BODY, BLOW-OFF PROOF STEM, CHROME PLATED SOLID BRASS BALL, THREADED, WITH PTFE SEATS. SAME SIZE AS MAINLINE PIPE.
■	ZURN ZTS 1" REDUCED PRESSURE PRINCIPLE ASSEMBLY, SIZES 1/2IN., 3/4IN., 1IN., 1-1/4IN., 1-1/2IN., 2IN..
■	HUNTER X2 8-STATE CONTROLLER, RESIDENTIAL USE. PLASTIC CABINET OUTDOOR, WITH 3 FLEXIBLE PROGRAMS. 120 VAC INTERNAL POWER SOURCE.
■	HUNTER IC-100-FLOW 1IN. FLOW METER FOR USE WITH IRRIGATION SYSTEM. CONNECTED TO 1/2IN. PVC. AUTOMATICALLY MONITORS SYSTEM ALERTS. ALERTS AND ACTIONS AS STATED ON THE 100 TOTALIZER/SUB METER ON ANY RESIDENTIAL OR COMMERCIAL IRRIGATION SYSTEM.
■	IRRIGATION LATERAL LINE: PVC SCHEDULE 40
■	IRRIGATION MAINLINE: PVC SCHEDULE 40
■	VALVE CALLOUT VALVE CALLOUT VALVE NUMBER VALVE GPM VALVE SIZE

RESERVED FOR CONSULTANT LOGO

REVISIONS



IRRIGATION NOTES

1. CONTRACTOR SHALL VERIFY STATIC PRESSURE AT POINT OF CONNECTION AND VERIFY THAT THE STATIC PRESSURE IS NOT EXCEEDED. PRESSURE BELOW 30PSI PRESSURE INDICATED ON IRRIGATION PLATE SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY.
2. ALL HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE.
3. ALL MAINLINE CONNECTIONS TO COLUMNS/WATER SERVICE LINES SHALL HAVE BACKFLOW PREVENTION AS REQUIRED BY LOCAL MUNICIPAL CODES AND BUILDING CODES.
4. ALL VALVES SHALL BE LOCATED IN GROUPS WHERE SHOWN ON DRAWINGS. VALVES SHALL BE LOCATED 2' AWAY FROM ANY FENCE, HEDGE STRIP, WALL, CURB OR BUILDING.
5. ALL VALVES SHALL BE WIRED USING #14-G. WIRE OR MANUFACTURER'S RECOMMENDED WIRE. VALVE BOXES SHALL BE PLACED IN A DRY LOCATION. VALVE BOXES SHALL FOLLOW THE MAINLINE IN THE SAME TRENCH. TARE AND BUNDLE 3 FEET OF CABLE EVERY 200 FEET, AT EACH TURN IN THE MAINLINE TRENCH, AND AT EACH VALVE.
6. THE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS OF THE IRRIGATION SPRINKLER SYSTEM. DRAWINGS SHALL SHOW THE LOCATION OF ALL VALVES, SPRINKLERS, WIRE SPLICES NOT IN A VALVE BOX, AND DRAIN VALVES. REFERENCE DIMENSIONS TO PERMANENT STRUCTURES.
7. THE IRRIGATION DESIGN IS SCHEMATIC. ALL PIPING, VALVES, HEADS, ETC., SHOWN ON THE DRAWINGS ARE TO BE CONSIDERED AS AS-BUILT. ALL PIPING AND VALVES SHALL BE INSTALLED WITHIN THE PLANTING AREA. COORDINATE IRRIGATION, PLANTING, AND OTHER SITE OPERATIONS. VERIFY AVAILABLE WATER PRESSURE AND FLOW AT ALL SUPPLY POINTS. VERIFY THAT ALL PIPING IS PLACED IN THE PLANTING AREA WITH ALL GRADE DIFFERENCES. LOCATION OF ALL CONSTRUCTED ITEMS (BUILDINGS, PAVING, ETC.) SHALL NOT OBSTRUCT UNDERGROUND SERVICES, ETC. PRIOR TO BEGINNING CONSTRUCTION, CALL-UPPLY SERVICE TO DETERMINE LOCATIONS OF ALL UNDERGROUND SERVICES.
8. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IF IRRIGATION LAYOUT SHOWS ANY MAJOR DESIGN DEFECTS OR CONCERN. LANDSCAPE ARCHITECT WILL MAKE ANY NECESSARY DECISIONS TO ADJUST DESIGN. NO MAJOR DESIGN DECISIONS SHALL BE MADE TO THE IRRIGATION SYSTEM WITHOUT WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
9. INSTALL SLEEVES AND PIPING IN PARALLEL, OR PERPENDICULAR MANNER FOLLOWING THE GENERAL LAYOUT OF THE PAVING DECK.
10. THE IRRIGATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH ALL LOCAL, CODES AND ORDINANCES BY A LICENSED LANDSCAPE CONTRACTOR AND EXPERIENCED WORKERS. ALL PERMITS SHALL BE OBTAINED AND FEES PAID BY THE CONTRACTOR.

SITE PLAN REVIEW
HOLY PROTECTION
ORTHODOX
CHURCH

6109 900 E. Murray, UT 84121

Greg & Tara Adondakis

2457 Walker Ln S,
Holladay, UT 84121

OWNER PROJECT NO.: 0353-0001-001
ISSUED DATE: 05/05/2025

IRRIGATION PLAN

LI100 | REV

RESERVED FOR CONSULTANT LOGO

REVISIONS

Plant Schedule				
Symbol	Plant Code	Botanical Name	Common Name	Cont
Trees				
	CL	Chionos Mearesii	Evergreen Willow	1' Ht
	GT	Gleditsia Incanthos	Honey Locust	2' CAL
	SI	Syringa reticulata	Ivory Silk Japanese Silk	2' CAL
Grasses				
	CK	Calamagrostis x acutiflora	Karl Foerster Maiden's-Blade	1 GAL
Shrubs				
	AL	Artemesia abrotanum	Lavender-leaf	5 GAL
	AM	Achillea x Moonstone	Moonstone Yarrow	5 GAL
	CS	Chaenomeles speciosa	Flowering Quince	5 GAL
	CT	Chamaethrinus latifolium	Northern Sea-Ort	5 GAL
	BS	Festuca glauca	Blue Fescue	5 GAL
	OL	Laura Inshamian Whirling Butterflies	Whirling Butterflies	1 GAL
	LA	Lavandula angustifolia	English Lavender	1 GAL
	MR	Myopis x Walker's Low	Walker's Low Catmint	1 GAL
	PA	Pervovia atriplicifolia	Russian Sage	1 GAL
	PC	Prunus x Munroana	David English Laurel	5 GAL
	DA	Sedum x Autumn Joy	Autumn Joy Sedum	1 GAL
	SB	Stachys Byzantina	Lamb's Ear	1 GAL
	GS	Santolina rosmarinifolia	Green Santolina	1 GAL
	SR	Syringa x SMNSPH	Bloomerang 'Sakura' Lsc	5 GAL
	BY	Syringa carpus albus	Common Snowberry	5 GAL
GROUNDCOVER SCHEDULE				
Symbol	Plant Code	Botanical Name	Common Name	
Ground Covers				
	AN	Annual Planting Bed	...	
	TM	Thymus praecox	Mother of Thyme	

PLANTING NOTES

1. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE A MINIMUM OF 24 HOURS BEFORE CONCRETE PLACEMENT. ANY CHANGES OR ADJUSTMENTS BETWEEN THE PLAN AND FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE IMMEDIATELY FOR DECISION.
2. NO CHANGES SHALL BE MADE TO THE PLANT MATERIAL LIST WITHOUT WRITTEN APPROVAL FROM THE OWNER'S REPRESENTATIVE.
3. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
4. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN THE QUANTITIES AND SIZES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON ALL DRAWINGS.
5. COMPLETE ROUGH GRADING BEFORE PLANTING OPERATIONS BEGIN.
6. ALL TREES SHALL BE PLANTED A MINIMUM OF 5' AWAY FROM WATER SERVICE LATERALS AND A MINIMUM OF 10' AWAY FROM SEWER LATERALS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A 2' GRADE IN ALL PLANTED AREAS AND ENSURING POSITIVE DRAINAGE OF A MINIMUM OF 2.5% AWAY FROM BUILDINGS.
8. WITH CONTAINER GROWING STOCK, REMOVE CONTAINER AND SCARFY ROOTBALL VERTICALLY IN TWO LOCATIONS.
9. ALL PLANTS SHALL BE WATERED THOROUGHLY THREE TIMES DURING THE FIRST 24 HOURS AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED AS NECESSARY TO MAINTAIN HEALTHY ESTABLISHMENT.
10. ALL DISTURBED AREAS SHALL BE COVERED BY A HARD SURFACE OR VEGETATION.
11. LANDSCAPING SHALL RECEIVE A FULL AND COMPLETE IRRIGATION SYSTEM PER PLANS AND COMPLY WITH APPLICABLE STANDARDS. IRRIGATION SHALL HAVE AN ELECTRONIC CONTROL SYSTEM WITH A DRAIN VALVE, AUTOMATIC BACKFLOW PROTECTION DEVICE AND A MANUAL STOP AND WASTE VALVE. THE CONTRACTOR SHALL ENSURE NO LEAKS AFTER A 24 HOUR PRESSURE TEST.
12. ALL TREES AND SHRUBS SHALL BE FULL AND DENSE AND FREE FROM INSECT AND DISEASE INFESTATION. NO LIVE STOCKWOOD MATERIAL, PER DEBRIS AND WITH COMMERCIAL FERTILIZER AND PREPARED PLANT PT BACKFILL.
13. THE CONTRACTOR SHALL OBTAIN APPROVAL OF CONSTRUCTION UPON COMPLETION OF WORK. LOCATIONS FOR ALL PLANT MATERIAL SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE. PLANT MATERIAL SHALL BE PLANTED AND MAINTAINED THOROUGHLY INCORPORATED INTO THE PLANTING AREAS. PLANTING AREAS SHALL BE RAISED CLEAN OF ALL DEBRIS, ROCKS, STICKS, AND ROOTS GREATER THAN 3 INCHES IN DIAMETER.
14. ALL WORK SHALL BE PERFORMED BY LICENSED LANDSCAPE CONTRACTORS AND EXPERIENCED WORKERS.

SITE PLAN REVIEW

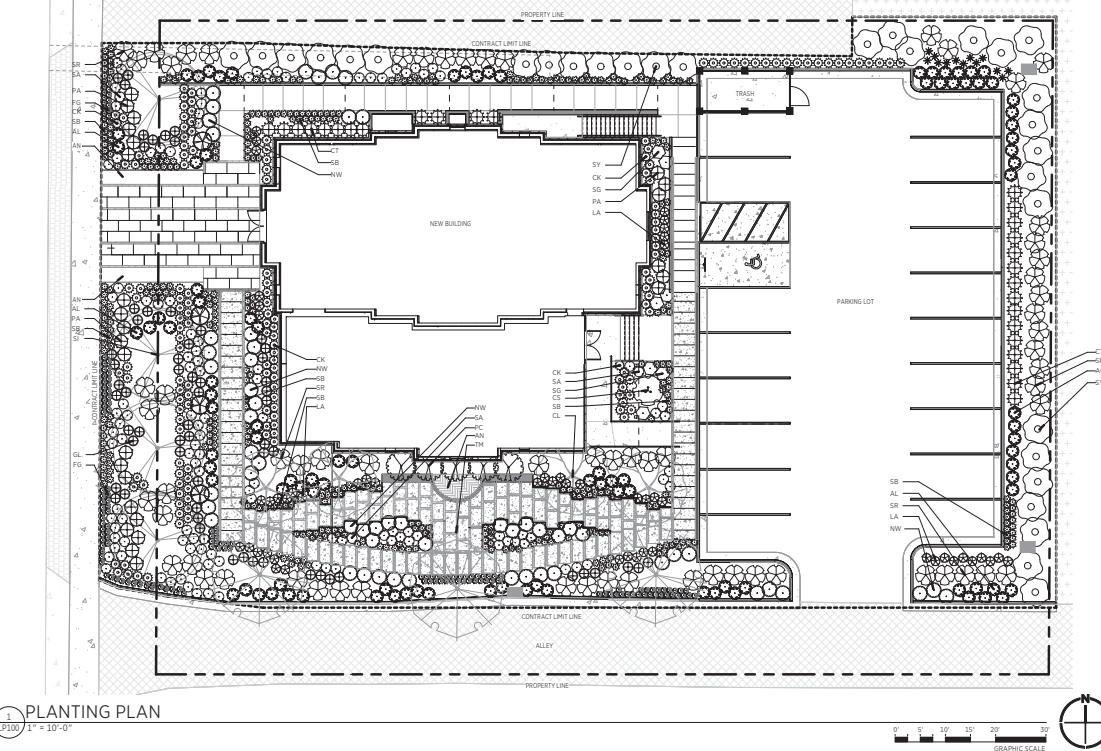
**HOLY PROTECTION
ORTHODOX CHURCH**

6209 900 E, Murray, UT 84121

Greg & Tara Aondakis

2457 Walker Ln. S.
Holladay, UT 84117
 OWNER PROJECT NO.: 2024-022.00
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PLANTING PLAN



PLANTING PLAN

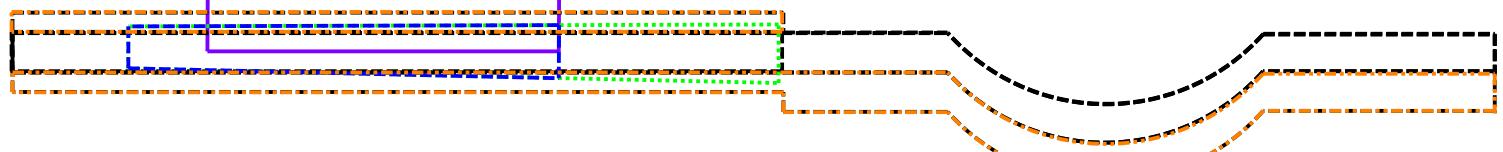
LP100 1" = 10'-0"

REV LP100



900 East

subject property



NOTE: This map is not a survey of the land depicted hereon. You should not rely upon it for any purpose other than orientation to the general location of the parcel or parcels depicted. First American Title Company expressly disclaims any liability for alleged loss or damage which may result from reliance upon this map.

JUN 8 1961

Recorded at Request of

BACKMAN BACKMAN & CLARK

at 2079 M. Fee Paid \$ 2.40

NELLIE M. JACK, Recorder Salt Lake County, Utah

by Paula A. Aarsle Dep. Book..... Page..... Ref.

Mail tax notice to..... Address.....

1782007

WARRANTY DEED

ALFRED E. GUNNERSON and AIMEE S. GUNNERSON, his wife,

grantors

of

County of

State of Utah, hereby

CONVEY and WARRANT to WILLIAM A. HANSEN and HAZEL S. HANSEN, his wife, and
EARL DEAN SHELLEY and DOLLORES SHELLEY, his wife,

grantee

of

County

, State of Utah

for the sum of Ten and no/100 (\$10.00) - - - - - DOLLARS
and other good and valuable considerations,

the following described tract of land in

Salt Lake

County,

State of Utah, to-wit:

Grantors convey for right of way purposes to be used in connection with the present created right of way, the intention being to establish a right of way 40 feet in width instead of 20 feet in width as now exists, the following described property:

Commencing 11.25 chains North and 528 feet West and 227 feet South of the Southeast corner of the Southwest quarter of Section 17, Township 2 South, Range 1 East, Salt Lake Meridian, and running thence South 10 feet; thence West 389.4 feet; thence North 10 feet; thence West 389.4 feet to the place of beginning.

WITNESS the hand of said grantor, this

10th day of

April

A. D. 1961

Signed in the presence of

M. Backman

Alfred E. Gunnerson
Aimee S. Gunnerson

STATE OF UTAH

COUNTY OF SALT LAKE

{ SS. }

On the 10th day of April A. D. 1961 personally

appeared before me ALFRED E. GUNNERSON and AIMEE S. GUNNERSON, his wife,

the signers of the within instrument who duly acknowledged to me that they executed the same.

M. Backman

Notary Public

My Commission Expires:

Sept 5 1963Residing at Salt Lake City 20th

5030823

Recorded at Request of
at M. Fee Paid \$
by Dep. Book Page Ref.
Mail tax notice to Grantee Address 6101 South 900 East
Salt Lake City, Utah 84121

A98323

QUIT-CLAIM DEED

[CORPORATE FORM]

TRAIL BOURNE, INC.

organized and existing under the laws of the State of Utah, with its principal office at Salt Lake City, of County of Salt Lake, State of Utah, grantor, hereby QUIT CLAIMS to

3D ASSOCIATES, a Utah general partnership

of Salt Lake City, County of Salt Lake, State of Utah for the sum of
TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION DOLLARS,
the following described tract of land in Salt Lake County,
State of Utah:

See Exhibit "A" attached hereto and
by this reference made a part hereof.

5030823
25 FEBRUARY 91 03:00 PM
KATIE L. DIXON
RECODER, SALT LAKE COUNTY, UTAH
ASSOCIATED TITLE
REC BY: SHARON WEST, DEPUTY

QOD

The officers who sign this deed hereby certify that this deed and the transfer represented thereby was duly authorized under a resolution duly adopted by the board of directors of the grantor at a lawful meeting duly held and attended by a quorum.

In witness whereof, the grantor has caused its corporate name and seal to be hereunto affixed by its duly authorized officers this 22nd day of February, A. D. 1991

Attest:
[Signature]
Secretary.

[CORPORATE SEAL]

TRAIL BOURNE, INC. Company
By *Ronald G. Davies* V.P. TRAIL BOURNE
President.

STATE OF UTAH,
County of Salt Lake

}ss.

On the 22nd 1991 day of February, A. D. 1991
personally appeared before me Ronald G. Davies and Phillip R. Davies
who being by me duly sworn did say, each for himself, that he, the said Ronald G. Davies
is the president, and he, the said Phillip R. Davies is the secretary
of TRAIL BOURNE, INC. Company, and that the within and foregoing
instrument was signed in behalf of said corporation by authority of a resolution of its board of
directors and said Ronald G. Davies and Phillip R. Davies
each duly acknowledged to me that said corporation executed the same and that the seal affixed
is the seal of said corporation.

My commission expires 6-19-92 WEBSTER My residence is Salt Lake County, Utah



Notary Public.

8K6292P62068

EXHIBIT A

LEGAL DESCRIPTION

The land referred to is situated in Salt Lake, and is described as follows:

BEGINNING AT A POINT WHICH IS NORTH 742.5 FEET AND WEST 639.4 FEET FROM THE SOUTH QUARTER CORNER OF SECTION 17, TOWNSHIP 2 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, THENCE SOUTH 00 DEGREES 21 MINUTES 31 SECONDS WEST 247 FEET, THENCE WEST 177.47 FEET TO THE EAST LINE OF A STREET, SAID POINT IS NORTH 00 DEGREES 19 MINUTES 30 SECONDS EAST 501.59 FEET AND EAST 74.44 FEET FROM A SALT LAKE COUNTY MONUMENT AT THE MONUMENT LINE INTERSECTION OF HOLLY AVENUE AND 900 EAST STREET, THENCE NORTH 00 DEGREES 19 MINUTES 30 SECONDS EAST 247.00 FEET ALONG SAID EAST LINE, THENCE EAST 177.61 FEET TO THE POINT OF BEGINNING.

SUBJECT TO A RIGHT OF WAY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT NORTH 742.5 FEET AND WEST 639.4 FEET AND SOUTH 0 DEGREES 21 MINUTES 31 SECONDS WEST 114.4 FEET FROM THE SOUTH QUARTER CORNER OF SAID SECTION 17, SAID POINT BEING ON THE EAST LINE OF THE ABOVE DESCRIBED LAND; THENCE SOUTH 0 DEGREES 21 MINUTES 31 SECONDS WEST ALONG SAID EAST LINE, 10.0 FEET; THENCE WEST 100 FEET, MORE OR LESS, TO THE WEST LINE OF SAID LAND; THENCE NORTH 10.0 FEET; THENCE EAST 100 FEET, MORE OR LESS TO THE POINT OF BEGINNING.

SUBJECT TO AND TOGETHER WITH A RIGHT OF WAY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT 111.13 FEET SOUTH 89 DEGREES 49 MINUTES 30 SECONDS WEST OF AN OLD FENCE CORNER, SAID POINT OF BEING NORTH 742.50 FEET, WEST 639.4 FEET, AND SOUTH 0 DEGREES 21 MINUTES 31 SECONDS WEST 233.73 FEET FROM THE SOUTH QUARTER CORNER OF SAID SECTION 17; THENCE SOUTH 89 DEGREES 49 MINUTES 30 SECONDS WEST 217.44 FEET ALONG AN OLD FENCE LINE TO THE EAST LINE OF 900 EAST STREET; THENCE SOUTH 0 DEGREES 19 MINUTES 30 SECONDS WEST 21.10 FEET ALONG SAID EAST LINE TO AN OLD FENCE LINE; THENCE SOUTH 88 DEGREES 41 MINUTES 30 SECONDS EAST 217.55 FEET ALONG SAID FENCE TO A POINT SOUTH 0 DEGREES 21 MINUTES 31 SECONDS WEST OF THE POINT OF BEGINNING; THENCE NORTH 0 DEGREES 21 MINUTES 31 SECONDS EAST 26.73 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

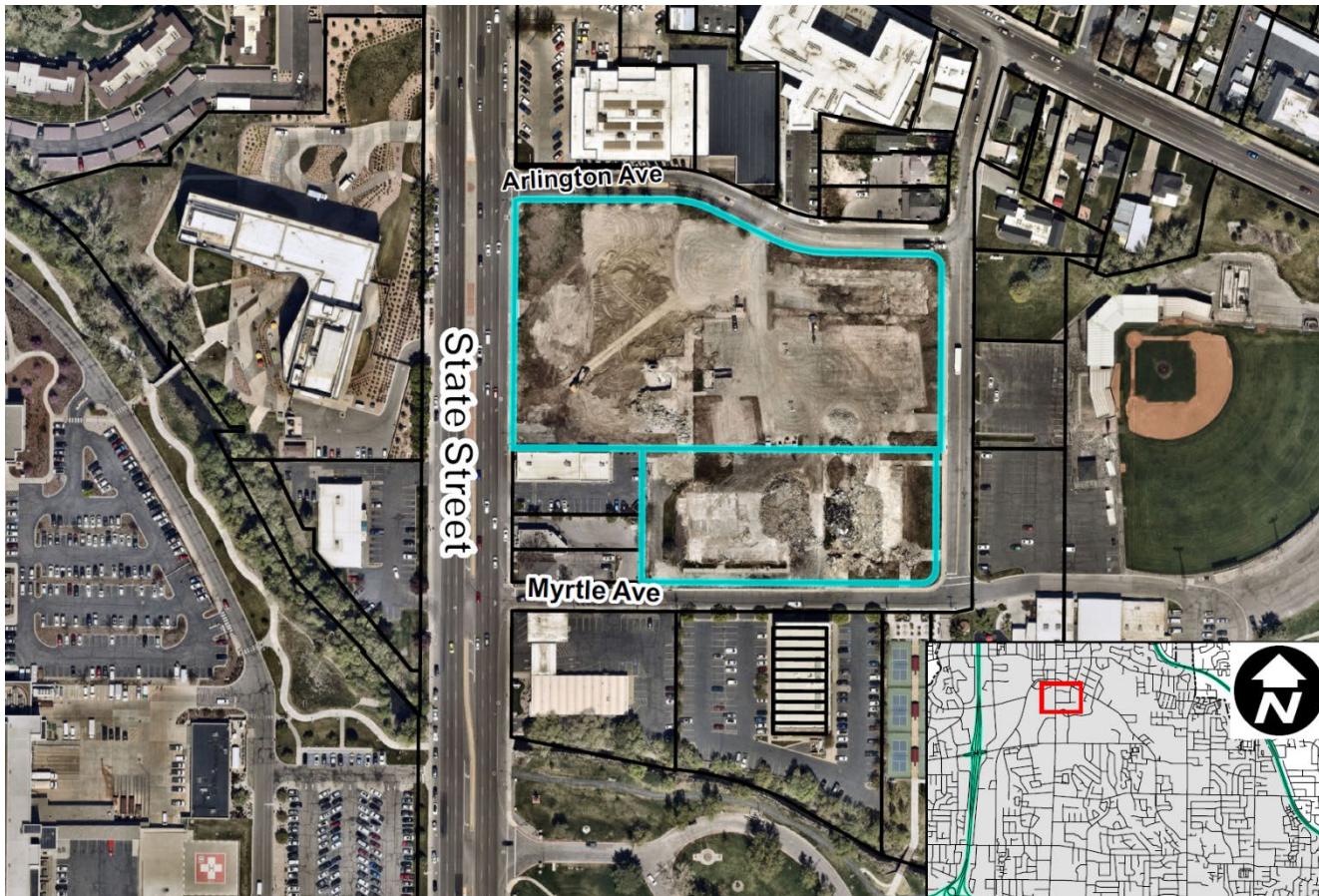
BK 5292 PG 2069

ORDER NO. 98323



AGENDA ITEM # 07 Murray Tower Plaza

ITEM TYPE:	Design Review / Master Site Plan		
ADDRESS:	5025 South State Street & 147 East Myrtle Avenue	MEETING DATE:	July 3 rd , 2025
APPLICANT:	Jim Allred, Triumph Group	STAFF:	Zachary Smallwood, Planning Manager
PARCEL ID:	22-07-157-043 & 22-07-157-046	PROJECT NUMBER:	25-015
ZONE:	MCCD, Murray City Center District		
SIZE:	5.98 acre site 78 residential units / 204,300 ft ² of commercial space		
REQUEST:	The applicant is requesting Design and Master Site Plan Review approval to allow the development of a mixed-use project.		



I. LAND USE ORDINANCE

The Murray City Center District (MCCD) is envisioned as the commercial, civic, and cultural center for the community and is intended to enhance physical, social, and economic connections by redeveloping "downtown" Murray City resulting in a richer, more vibrant cultural environment. The 2017 Murray City General Plan suggests that the City center should include development which is pedestrian oriented with a strong emphasis on urban design and streetscape.

The purpose and intent of the design review process within the MCCD is to ensure that the general appearance of buildings, signs, and the development of the lands does not detract from the purpose and intent of the MCCD chapter of the Land Use Ordinance. For Major Alterations; the exterior portions of buildings and any proposed improvements on properties within the MCCD shall be reviewed through a design review application that has been submitted, reviewed, and approved by the Planning Commission after a review and recommendation from The MCCD Review Committee.

II. BACKGROUND

The property was originally developed as the Arlington School in 1899. It was demolished in 1940 after the construction of the new Arlington school. In 1982 Murray City relocated its offices to the building after the school had closed down.

In 2023, Murray City completed construction on a new city hall. The Redevelopment Agency (RDA) put out a request for proposals (RFP) for potential development of the subject property. The Triumph Group was selected based on concepts that have been refined here. The RDA approved the development agreement late in 2023 and the developer has been refining their project to be prepared for MCCD Review Committee and Planning Commission review of the project.

Staff is comfortable that the proposal is within acceptable conformance with the code and any remaining issues can be remedied through conditions attached to this report.

Project Location

The subject property is located at the former Murray City Hall. It is bounded by State Street on the west and Ken Price Ballpark (Murray Park) on the east.

Surrounding Land Use and Zoning

<u>Direction</u>	<u>Land Use</u>	<u>Zoning</u>
North	Commercial & Multi-Family Residential	MCCD
South	Office	MCCD
East	Ken Price Ball Field / Murray Park	O-S
West	State Street / Intermountain Healthcare	C-D

Project Description

Murray Tower Plaza is a proposed 5.98 acre mixed-use development consisting of 78 homes across differing unit types and approximately 204,300 ft² of commercial space. State Street is designated as a principal street as outlined in section 17.170.110 and thus does require a commercial component.

Project Phasing and Process

The applicant proposes to develop the project in three (3) phases, the first phase will be the construction of the medical office building on State Street and the parking structure.

The second phase includes the townhomes on the north side of Jones Court and the first residential tower.

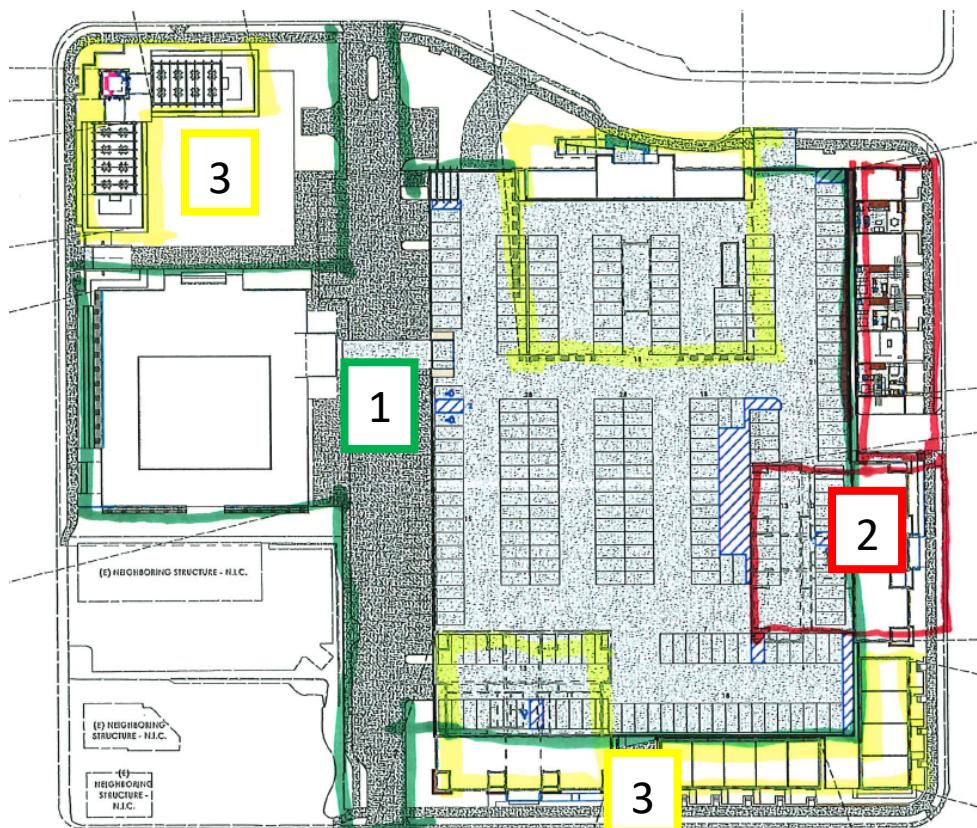


Figure 1: Phasing Plan

The third phase includes the second medical office building, the restaurants, tower, plaza, and the remaining residential units.

Area, Width, Frontage, and Yard Regulations

The following standards for setbacks or facades and entries are intended to contribute to the vibrant, connected, active, pedestrian oriented streetscape that is envisioned for the city center district and are reviewed per building in the project. Section 17.170.090 requires that building facades occupy a minimum of 50% of the total linear feet of property frontage between twelve (12) and eighteen (18) feet from the back of curb and gutter. This section allows for greater setbacks for outdoor dining or gathering spaces. If such setbacks are proposed eighty percent (80%) of the building must be located within twenty-five feet from the back of curb.

State Street Medical Office

The primary office building has approximately 157' of building frontage along State Street. Approximately seventy-eight feet (78') would be required to be within the 12-18' setback. The applicant has shown thirty-nine feet (39').

Planning staff has discussed with the applicant to include pillars attached to the building to count towards that minimum standard. Upon receipt of the latest plans there is not a connection from the pillars to the building. Staff will place a condition that the applicant amend their design to facilitate that addition.

Restaurants and Tower Building

The proposed restaurant and tower structure have frontages along both State Street and Arlington Avenue. Both building facades measure approximately 108', requiring a minimum of fifty-four feet (54') of the building to be within the setback area.

In the plans being reviewed by the Planning Commission the applicant has no portion of the façade within the twelve to eighteen foot setback. The applicant has two potential remedies; the first is to pull the buildings closer to the streets or, add outdoor dining to facilitate greater setbacks as outlined in the code above.

Arlington Avenue Medical Office

The second office building has approximately 152' of building frontage along Arlington Avenue. Approximately seventy-six feet (76') would be required to be within the 12-18' setback. The applicant has proposed that, because of the curve in Arlington Avenue, that the area between the sidewalk and the front of the building be designated as gathering space. Staff agrees with this request and do not have any requested changes.

Residential Buildings

The townhomes and stacked condos have individual porch like gathering space for the units. All the proposed residential meets the maximum setback of twenty-five feet (25') for 80% of the building facades.

Residential Density

The project is located in the Murray City Center District (MCCD), section 17.170.110(S) allows a maximum density of eighty (80) units per acre for properties located east of State Street. The property is approximately 5.98 acres which would allow for a maximum of 478 residential units. The applicant has proposed 78 (the development agreement with the RDA allows up to 99 units) which equates to approximately 13 units per acre (17 units per acre if 99 units are built). This is significantly lower than the maximum allowed.

Required Commercial

Horizontal mixed use projects are required to include commercial components totaling a minimum of the equivalent area of 100% of the project frontage along principal streets with a depth of 40'. Applying this formula to the 345 feet of project frontage along State Street results in a required commercial component of 13,800 ft². The applicant is proposing significantly more commercial at 204,300 ft². This comprised of two medical office towers and two restaurant sites. The proposed development meets this requirement.

Building Design, Scaling, and Density

Section 17.170.110 dictates requirements for buildings within the Murray City Center District. Staff has reviewed the plans and found that a majority of the project is meeting the requirements of Code. Below are items that will need to be addressed by the applicant and will be conditions of approval.

State Street Medical Office Building

The applicant has proposed the main entry to the building front plaza space. This is allowed in section 17.170.110(A). There is a requirement for additional street facing entries to appear at least once every seventy-five feet (75') on average. Based on the calculated frontage of 157' a minimum of two (2) entries to the building are required to face State Street. Based on the plans provided by the applicant an attempt was made to locate an entrance, but it is not visible or accessible from State Street. These two entrances will need to be added to the design.

17.170.110(L) states that all development shall provide ground floor windows on the building façade and adjacent to a public or private street. The applicant has shown windows on the ground floor but they do not begin until approximately five feet (5') high. Staff does not feel this is meeting the intent of the code to foster a walkable community as it detracts from eyes on the street. The applicant is meeting the letter of the code, however, staff recommends that the applicant consider making the windows larger to facilitate a better pedestrian environment.

Restaurants and Tower Building

As stated above, the applicant has proposed the main entry to the restaurant buildings front the plaza space. Based on the 108' wide frontage on State and Arlington one entrance is

required on both streets in addition to the entrance on the plaza. These will need to be added to the design.

Arlington Avenue Medical Office Building

The applicant has proposed the main entry to the building to front on Arlington Avenue. Based on the 152' wide frontage on Arlington an additional entrance is required to be located off of Arlington Avenue.

17.170.110(L) states that all development shall provide ground floor windows on the building façade and adjacent to a public or private street. The applicant has shown windows on the ground floor but they do not begin until approximately five feet (5') high. Staff does not feel this is meeting the intent of the code to foster a walkable community as it detracts from eyes on the street. The applicant is meeting the letter of the code, however, staff recommends that the applicant consider making the windows larger to facilitate a better pedestrian environment.

Residential Buildings

The applicant will need to amend any ground level unit entries to have a finished floor less or equal to twenty four inches (24") above sidewalk grade per 17.170.110(M).

Height Regulations

For developments located east of State Street and south of Vine Street the maximum height is eighty-five feet (85') or seven stories whichever is less. The applicant has provided elevations for the Planning Commission to review. The average elevation of the site is 4,288 feet. Based on those measurements staff finds the buildings to be the following heights:

- The State Street medical office building measures at fifty feet (50') in height.
- The Arlington Avenue office building measures at eighty-three feet (83') in height.
- The Jones Court Condo tower measures at fifty-seven feet (57') in height.
- The Myrtle Avenue Condo tower measures at fifty-four feet (54') in height.

The applicant meets the requirements for height in the MCCD Zoning district.

Public Improvements

The MCCD zoning district requires the installation of a five foot (5') park strip and seven foot (7') sidewalk along public frontages. The applicant has shown the MCCD required street improvements along the public frontages.

A curbside management plan has been provided by the applicant. They have indicated their intention to red curb the Arlington Avenue, Jones Court, and Myrtle Avenue frontages to prohibit street parking due to their limited width. State Street will continue to have a large shoulder allowing for some limited on-street parking.

Access & Circulation

- Vehicular: Vehicle access to the site is provided from Arlington Avenue, Jones Court, and Myrtle Avenue. The primary route through the site is an access drive that connects Arlington Avenue on the north to Myrtle Avenue. There are multiple points of access to the parking garage. Two (2) accesses on Arlington to the third level, one on the west side of the parking garage accessing the second level, and three (3) that access the first level. The proposed access locations comply with applicable City Codes
- Pedestrian: Pedestrian circulation has been provided throughout the site, connecting throughout the subject property and to the public improvements on State Street, Arlington Avenue, Jones Court, and Myrtle Avenue.
- Traffic Impact Study: A traffic impact study of the development has been provided and has been reviewed by the City Engineer. The study summary indicates that the accesses proposed will accommodate the development but will require modifications along State Street in the twenty (20) year time horizon. The City Engineer will continue to work with the applicant to address any traffic concerns resulting from the traffic study.

Parking

The Murray City Center District is intended to support development patterns which foster higher pedestrian activity and reduce the need for automobiles generally. Because of this, the MCCD has lower parking requirements than would normally be required as part of a traditional single multi-family residential or commercial development. They are outlined in the table below.

MCCD Required Parking			
	Requirement	Total Units (p1, p2, p3)	Required (p1, p2, p3)
1 Bedroom	1.55 spaces	12 (0 6 6)	19 (0, 9, 10)
2 Bedrooms	2 spaces	52 (0 25 27)	104 (0, 50, 54)
3+ Bedrooms	3 spaces	14 (0 7 7)	42 (0, 21, 21)
Commercial	1 per 500 ft ²	204,287 (112,793 0 91,494)	326 (180, 0, 146)
Total			491 (180, 80, 231)

The applicant provided a table that indicates (approximately 840 parking spaces including, with all but forty-seven (47) within the parking structure. This is significantly over the required amount of parking. The applicant has thoroughly addressed all the parking requirements outlined in the code.

Landscaping & Site Amenities

Section 17.170.160 (H) states that developments east of State Street and south of Vine Street

shall have landscaping and amenity space for 25% of the total site area. In addition, each project shall have a system of pedestrian walkways and sidewalks that provide connections between building entrances, neighboring building entrances, sidewalks, parking areas, open spaces, and walkways. Landscaped amenity areas provided in conjunction with multi-family uses will qualify as open space.

The applicants show the total lot acreage at 5.98 acres or 260,489 ft². This requires 1.5 acres or 65,122 ft² of open and amenity space. Staff calculated all open spaces on the provided landscape plan and found that the total landscaped area (including the plaza space) measured out to be 49,104 ft² this is below the requirement by approximately 16,018 ft². Staff has identified areas such as roof tops of the residential or medical buildings as areas where increased open space may be located. The applicant will need to work with staff to provide additional open space throughout the project and is listed as a condition of approval.

Elevations & Materials

Elevations and renderings of the buildings have been attached to this report for review. The applicant has stated their intent to have different architectural styles between the commercial and residential elements. The commercial buildings are largely glass with red brick and metal accents.



Figure 2: Arlington Medical Office Building



Figure 3: Restaurant Building

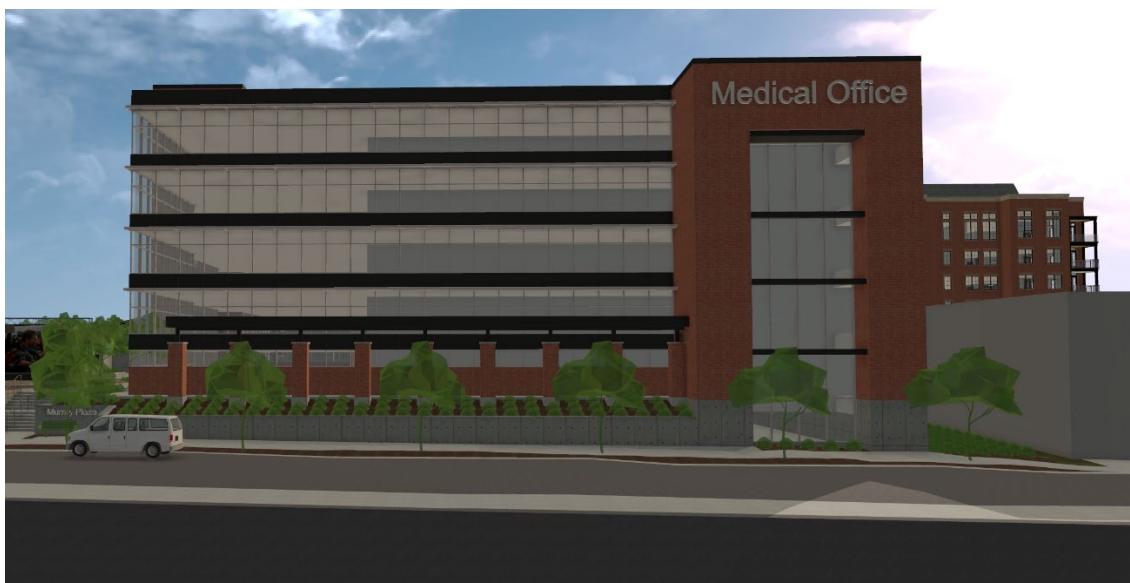


Figure 4: State Street Medical Office Building

The residential buildings are largely comprised of brick and stone on the facades. There will be some unifying architectural elements such as the black metal accents. The applicant has stated that they want the residential to complement but not blend in with the commercial

buildings.



Figure 5: Townhome Architecture



Figure 6: Condo Tower Architecture

Lighting

Lighting plans have been provided and are attached to this report for your review. City standard lights will need to be reviewed and approved in conjunction with Murray City Power

along all public frontages. Site lighting includes parking lot lights, building mounted lights, and bollard lights for use along pedestrian paths and walkways. The full photometric plan has been prepared for review by the City Engineer.

Trash Enclosures

Section 17.76.170 requires that refuse containers be enclosed by a solid barrier fence with attached solid barrier access gates. The applicants propose two (2) trash enclosures, mixed between each of the phases. It was indicated by the applicant that residents will have valet service. Valet service means that a resident puts out their garbage bags into the hallway and people come pick them up to either place into a garbage truck, or toss them in the dumpsters.

III. MASTER SITE PLAN REQUIREMENTS

In addition to a review of the project against the MCCD Zoning District regulations, the Planning Commission shall address the following when considering an application for master site plan approval:

- A. Building Orientation: Commercial and residential buildings in the same project should primarily be oriented to face public and private streets and accesses, and not parking lots. The orientation of commercial buildings in mixed use projects should consider the residential components of the project and facilitate convenient access to them.

The applicant has oriented all applicable buildings away from parking lots, the residential and Arlington medical buildings all have primary entrance located on their respective streets. The proposed State Street buildings front onto the proposed plaza area.

- B. Central Feature: A prominent, centrally located feature such as a park, plaza, or other gathering place should be provided to unify the residential and commercial uses of the project. This location should include features and amenities to encourage public use and activity, with convenient access from both residential and commercial components of the development.

The main central feature of this project is the plaza near the medical office building and restaurant spaces. The applicant has stated that they intend to hold events and gatherings in this space. As this is close to the new Murray Theater it allows for a greater connection to downtown overall. It provides an outdoor space for residents and patrons of the businesses alike.

- C. Outdoor Spaces: Buildings should be designed to form outdoor spaces such as courtyards, plazas, and terraces that can integrate the components of the development. Pedestrian walkways linking the components of the development with these outdoor spaces and the public streets should be developed. Potential linkages to existing and

future adjacent developments should be considered.

Since review by the MCCD Review Committee the applicant has added additional pedestrian walkways throughout the project. The proposed plaza forms an outdoor space that can be used for events.

D. Development Agreement: Mixed use developments that require a master site plan shall be approved in conjunction with a master site plan agreement between Murray City and the developer. The master site plan agreement shall govern requirements for the timing of the installation of improvements, performance on construction of critical development components, and shall further memorialize the requirements for development of the several buildings and parcels as contained in the master site plan and other project approvals.

- a. Required Elements: The master site plan agreement must address the following components of the proposed project:
 - i. Allowed phasing of residential and commercial development components.
 - ii. Allowed residential densities.
 - iii. Required parking for all uses.
 - iv. Buffering of adjacent single-family residential zones.
 - v. Adequate public facilities and services.
 - vi. Establishment, maintenance, or enhancement of commercial elements.

The applicant has entered into a development agreement with the Murray City RDA and this application is a requirement in order to close on the properties. Once the applicant has received Planning Commission approval, they may work towards submitting a building permit and close on the property.

E. Master Site Plan Application Requirements: When making applications for master site plan approval to the Planning Commission, the applicant shall provide, at a minimum, the following:

- a. Traffic Impact Study: The study must be prepared by a licensed traffic engineer and analyze the traffic impacts of the proposed development on surrounding public and private transportation facilities.
- b. Parking Analysis: The applicant must prepare a parking analysis for the proposed mix of uses, demonstrating that the project's parking and circulation needs can be accommodated.
- c. Adequate Public Utilities And Facilities Review: In order to determine the availability of and impact upon public facilities and services the applicant shall conduct a review of all public utilities including power, water, sanitary sewer, and storm water with the Public Works Department.
- d. Public Services Review: The City may require review of the project's impact upon services including Police, Fire, Schools, Parks, and others.

The applicant has provided all the required information as part of the application for a

master site plan. These documents are included as attachments to this staff report.

IV. CITY DEPARTMENT REVIEW

The application and materials were distributed to various departments for their review and comments on June 19th, 2025. The following comments have been provided in response. Where appropriate, the comments are addressed as conditions of approval:

Engineering Division

1. Meet City storm drain requirements, on-site detention and water quality treatment is required. Implement Low Impact Development (LID) practices for any increase in the site impervious area.
2. Ensure detention system is located above high groundwater.
3. Provide a formal drainage and LID report.
4. Provide site geotechnical report.
5. Provide a UDOT Level II Traffic Impact Study and obtain UDOT access review.
6. Install MCCD sidewalk and park strip street improvements on all street frontages.
7. Replace any damaged curb and gutter on all street frontages.
8. Recommend removing the concrete medians and drop boxes in Arlington Ave. to better facilitate site access.
9. On-street parking will be restricted due to the 22' street width.
10. Obtain a City encroachment permit for work in City right-of-way.
11. Obtain UDOT encroachment permit for work in the State Street right-of-way.
12. Develop a site SWPPP and obtain a Land Disturbance permit prior to beginning any site work.
13. Provide a stormwater inspection and maintenance agreement.

Building Division

The Building Division recommends approval and states that each structure will be on separate permits and to make sure all buildings and townhomes have the required separation per both IRC for townhomes and IBC for the rest of the buildings.

Fire Department

The Fire Department recommends approval of the proposal and states the following:

1. Sprinklered residential. Discussed 6.19.25 planning meeting.
2. Meet ER CES testing.
3. Standpipes preferred mid landing locking caps on FDC and standpipe connections and knox.
4. Parking structure standpipe and building if most remote portion if sprinklered structure is more than 200' from standpipe.
5. Riser rooms exterior access with FDC and hydrants available within 100',
6. pre-con requested to review IFC Ch33 construction requirements and emergency plans, no combustible until roads compactable and plowable,
7. Townhome heights to road width and access, if B underneath will need sprinklers. Myrtle 22' concern if over 30' height building.

8. Work with Murray power on EV charging stations and permitting.
9. Fire sprinkler and alarms 3rd party review required
10. TOWER-Height 90'
11. 3 different points of entry different levels if parking gate Emergency access for FD.
12. Per International Fire Code at minimum need 20' of access width for fire department access road (Ch5). The applicant will need to discuss with the fire marshal aerial fire apparatus access roads. Per appendix D apparatus access roads shall have an unobstructed 26' width if in the immediate vicinity of the building or portion thereof.

Water Division

1. All water utility work must follow Murray City Water Specification and Requirements. <https://www.murray.utah.gov/DocumentCenter/View/16107/2024-Water-Specifications-Requirements>
2. 3 – Way valving at both three-inch connections. Minimize service disruption to critical buildings.
3. Move 3" water meters closer to roadway and further from the buildings to allow city personnel better access to perform maintenance on the meters.
4. Describe fire line locations on the plans to the required buildings
5. Meter sizes for the taller residential buildings might be inefficient because of the height and the travel distance of the service. Provide plumbing plan to ensure the water service will maintain adequate pressure and capacity.
6. All old water laterals that served the prior buildings must be permanently abandoned at the city main prior to new services being metered and activated.
7. The only allowable service line material between the main and the meter is Type K Copper.
8. The only allowable main line material is Class 52 Ductile Iron

Wastewater Division

1. Sheet C4.0 grease trap location will not work. Every proposed future restaurant location requires a separate grease trap and sampling manhole. See Murray Wastewater detail.
2. Maximum clean out spacing is 75 feet. The two 6" lines at NW corner of the property exceed 75 feet. Also note on plan any clean out in walkable drivable surface must have a cast iron triangulated cover placed over the clean out.
3. Existing sewer main material in Myrtle Avenue is clay pipe not SDR 35 as labeled please change.
4. Adjust dead end SSMH #102 to have a 6" lateral tie into dead end MH.
5. Need to see overall sewer flow calculations for the development at build out. Need to verify current sewer infrastructure is adequate for the flows.
6. Include all applicable details directly from the Murray Wastewater specification book, not the included APWA details.
7. <https://www.murray.utah.gov/DocumentCenter/View/14929/Revised-Wastewater-Spec-Book-2023>

Power Department

1. The Power Department requires main disconnect size(s), and one-line diagrams for all future power service points before transformers can be placed on order.
2. When the time comes to build the new building(s), we will want to have a meeting to plan the new electrical service(s).
3. Murray Power and Murray Fire would like to work together with the developer regarding safety disconnects for the proposed EV chargers.
4. The developer must meet all Murray City Power Department requirements and the current NESC/NEC code and provide the required easement/ safety clearance(s) for equipment and Power lines.
5. Developer to coordinate metering placement with Murray Power metering department. Contact John Galanis 801-264-2723.

V. PUBLIC INPUT

Forty-two (42) notices were mailed to property owners within a 500' radius of the property. As of the writing of this staff report, no comments have been received.

VI. FINDINGS

Based on the analysis of the application, materials submitted, site visits, and a survey of the surrounding area, Staff concludes the following:

1. The proposed mixed use development is consistent with the goals and objectives of the Murray City General Plan.
2. Land Use #1100, Housing Units are a permitted use in the MCCD Zone.
3. Horizontal Mixed Use developments are allowed subject to Master Site Plan approval by the Murray City Planning Commission.
4. With conditions, the proposed development complies with the requirements of the MCCD Zone and other applicable standards of the Murray City Land Use Ordinance.

VII. CONCLUSION/RECOMMENDATION

Based on the information presented in this report, application materials submitted and a site review, staff recommends that the Planning Commission grant Master Site Plan and Design Review APPROVAL for the Murray Tower Plaza Mixed-Use Project on the properties located at 5025 South State Street and 147 East Myrtle Avenue, subject to the following conditions:

1. The project shall meet Murray City Engineering requirements.
2. The applicant shall meet all Murray City Water division requirements.

3. The project shall meet all Murray City Wastewater requirements.
4. The applicant shall meet all Murray City Power Department requirements and meet with power department staff to plan power service to the new building.
5. The applicant shall meet all Murray City Fire Department requirements.
6. The project shall meet all requirements of the Murray City Land Use Ordinance and the Master Site Plan.
7. The applicant shall work with staff to add street facing entrances for the State Street medical office building and restaurant buildings as required by code.
8. The applicant shall work with staff to increase the amount of landscaping and open space.
9. The applicant shall obtain appropriate permits for any new signage on the property.
10. The applicant shall obtain proper building permits prior to any construction and meet all building division requirements.
11. The applicant shall ensure any new businesses going into the commercial units obtain a business license prior to conducting operations.

MASTER SITE PLAN APPLICATION

Project Information

Project Name: Murray Tower Medical Plaza

Project Address: 5025 S. State Street, Murray Utah 84107

Parcel Identification (Sidwell) Number: 22071570430000 & 22071570460000

Parcel Area(acres): 5.98 Current Use: N/A Proposed: Mixed use medical project

Floor Area(square feet): (see drawings) Zoning District: Municipal Zone

Applicant Information

Name: Murray Triumph Group

Mailing Address: 5151 S. 900 E. #250 City: SLC State: UT ZIP: 84117

Phone #: 801-560-1596 Fax #: Email Address: jima@triumphcmg.com

Property Owner's Information (If different)

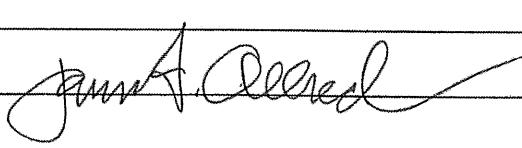
Name: Under contract with Murray City

Mailing Address: City: State: ZIP:

Phone #: Fax #: Email Address:

Describe the request in detail (use additional pages, or attach narrative if necessary):

Mixed use medical office buildings, restaurants, parking structure & for sale residential units

Authorized Signature:  Date: 01/09/2025

For Office Use Only

Project Number:

Date Accepted:

Planner Assigned:

Property Owners Affidavit

I (we) _____, being first duly sworn, depose and say that I (we) am (are) the current owner of the property involved in this application: that I (we) have read the application and attached plans and other exhibits and are familiar with its contents; and that said contents are in all respects true and correct based upon my personal knowledge.

Owner's Signature

Owner's Signature (co-owner if any)

State of Utah

§

County of Salt Lake

Subscribed and sworn to before me this _____ day of _____, 20 _____.

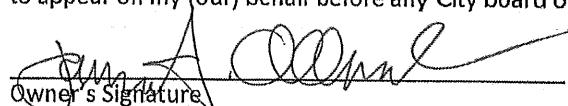
Notary Public

Residing in _____

My commission expires: _____

Agent Authorization

I (we), Murray Triumph Group, the owner(s) of the real property located at 5025 S. State Street, in Murray City, Utah, do hereby appoint James F. Allred, as my (our) agent to represent me (us) with regard to this application affecting the above described real property, and authorize James F. Allred to appear on my (our) behalf before any City board or commission considering this application.


Owner's Signature

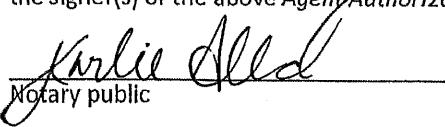
Owner's Signature (co-owner if any)

State of Utah

§

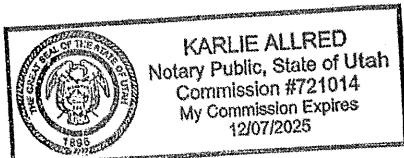
County of Salt Lake

On the 9th day of January, 20 25, personally appeared before me James F. Allred the signer(s) of the above *Agent Authorization* who duly acknowledge to me that they executed the same.


Notary public

Residing in: Salt Lake

My commission expires: 12/07/25





NOTICE OF PUBLIC HEARING

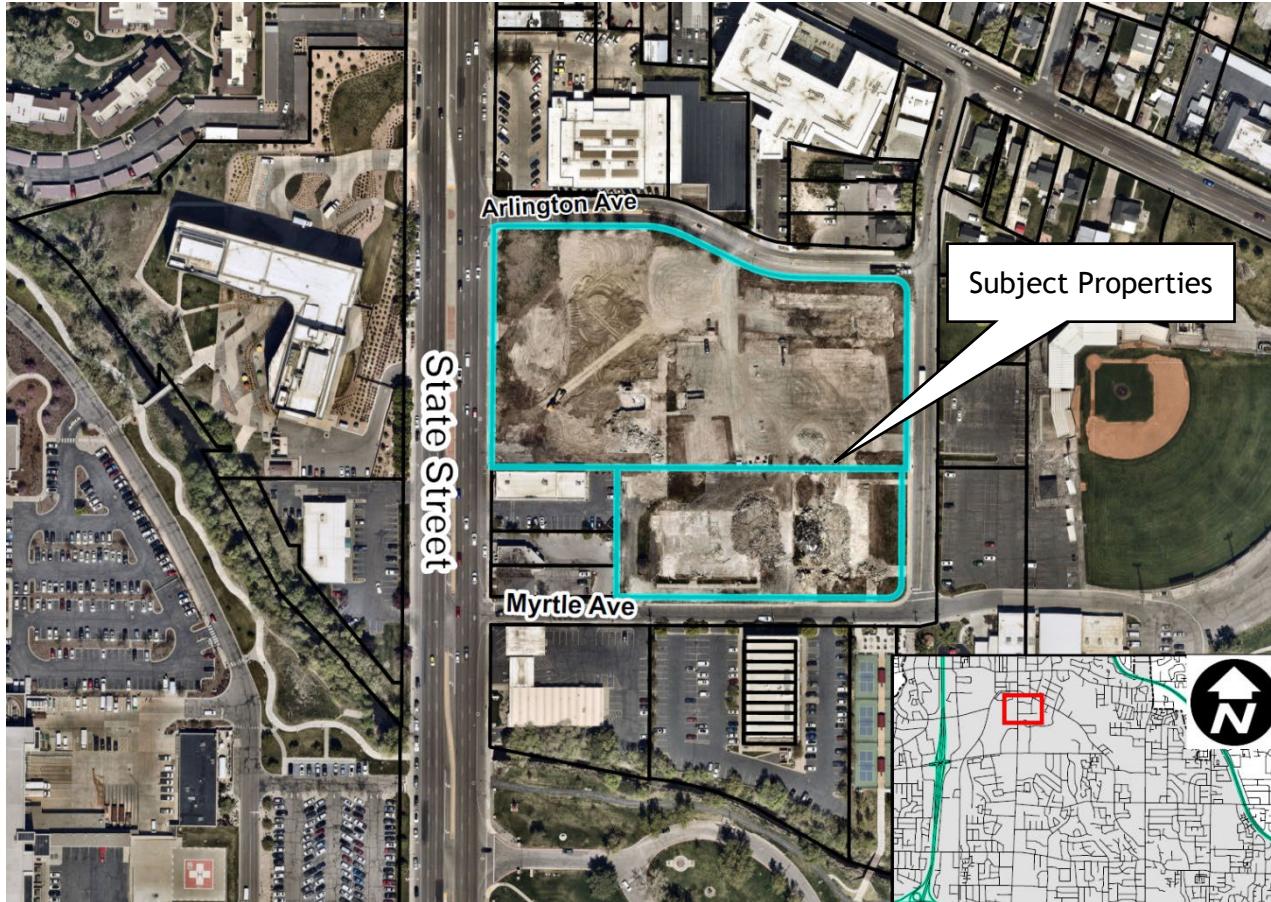
July 3rd, 2025, 6:30 PM

The Murray City Planning Commission will hold a public meeting on Thursday, July 3rd, 2025, at 6:30 p.m. in the Murray City Council Chambers, located at 10 East 4800 South to receive comment on an application submitted by **Representatives of Triumph Group** for the properties located at **5025 South State Street & 147 East Myrtle Avenue**.

The applicant is requesting Master Site Plan approval to develop a mixed-use project including 78 multi-family units and 204,287 square feet of commercial space on 5.98 acres.

The meeting will be streamed online, at www.murraycitylive.com or www.facebook.com/MurrayCityUtah/.

Comments are limited to 3 minutes or less, written comments will be entered into the meeting record.

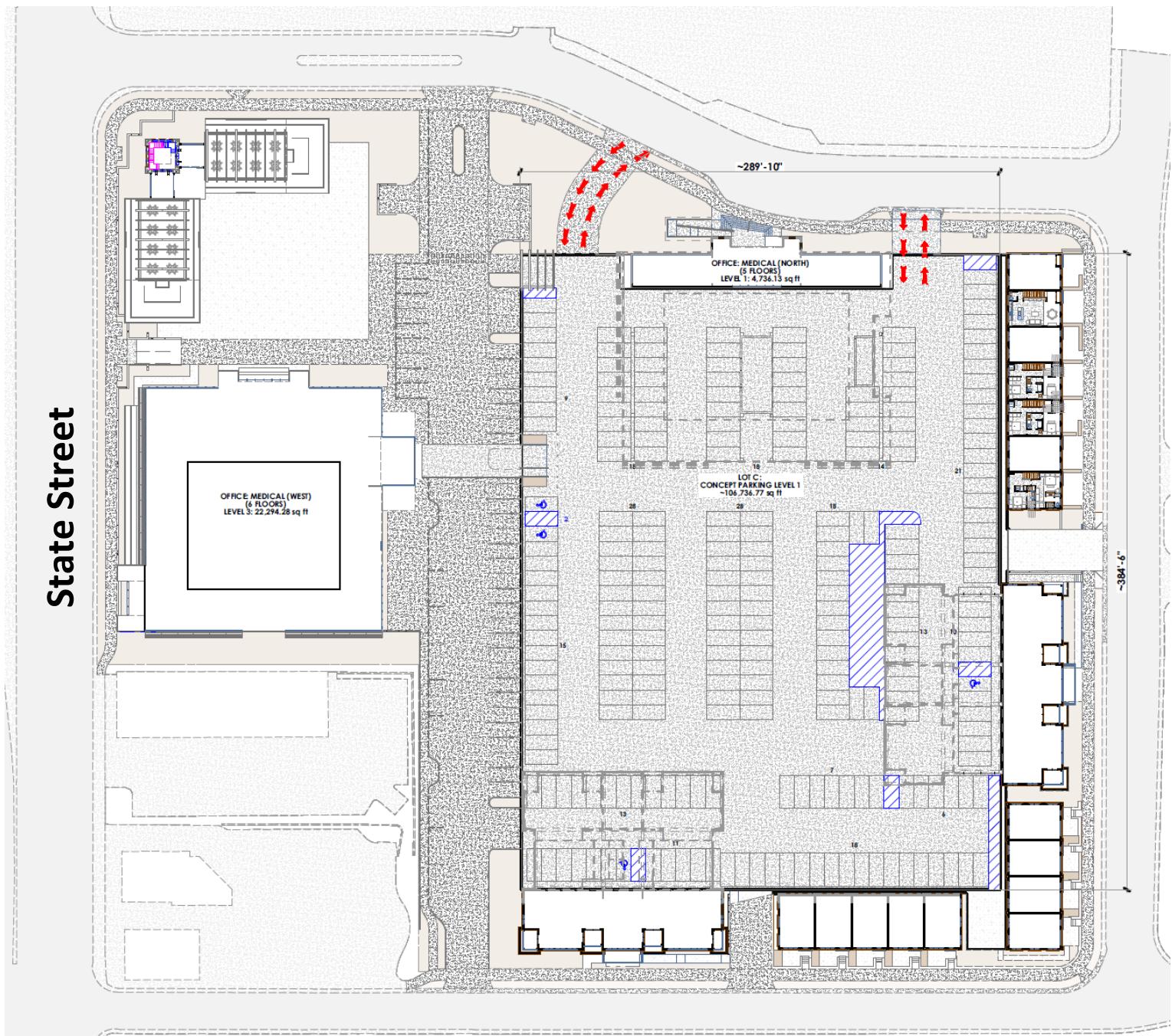


This notice is being sent to you because you own property within 500 feet of the subject property. Comments concerning this proposal, will be accepted by calling the Murray City Planning Division at 801-270-2430, e-mail to pc@murray.utah.gov or in person at the meeting.

Special accommodations for the hearing or visually impaired will be upon a request to the office of the Murray City Recorder (801-264-2660). We would appreciate notification two working days prior to the meeting. TTY is Relay Utah at #711.

Public Notice Dated | July 18th, 2024

State Street



Murray City Hall

10 East 4800 South

Murray, Utah 84107





MURRAY CITY CORPORATION
PUBLIC WORKS

801-270-2440 FAX 801-270-2450

April 8, 2025

Murray Towns & MOB
State St from Myrtle Ave to Arlington Ave
Murray, Utah 84107

Salt Lake County Health Department
788 East Woodoak Lane (5380 South)
Murray, Utah 84117

SUBJECT: Water & Wastewater availability

Dear Triumph Construction

We have reviewed your proposed "Murray Towns & MOB" located at State St from Myrtle Ave to Arlington Ave. in Murray, as you have requested.

We are writing this letter to inform you that Murray City does have the necessary capacity to provide water and wastewater service. However, please note that even though we have the capacity to provide water and wastewater service for your project, it does not mean that those services are in the appropriate locations as desired. Therefore, you Triumph Construction, will need to work with the water division and wastewater division to determine your best options for connecting to our water and wastewater systems to provide the services to your development.

If you have questions regarding specific construction standards, requirements, or related connection fees, please call (801) 270-2440.

Best Regards,

Aron Frisk
Murray Water Superintendent
MURRAY CITY CORPORATION

Benjamin Ford
Murray Wastewater Superintendent
MURRAY CITY CORPORATION



April 10, 2025

Marcus Proctor
5025 S State St
Murray, UT 84107

Dear Developer:

Re: Natural Gas Service Availability Letter

Natural gas can be made available to serve the Subdivision Name when the following requirements are met:

1. Developer provides plat maps, drawings, construction schedules and/or buildings that will be served by natural gas, and all other relevant information regarding commercial and residential uses, including but not limited to, proposed natural gas appliances (number and type of appliances per unit, homes, building).
2. Review by Enbridge Gas' Engineering and/or Pre-Construction Department to determine load requirements. System reinforcement requirements and estimated costs to bring natural gas to the development.

Upon completion of Enbridge Gas' review of the development's natural gas requirements, agreements will be prepared, as necessary, for high pressure, intermediate high pressure and/or service line extensions required to serve the development. These service extensions must be paid in advance.

To accommodate your construction schedule and provide cost estimates to you, please contact me at your earliest convenience.

Sincerely,

A handwritten signature in black ink that reads "JT Wade".

JT Wade
Pre-Construction Representative



MURRAY CITY CORPORATION
CITY POWER

Greg Bellon, Director
801-264-2730

April 9, 2025

To: Murray Town & MOB
State ST from Myrtle Ave to Arlington Ave
Murray, Utah 84107

From: Chris Niemann
Engineering Manager
Murray City Power
153 W 4800 S
Murray, UT 84107

Re: Will Serve Letter

Dear Triumph Construction

As requested, this letter certifies that Murray City Power will provide services to the development property located at State ST from Myrtle Ave to Arlington Ave
Murray, Utah 84107

Feel free to contact me should you have further questions. (801 264 -2717

Best Regards,

Chris Niemann

FOCUS
ENGINEERING AND SURVEYING, LLC
6949 S. HIGH TECH DRIVE SUITE 200
MIDVALE, UTAH 84047 PH: (801) 352-0075
www.focus-es.com

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MIDVALE, UTAH 84047 PH: (801) 352-0075
www.focus-es.com

FOR
REVIEW
ONLY

MURRAY MOB

MURRAY, UTAH

DEMO PLAN

MURRAY, UTAH DEMO PLAN

—————	BOUNDARY
—————	ROW
—————	CENTERLINE
—————	LOT LINE
—————	EASEMENT
XX SD	XX" STORM DRAIN
XX SS	XX" SANITARY SEWER
XX W	XX" CULINARY WATER
XX PI	XX" PRESSURE IRRIGATION
XXXX	CONTOUR MAJOR
XXXX	CONTOUR MINOR
Ex SD	EXIST. STORM DRAIN
Ex SS	EXIST. SANITARY SEWER
Ex W	EXIST. CULINARY WATER
X X X	EXIST. FENCE
(XXXX)	EXIST. CONTOUR MAJOR
(XXXX)	EXIST. CONTOUR MINOR
—	SIGN
—	STREET LIGHT
SD	SD MH, INLET, AND COMBO
SS	SEWER MANHOLE
SW	SECONDARY METER, WATER METER
WM	CULINARY VALVE, TEE & BEND
—	SECONDARY VALVE, TEE & BEND
▼	WATER BLOW-OFF
—	FIRE HYDRANT
—	STREET MONUMENT (TO BE SET)
○	EXIST. STREET MONUMENT
SD	EXIST. SD INLET & MH
S	EXIST. SEWER MH
—	EXIST. VALVE, TEE, & BEND
—	EXIST. FIRE HYDRANT
○ XXXX.XX	SPOT ELEVATION

NOTES:

1. CONTRACTOR SHALL USE PRECAUTIONS AND SAFEGUARDS TO ENSURE THAT THE EXISTING SURROUNDING PROPERTIES ARE PROTECTED FROM DAMAGE DURING EXCAVATION & CONSTRUCTION
2. ALL HARDSCAPE STRUCTURES, LANDSCAPE, WALLS, UTILITY LINES, UTILITY STRUCTURES, AND OTHER EXITING ITEMS TO BE REMOVED ON SITE AS PART OF DEMOLITION.
3. WATER LATERAL SERVICE ON STATE STREET, ARLINGTON AVENUE, AND JONES COURT ARE TO BE KILLED AT THE MAIN
4. WATER LATERAL SERVICE ON MYRTLE AVENUE ARE TO BE KILLED AT THE METER. MURRAY CITY TO IMPROVE MYRTLE AVE. WATER LINE PRIOR TO CONSTRUCTION OF THIS PROJECT.
5. FIRE HYDRANT SERVICE ON STATE STREET, JONES COURT, AND MYRTLE AVENUE ARE TO BE KILLED AT THE MAIN.
6. SEWER LATERAL SERVICE ON MYRTLE AVENUE TO BE KILLED AT THE PROPERTY LINE.
7. ALL OVERHEAD POWER ON SITE TO BE REMOVED AND IMPROVED WITH UNDERGROUND SERVICE.
8. FIRE HYDRANTS AND STREETLIGHTS TO BE RELOCATED ARE TO BE SAVED AND REUSED FOR PROPOSED HYDRANTS DURING FUTURE CONSTRUCTION

<u>ITE TABULATIONS:</u>	
ONING	MCCD
<u>OTAL AREA:</u>	266,522 SQ FT / 6.11 ACRES
<u>UILDING AREA:</u>	51,185 SQ FT / 1.18 ACRES
<u>AIRSCAPE AREA:</u>	147,310 SQ FT / 3.38 ACRES
<u>ANDSCAPE AREA:</u>	68,027 SQ FT / 1.56 ACRES



GRAPHIC SCALE



**Know what's below.
Call 811 before you dig.**

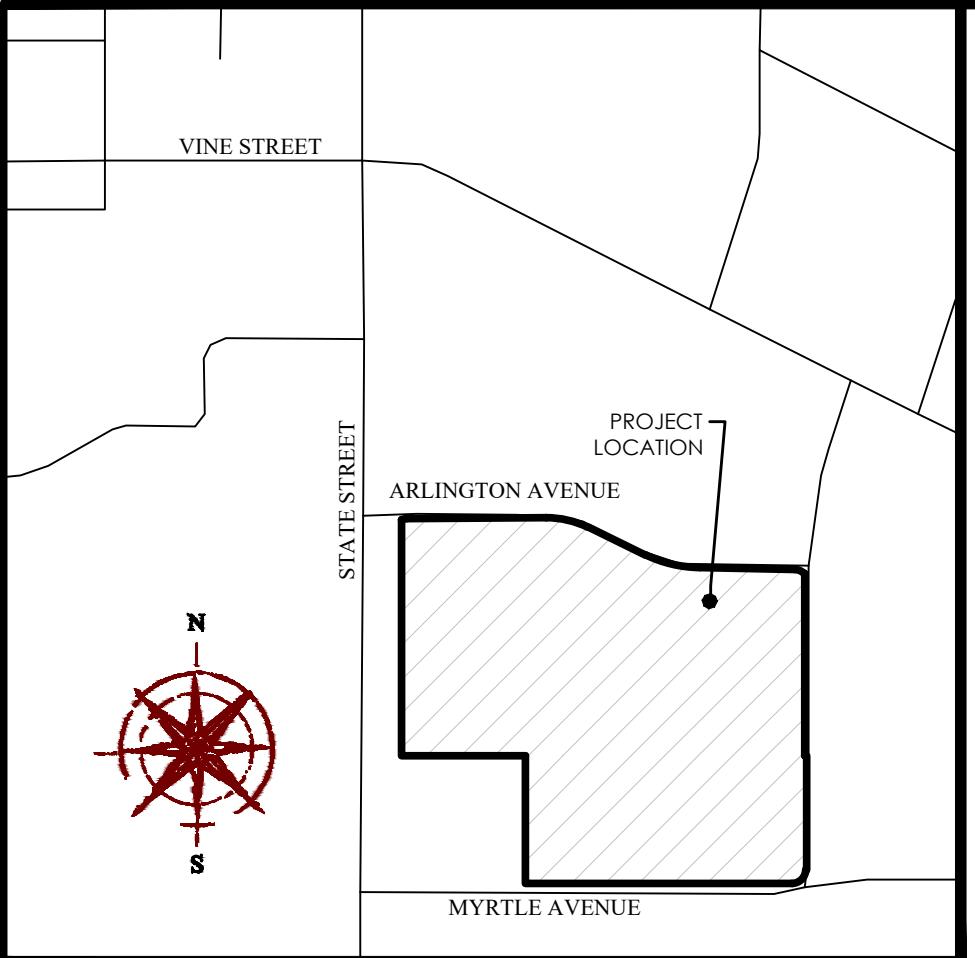
DEMO PLAN

C1.1

Z:_2024\24-0028 murray towns\design 24-0028\dwg\sheets\C2.0 - DEMO PLAN.dwg

FOR
REVIEW
ONLY

ALTA/NSPS LAND TITLE SURVEY
LOCATION: THE NORTHEAST QUARTER OF SECTION 7, T2S, R1E, SLB&M



VICINITY MAP
N.T.S

SCHEDULE B-II EXCEPTIONS

Exceptions #1-9
Contain no plottable descriptions.

Exception #10

An easement over, across or through the land for sewer line facilities and incidental purposes, granted to Murray City, a municipal corporation of the State of Utah, its successors and assigns by that certain Sewer Line Easement recorded December 3, 1964 as Entry No. 2045190 in Book 2266 at Page 618 of Official Records.

Survey Findings: Described document lies outside the surveyed property. As shown hereon.

Exception #11

An easement over, across or through the land for communication and other facilities and incidental purposes, granted to The Mountain States Telephone and Telegraph Company, a Colorado corporation, its successors, assigns, lessees, licensees and agents by that certain Right-of-Way Easement recorded October 15, 1979 as Entry No. 3350251 in Book 4964 at Page 46 of Official Records.

Survey Findings: Easement shown hereon.

Exception #12

Notice of Adoption of Amended Redevelopment Plan Entitled "C.B.D. Neighborhood Redevelopment Plan, as Amended" and Dated June 1, 1982 recorded May 26, 1999 as Entry No. 7364720 in Book 8280 at Page 4268 of Official Records.

Survey Findings: Surveyed property lies within the described document.

Exception #13

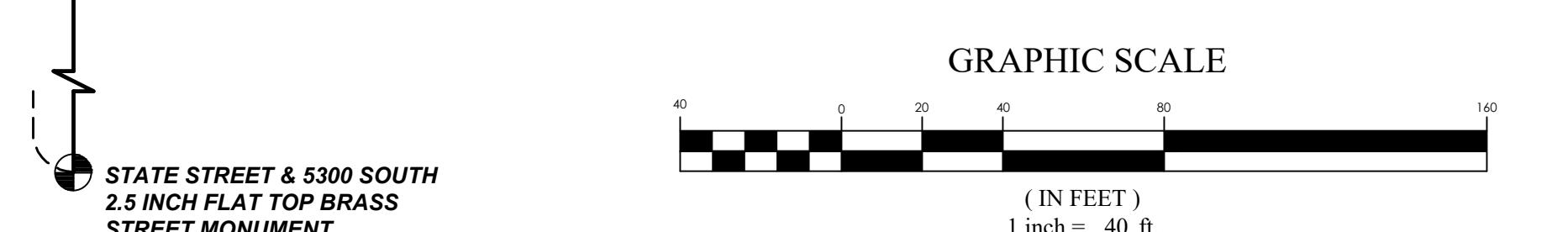
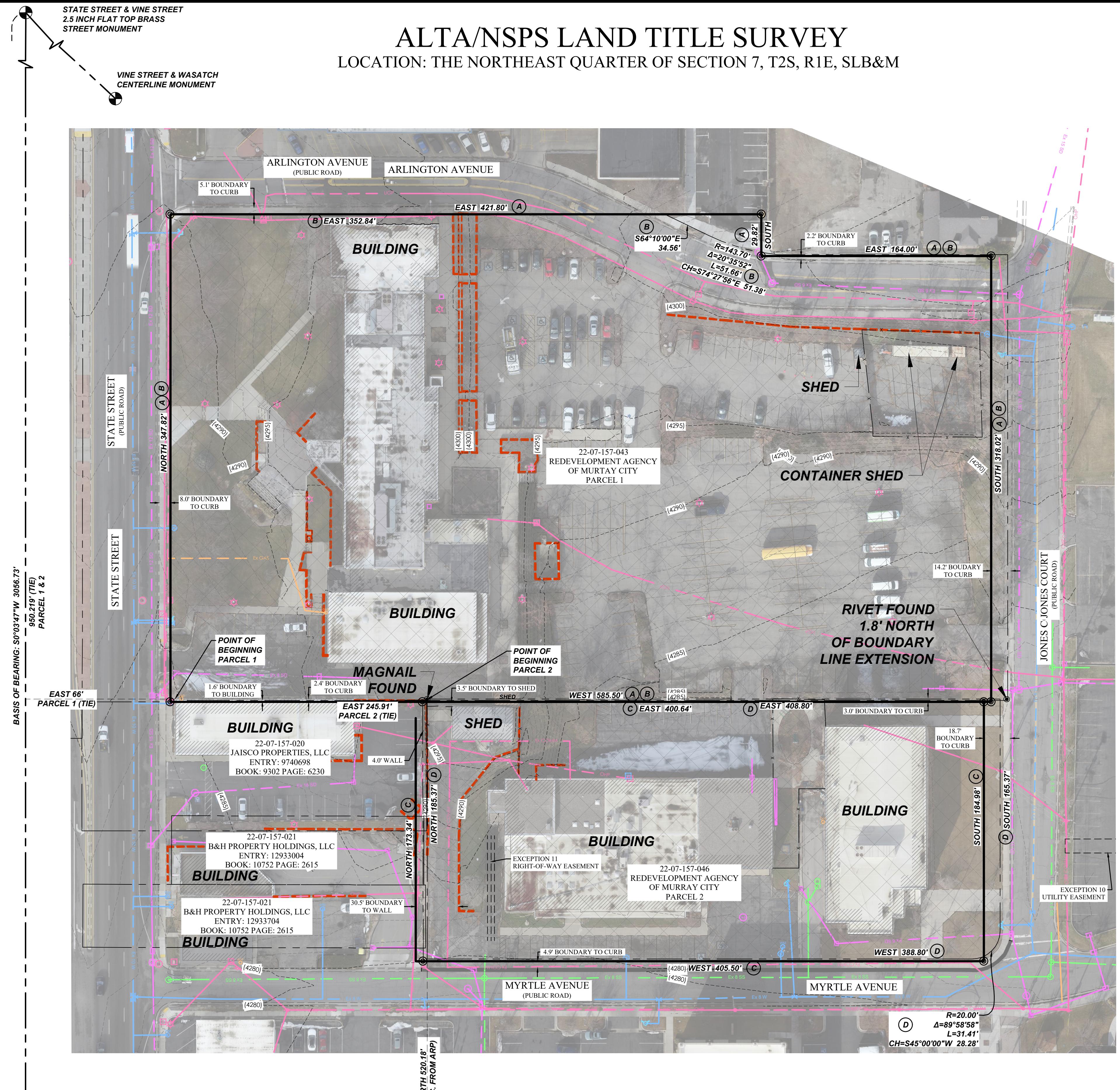
Ordinance No. 05-06, An Ordinance Approving an Amendment to the Central Business District Neighborhood Development Plan Adopted in 1977, Amended in 1982 and 1999, to Delete a Portion of the Project Area, recorded December 7, 2005 as Entry No. 9574402 in Book 9227 at Page 63 of Official Records.

Survey Findings: Surveyed property lies within the described document.

LEGEND

—	BOUNDARY LINE
—	SECTION LINE
—	EXIST. PROPERTY LINE
—	EXIST. EASEMENT LINE
—	EXIST. CONTOUR MAJOR
—	EXIST. CONTOUR MINOR
—	EXIST. STORM DRAIN
—	EXIST. SANITARY SEWER
—	EXIST. CULINARY WATER
—	EXIST. SECONDARY WATER
—	EXIST. NATURAL GAS
—	EXIST. COMMUNICATIONS
—	EXIST. OVERHEAD POWER
—	EXIST. UNDERGROUND POWER
—	EXIST. FENCE
—	EXIST. IRRIGATION DITCH FLOWLINE
—	EXIST. CONCRETE, CURB & GUTTER, SIDEWALK
—	EXIST. EDGE OF ASPHALT
—	STREET MONUMENT (FOUND)
—	SECTION MONUMENT (NOT FOUND)
—	BOUNDARY MARKER
—	EXIST. SD INLET, MANHOLE & COMBO BOX
—	EXIST. SEWER MANHOLE
—	EXIST. WATER VALVE & WATER METER
—	EXIST. FIRE HYDRANT
—	EXIST. IRRIGATION BOX
—	EXIST. GAS VALVE & GAS METER
—	EXIST. STREET LIGHT
—	EXIST. POWER POLE
—	EXIST. ELECTRICAL BOX

7 8
WEST QUARTER CORNER OF
SECTION 8, T2S, R1E, SLB&M
(NOT FOUND)



NARRATIVE
(FROM S03°42'77" W 3056.73')

An ALTA/NSPS Land Title Survey of the subject property was requested by the Triumph Group Murray, LLC as a part of a pending transaction. A commitment for Title Insurance, Commitment No. 22012441-02, dated October 19, 2022 prepared by Truly Title, Inc. was provided and relied on for the preparation of this survey.

The basis of bearings is North 63°04'40" West 978.67' measured along the monument line of Vine Street between the monuments found at the intersection of State Street & Wasatch Avenue, as shown on the SLCO ARP for Section 7, T2S, R1E. The ties to section corner monuments do not exist on the ground. Similarly the Government Lots in Section 7 as described in several of the property descriptions have not been perpetuated and are not shown in the SLCO records.

NOTES

1. The purpose of this Survey is to provide an ALTA/NSPS Land Title Survey and Certification for the parcel(s) described and shown herein.

2. A Title Commitment, dated November 6, 2023, was utilized in the preparation of this Survey. Focus Engineering & Surveying, LLC is entitled to rely on the accuracy of these documents, and is not liable for errors and omissions based on their reliance thereon. Unless noted otherwise, all title exceptions noted on this Survey are referenced from said documents.

3. The Basis of Bearing for this Survey is S00°03'47" W along the Monument line between the intersection of State Street and Vine Street and the intersection of State Street and 5300 South of Section 7, Township 2 South, Range 1 East, Salt Lake Base & Meridian. All deeds and plats of record have been rotated to match the aforementioned basis of bearing, or to other Sectional/monument lines relative to said basis of bearing per measured lines as shown herein.

4. Vertical data (contour lines and/or spot elevations, etc.) is based on the NAD88 elevation published by the Salt Lake County Surveyor on the intersection of State Street and Vine Street with an elevation street Monument of 4301.52 feet.

5. #5 rebar & cap (FOCUS ENG) is to be set at all boundary corners unless noted otherwise.

6. This drawing, its design and invention thereof, either electronic or hard copy, is the property of Focus Engineering & Surveying, LLC, and is submitted to, and is for the exclusive use of the parties listed in the Surveyor's Certificate shown herein. Only signed and sealed copies authorized by the Surveyor and sent from Focus Engineering & Surveying, LLC, or certified copies obtained from the office of the County Surveyor may be used as the official work of the Surveyor.

7. With regard to locations of utilities on or serving the surveyed property, information from sources will be combined with observed evidence of utilities pursuant to Section 5.E.v, to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, the client is advised that excavation may be necessary.

8. Survey responses to Table A (Optional Survey Responsibilities and Specifications):

a. Item 1 Survey monuments found or set shown hereon.

b. Item 2a) Zoning requirements and restrictions per zoning report or letter prepared by Salt Lake County, Utah, Date of Report: September 25, 2009.

c. Zoning Classification: Zone X (Areas determined to be outside the 0.2% annual chance floodplain).

d. Setback Requirements: NA

e. Height and Floor Space Area Restrictions: NA

f. Parking Requirements: NA

g. Item 6(b): Building setback requirements per provided zoning report or letter shown hereon.

h. Item 6(c): Substantial features observed are shown herein.

i. Item 11(a): Utility providers serving on or around the surveyed area, as determined by the Blue States of Utah (811bluestake.org) Utility Contact Lookup, were requested at the time of this Survey. Observed existing utilities, as well as those utilities disclosed on plans requested by the following utility providers shown herein. (See Note #8)

• Item 11(a): Utility providers serving on or around the surveyed area, as determined by the Blue States of Utah (811bluestake.org) Utility Contact Lookup, were requested at the time of this Survey. Observed existing utilities, as well as those utilities disclosed on plans requested by the following utility providers shown herein. (See Note #8)

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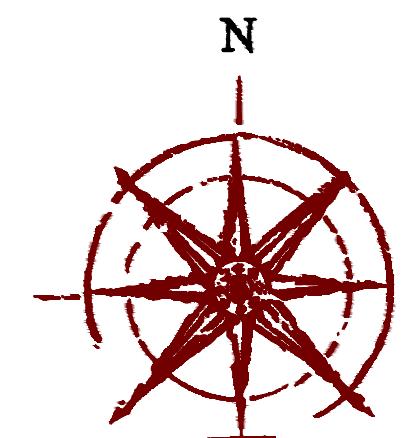
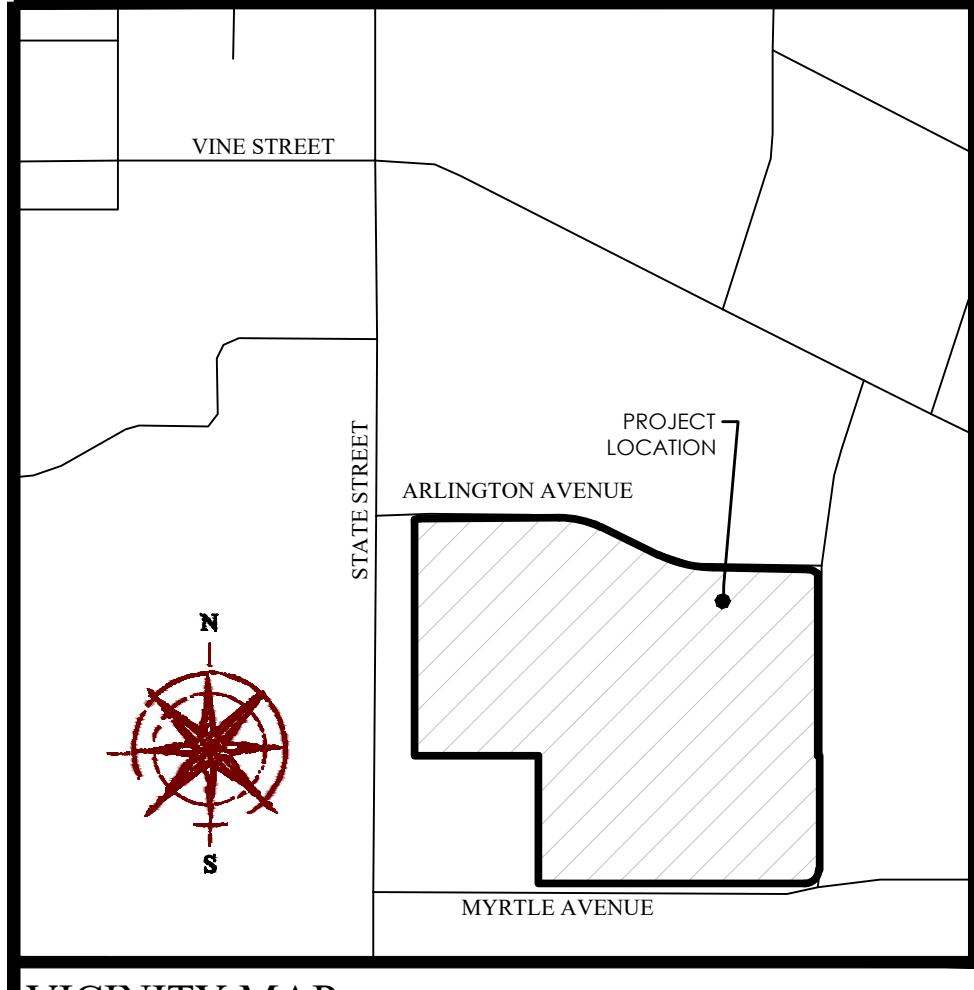
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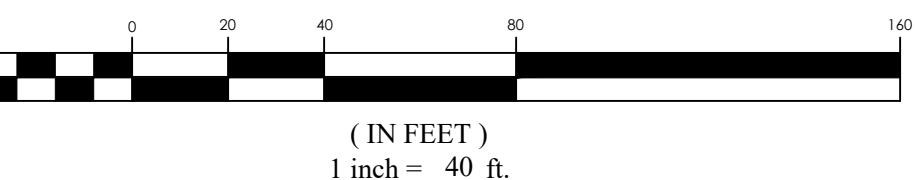
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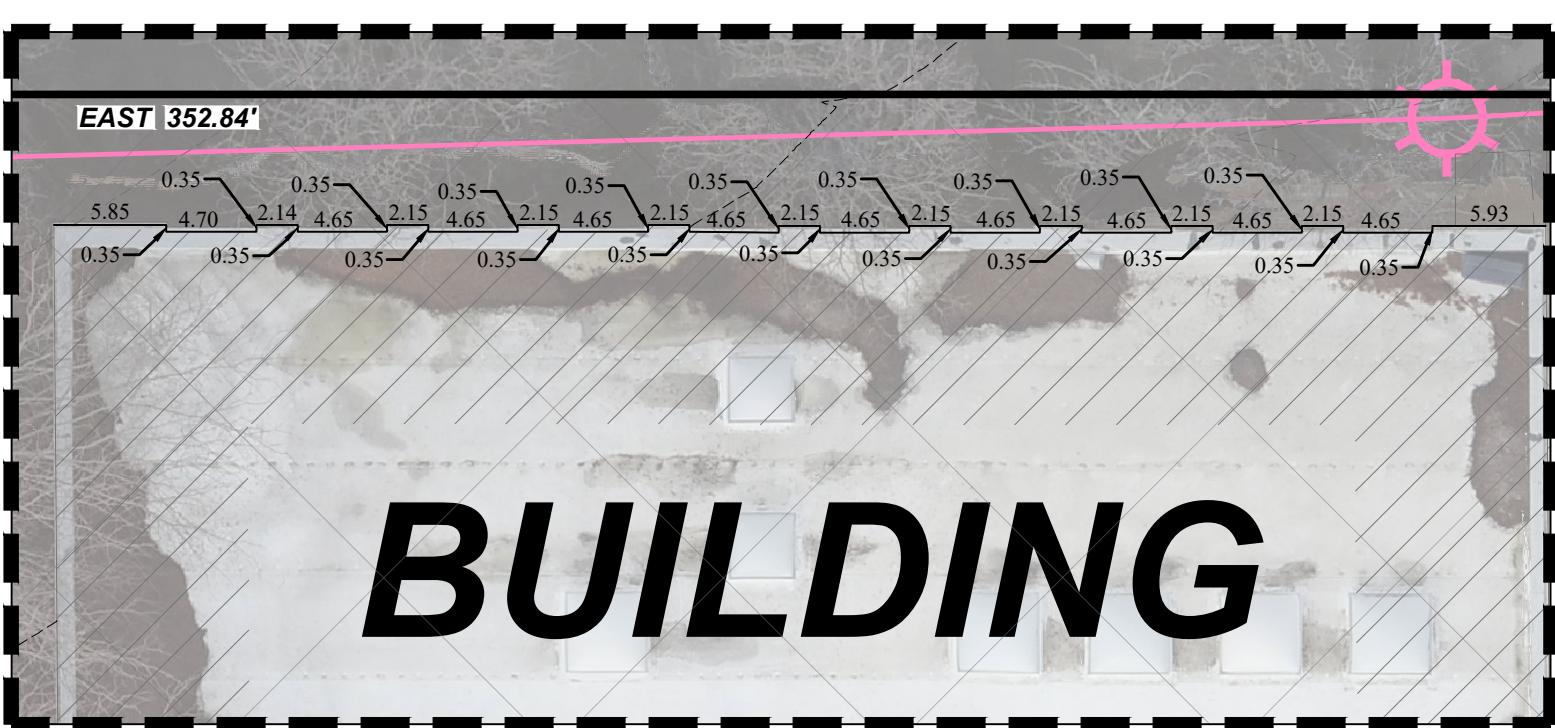


ALTA/NSPS LAND TITLE SURVEY
LOCATION: THE NORTHEAST QUARTER OF SECTION 7, T2S, R1E, SLB&M

GRAPHIC SCALE



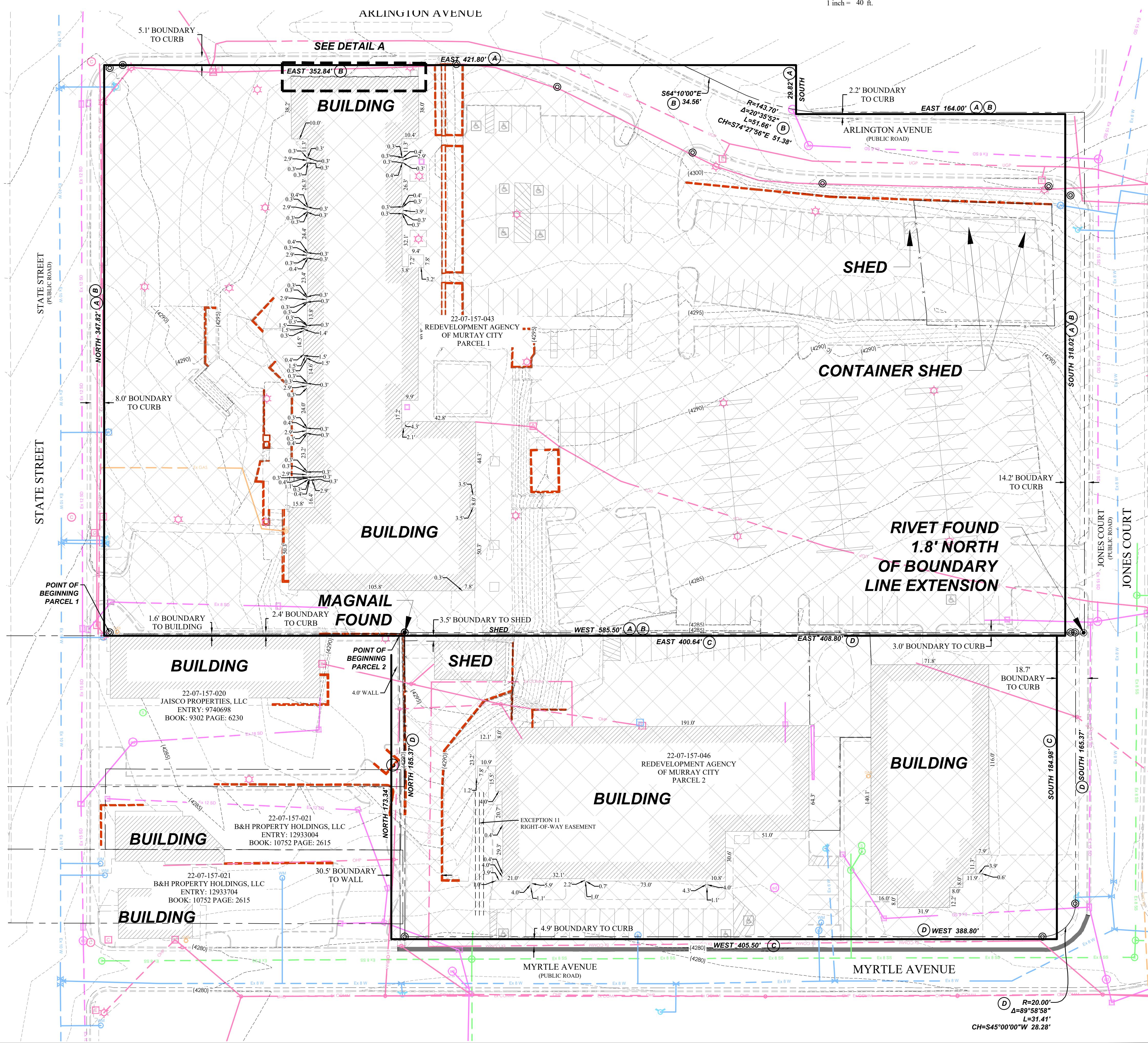
DETAIL A (N.T.S.)



BUILDING

LEGEND

—	BOUNDARY LINE
—	SECTION LINE
—	EXIST. EASEMENT LINE
—	EXIST. PROPERTY LINE
—	EXIST. CONTOUR MAJOR
—	EXIST. CONTOUR MINOR
—	EXIST. STORM DRAIN
—	EXIST. SANITARY SEWER
—	EXIST. CULINARY WATER
—	EXIST. SECONDARY WATER
—	EXIST. NATURAL GAS
—	EXIST. COMMUNICATIONS
—	EXIST. OVERHEAD POWER
—	EXIST. UNDERGROUND POWER
—	EXIST. FENCE
—	EXIST. IRRIGATION DITCH FLOWLINE
—	EXIST. CONCRETE, CURB & GUTTER, SIDEWALK
—	EXIST. EDGE OF ASPHALT
—	STREET MONUMENT (FOUND)
—	SECTION MONUMENT (NOT FOUND)
—	BOUNDARY MARKER
—	EXIST. SD INLET, MANHOLE & COMBO BOX
—	EXIST. SEWER MANHOLE
—	EXIST. WATER VALVE & WATER METER
—	EXIST. FIRE HYDRANT
—	EXIST. IRRIGATION BOX
—	EXIST. GAS VALVE & GAS METER
—	EXIST. STREET LIGHT
—	EXIST. POWER POLE
—	EXIST. ELECTRICAL BOX



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ALTA/NSPS LAND TITLE SURVEY
LOCATION: THE NORTHEAST QUARTER OF SECTION 7, T2S, R1E, SLB&M
PROPERTY OF: REDEVELOPMENT AGENCY OF MURRAY CITY
PREPARED FOR: TRIUMPH DESIGN BUILD

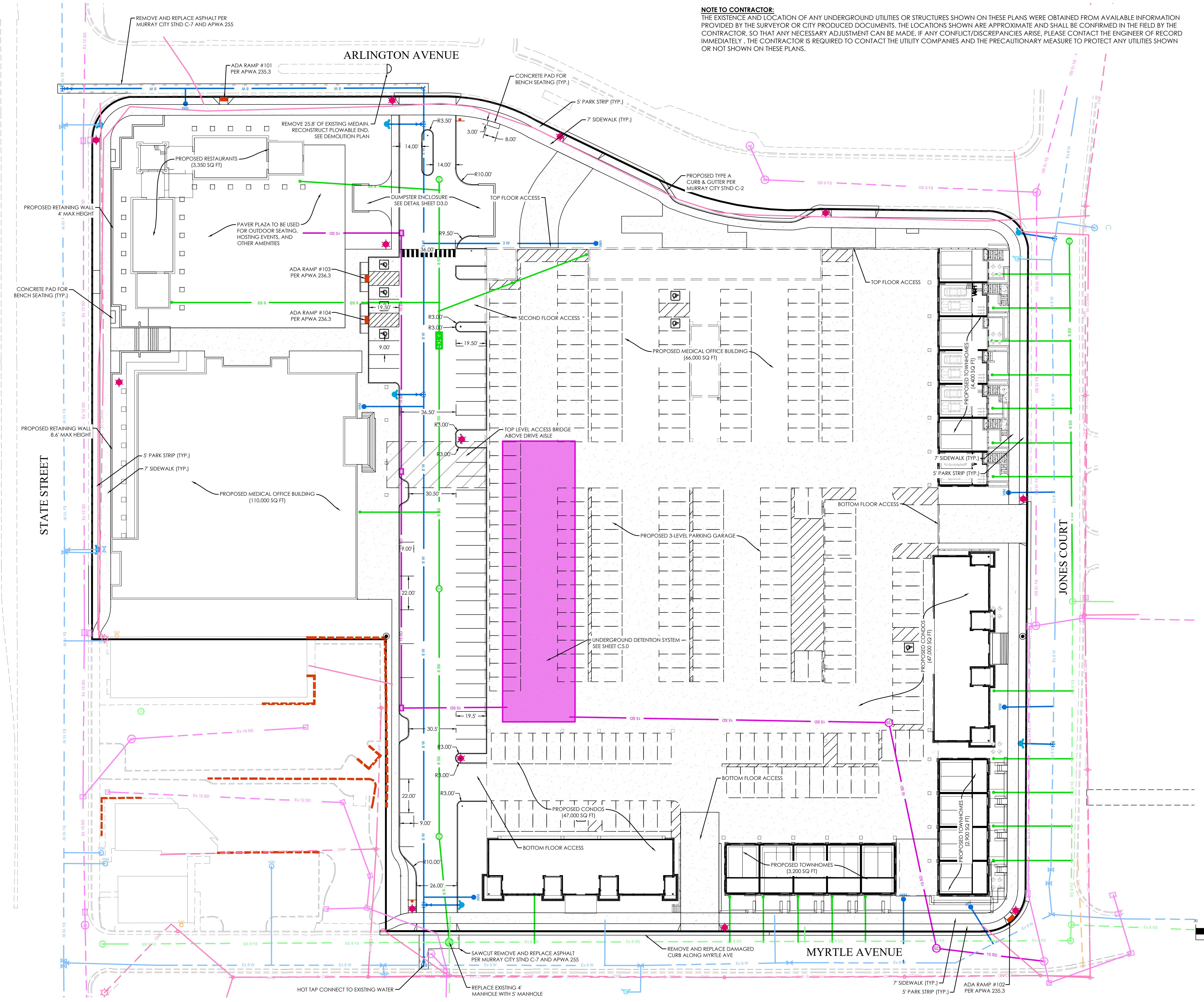
1 OF 1

FOR
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MURRAY MOB

MURRAY, UTAH

SITE PLAN



REVISION BLOCK	#	DATE	DESCRIPTION
	1	***	***
	2	***	***
	3	***	***
	4	***	***
	5	***	***
	6	***	***

SITE PLAN

Scale: 1"=30' Drawn: RRH
Date: 06/10/25 Job #: 24-0028
Sheet: C3.0

FOR
REVIEW
ONLY

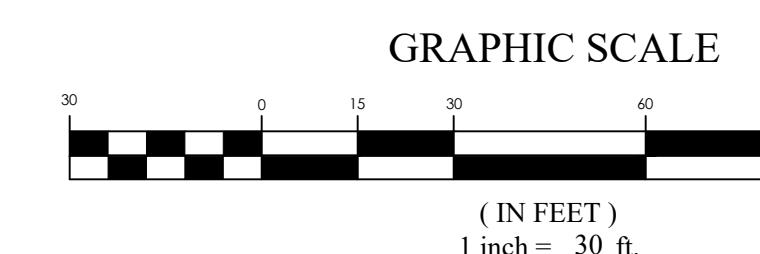
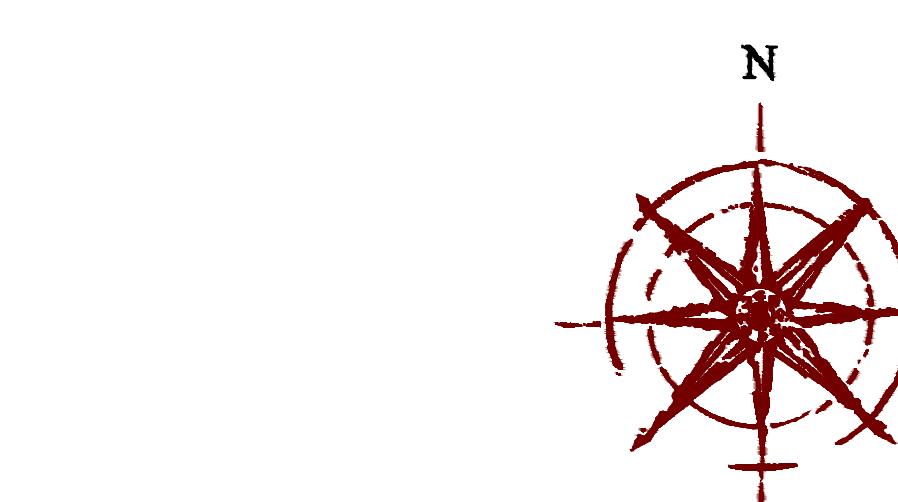
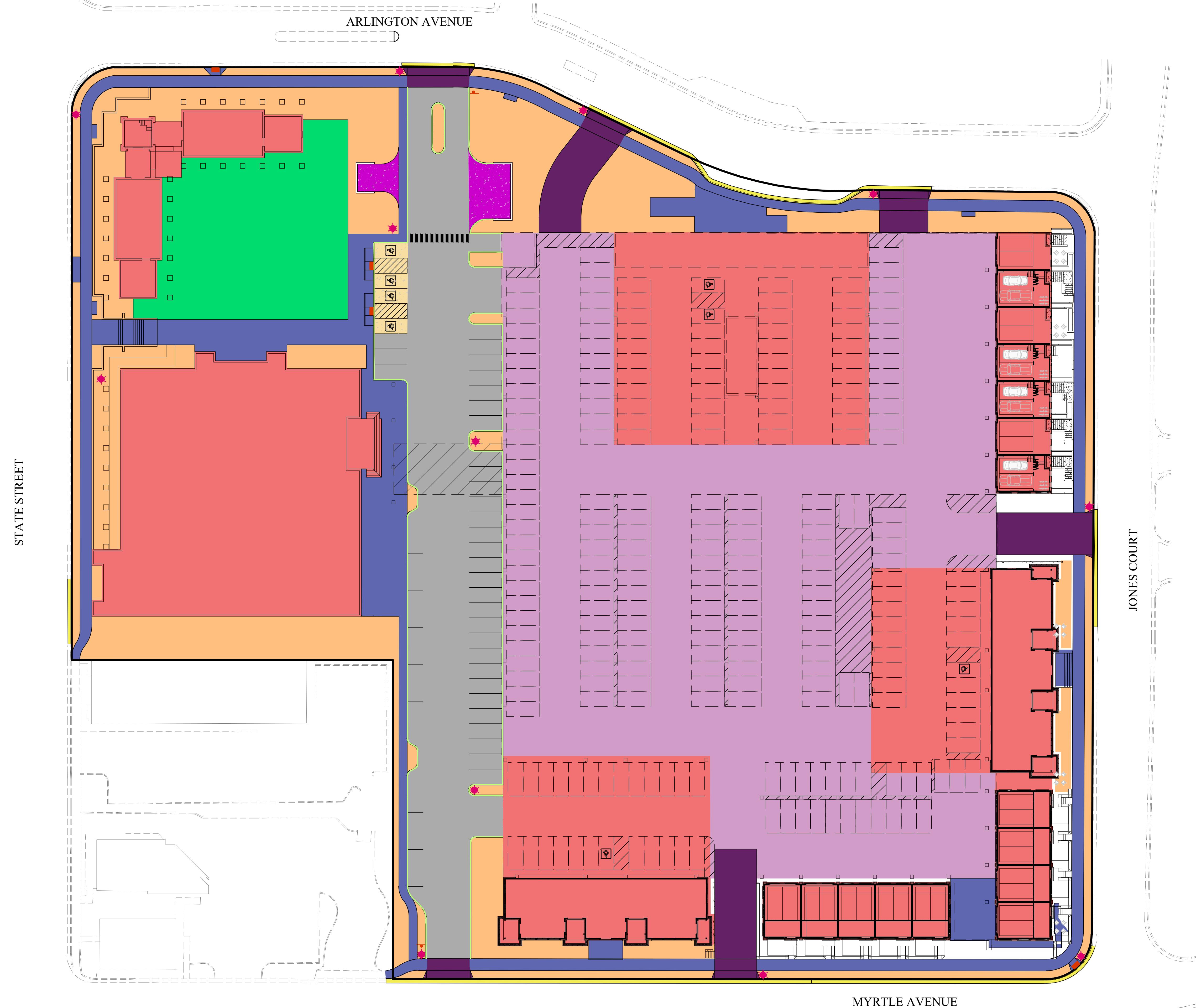
MURRAY MOB

MURRAY, UTAH

HARDSCAPE PLAN

HARDSCAPE LEGEND

	2" TYPE A CURB AND GUTTER PER MURRAY CITY STND C-2
	6" TYPE P CURB WALL PER APWA 209
	STANDARD DRIVEWAY PER MURRAY CITY STND C-2
	SIDEWALK (8" CONCRETE OVER 6" ROADBASE)
	SIDEWALK (6" CONCRETE OVER 6" ROADBASE)
	DUMPSTER CONCRETE PAD (8" CONCRETE OVER 4" ROADBASE)
	CONCRETE APRON & ADA PARKING (6" CONCRETE OVER 6" ROADBASE)
	DRIVE AISLE (3" ASPHALT OVER 8" ROADBASE)
	BUILDING FOOTPRINT
	PARKING GARAGE
	LANDSCAPE AREA
	TRANSITION ZONE
	PAVERS



HARDSCAPE PLAN	
Scale: 1"=30'	Drawn: RRH
Date: 06/10/25	Job #: 24-0028
Sheet: C3.1	z:\2024\24-0028\murray\towns\design\24-0028\drawings\c3.1-hardscape plan.dwg



MURRAY MOB

MURRAY, UTAH

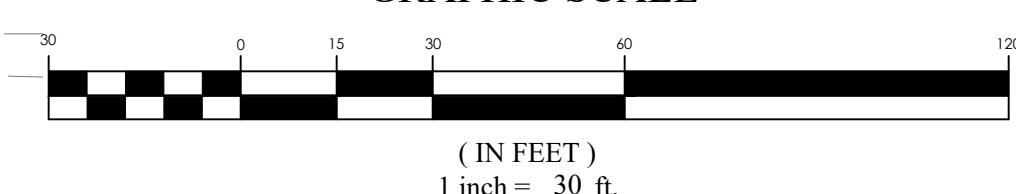
LIGHTING PLAN

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MURRAY, UTAH LIGHTING PLAN



GRAPHIC SCALE



Know what's below.
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IGHTING PLAN

C5.5

5 6

LEGEND

LINE PATTERNS

- BOUNDARY
- ROW
- CENTERLINE
- LOT LINE
- EASEMENT
- XX SD XX" STORM DRAIN
- XX SS XX" SANITARY SEWER
- XX W XX" CULINARY WATER
- XX PI XX" PRESSURE IRRIGATION
- XXXX CONTOUR MAJOR
- XXXX CONTOUR MINOR
- Ex SD EXIST. STORM DRAIN
- Ex SS EXIST. SANITARY SEWER
- Ex W EXIST. CULINARY WATER
- X EXIST. FENCE
- (XXXX) EXIST. CONTOUR MAJOR
- (XXXX) EXIST. CONTOUR MINOR

SYMBOLS

- SIGN
- STREET LIGHT
- SD MH, INLET, AND COMBO
- SEWER MANHOLE
- SW WM SECONDARY METER, WATER METER
- CULINARY VALVE, TEE & BEND
- SECONDARY VALVE, TEE & BEND
- WATER BLOW-OFF
- FIRE HYDRANT
- STREET MONUMENT (TO BE SET)
- EXIST. STREET MONUMENT
- sd — EXIST. SD INLET & MH
- S — EXIST. SEWER MH
- EXIST. VALVE, TEE, & BEND
- EXIST. FIRE HYDRANT
- XXXX.XX SPOT ELEVATION

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MURRAY, UTAH

CURB MANAGEMENT PLAN

MURRAY, UTAH

CURB MANAGEMENT PLAN

MURKAI, UAH

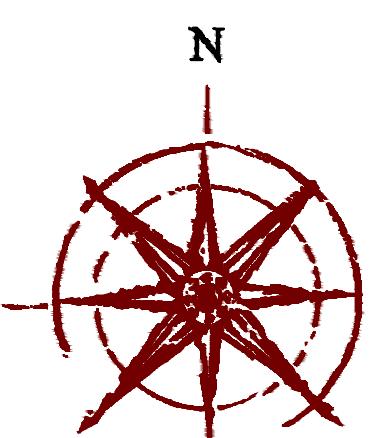
LEGEND

— BOUNDARY
— ROW
— CENTERLINE
— LOT LINE
— EASEMENT
— XX SD XX" STORM DRAIN
— XX SS XX" SANITARY SEWER
— XX W XX" CULINARY WATER
— XX PI XX" PRESSURE IRRIGATION
— XXXX CONTOUR MAJOR
— XXXX CONTOUR MINOR
— Ex SD EXIST. STORM DRAIN
— Ex SS EXIST. SANITARY SEWER
— Ex W EXIST. CULINARY WATER
— X EXIST. FENCE
— (XXXX) EXIST. CONTOUR MAJOR
— (XXXX) EXIST. CONTOUR MINOR
— SIGN
— STREET LIGHT
— SD MH, INLET, AND COMBO
— SS SEWER MANHOLE
— SW WM SECONDARY METER, WATER METER
— □ CULINARY VALVE, TEE & BEND
— □ SECONDARY VALVE, TEE & BEND
— ▽ WATER BLOW-OFF
— ▲ FIRE HYDRANT
— □ STREET MONUMENT (TO BE SET)
— ○ EXIST. STREET MONUMENT
— □ Ex SD INLET & MH
— □ Ex SS EXIST. SEWER MH
— □ Ex W EXIST. VALVE, TEE, & BEND
— ▲ Ex H EXIST. FIRE HYDRANT
— ○ XXXX XX SPOT ELEVATION

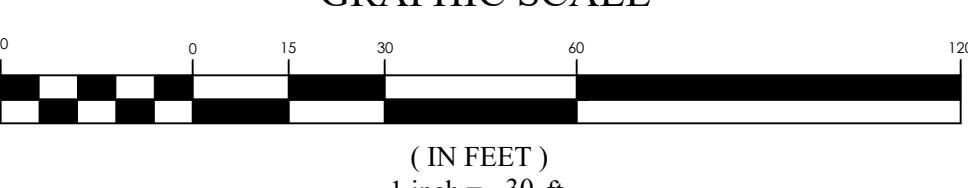
NOTES:

1. EXISTING DAMAGED CURB TO BE REPLACED WITH NEW CURB AS NOTED IN THESE PLANS
2. EXISTING CURB LOCATED AT FUTURE ACCESS POINTS IS TO BE REPLACED FOR ACCESS
3. REPLACEMENT OF CURB ADJACENT TO STATE STREET TO FOLLOW UDOT STANDARDS
4. REPLACEMENT OF CURB ADJACENT TO ARLINGTON AVE, JONES COURT, AND MYRTLE AVE TO FOLLOW MURRAY CITY STANDARDS.
5. CURB LOCATED WITHIN THE SITE TO FOLLOW MURRAY CITY AND APWA STANDARDS AS NOTED.
6. ALL STREET FRONTAGE IMPROVEMENT TO FOLLOW MURRAY CITY CODE 17.146.120

CURB TO BE PAINTED RED



GRAPHIC SCALE



CURB MANAGEMENT PLAN

Scale:	1"=30'	Drawn:	RRH
Date:	06/10/25	Job #:	24-0028
Sheet:		C3.4	



Know what's below.
Call 811 before you dig.

C3.4

NOTE TO CONTRACTOR:
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY THE SURVEYOR OR CITY PRODUCED DOCUMENTS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE. IF ANY CONFLICT/DISCREPANCIES ARISE, PLEASE CONTACT THE ENGINEER IMMEDIATELY. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND THE PRECAUTIONARY MEASURE TO PROTECT ANY UTILITIES NOT SHOWN ON THESE PLANS.

ARLINGTON AVENUE

- EXISTING ADA CROSSING TO REMAIN REMOVE AND REPLACE RAMP PER THE SPECIFICATIONS OF THESE PLANS
- ADA RAMP #101 PER APWA 235.3
- REMOVE AND REPLACE 26 LF OF EXISTING ISLAND MEDIAN TO ALLOW ACCESS. COORDINATE REMOVAL WITH USPS
- REPLACE 43 LF OF EXISTING CURB WITH DRIVE APPROACH PER MURRAY CITY STND C-2
- EXISTING CURB TO REMAIN
- REPLACE 30 LF OF EXISTING CURB WITH DRIVE APPROACH PER MURRAY CITY STND C-2
- LANDSCAPED SEATING AREA SEE LANDSCAPE PLANS
- POTENTIAL LOCATION FOR UTA BUS STOP
- REPLACE 221 LF OF EXISTING CURB WITH 2' TYPE A CURB PER MURRAY CITY STND C-2
- VEHICLE UNLOADING ZONE
- EXISTING CURB TO REMAIN

STATE STREET

- EXISTING UTA BUS STOP LOCATED IN THIS AREA TO BE REMOVED AND REPLACED
- BUS ACCESS PAD & SHELTER
- 15.0'
- 4.0'
- EXISTING STATE ST. CURB TO REMAIN UNLESS OTHERWISE NOTED BY THESE PLANS
- REPLACE 38 LF OF EXISTING CURB WITH 2' TYPE A CURB PER MURRAY CITY STND C-2

JONES COURT

- REPLACE 70 LF OF EXISTING CURB WITH 2' TYPE A CURB PER MURRAY CITY STND C-2
- POTENTIAL LOCATION FOR UTA BUS STOP
- EXISTING CURB TO REMAIN

MYRTLE AVENUE

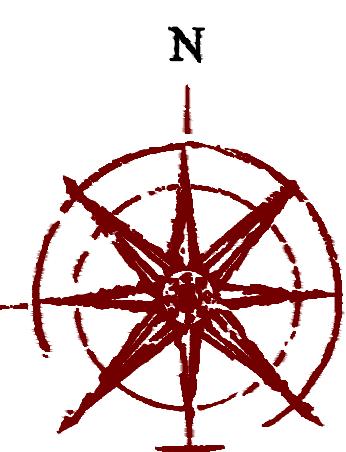
- POTENTIAL LOCATION FOR UTA BUS STOP
- REPLACE 428 LF OF EXISTING CURB WITH 2' TYPE A CURB AND DRIVE APPROACHES PER MURRAY CITY STND C-2
- ADA RAMP #102 PER APWA 235.3

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MURRAY MOB

MURRAY, UTAH

UTILITY PLAN



GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.

UTILITY PLAN

Scale: 1"=30' Drawn: RRH

Date: 06/10/25 Job #: 24-0028

Sheet: C4.0

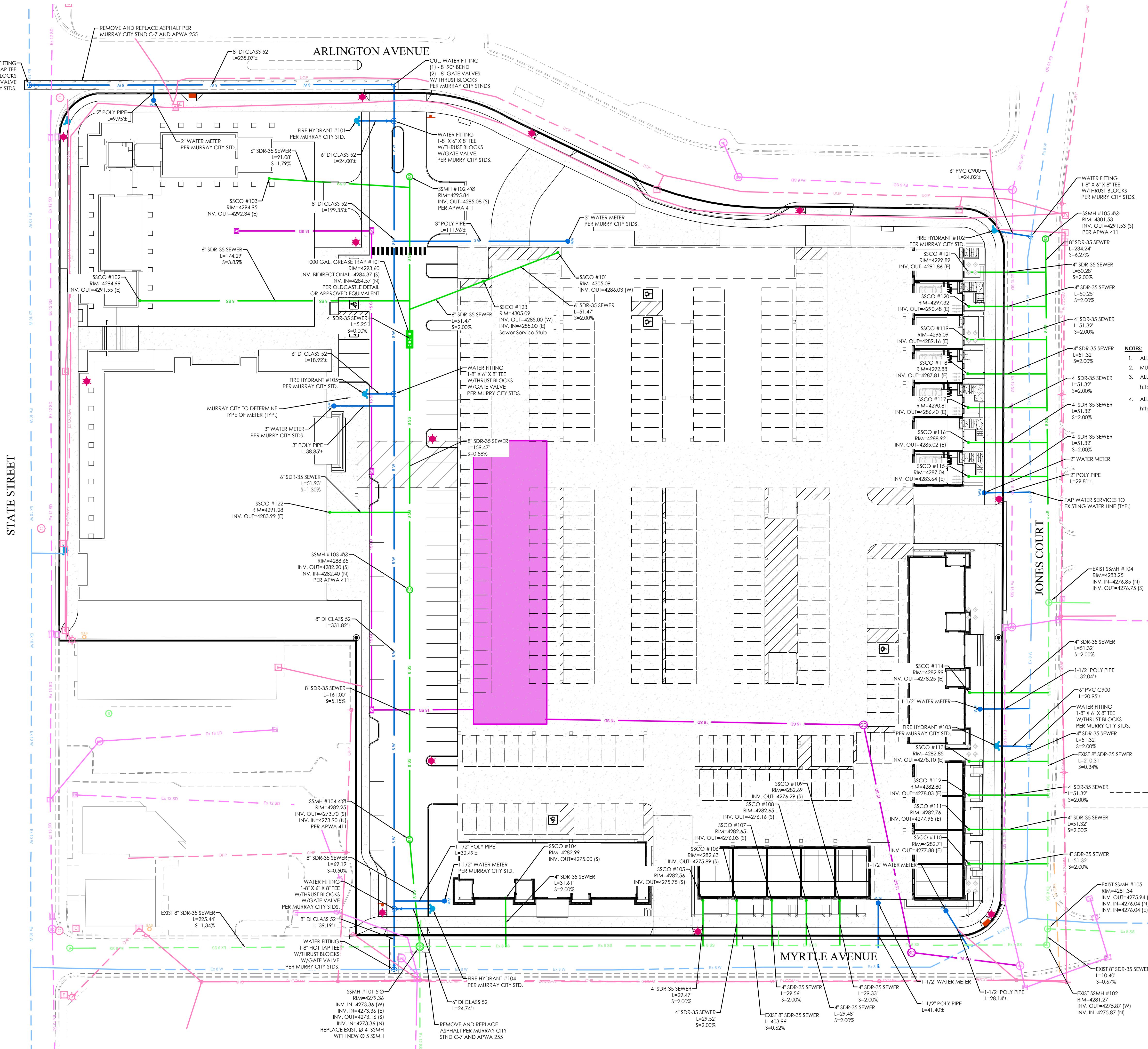
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LEGEND

BOUNDARY	XX SD	XX SANITARY SEWER
ROW	XX SS	XX CULINARY WATER
CENTERLINE	XX PI	XX PRESSURE IRRIGATION
LOT LINE	XXXX	CONTOUR MAJOR
EASEMENT	Ex SD	EXIST STORM DRAIN
	Ex SS	EXIST SANITARY SEWER
	Ex W	EXIST CULINARY WATER
	Ex PI	EXIST PRESSURE IRRIGATION
	Ex XXXX	EXIST CONTOUR MAJOR
	Ex XXXX	EXIST CONTOUR MINOR
SIGN		
STREET LIGHT	★	
SD MH, INLET, AND COMBO	○	
SEWER MANHOLE	□	
SECONDARY METER, WATER METER		
CULINARY VALVE, TEE & BEND		
SECONDARY VALVE, TEE & BEND		
WATER BLOW-OFF		
FIRE HYDRANT		
STREET MONUMENT (TO BE SET)		
EXIST: STREET MONUMENT		
EXIST: SD INLET & MH		
EXIST: SEWER MH		
EXIST: VALVE, TEE, & BEND		
EXIST: FIRE HYDRANT		
SPOT ELEVATION		

NOTES:

1. ALL PROPOSED UTILITY LAYOUTS ARE CONCEPTUAL AND SUBJECT TO CHANGE.
2. MURRAY CITY TO IMPROVE MYRTLE AVE; UTILITY CONNECTIONS SUBJECT TO CHANGE.
3. ALL SEWER WORK MUST MEET MURRAY SPECIFICATIONS. PER THE MURRAY WASTEWATER SPECIFICATION BOOK, <https://www.murray.utah.gov/DocumentCenter/View/14929/Revised-Wastewater-Spec-Book-2023>
4. ALL WATER UTILITY WORK MUST FOLLOW MURRAY CITY WATER SPECIFICATION AND REQUIREMENTS, <https://murray.utah.gov/DocumentCenter/View/13884/Spec-Book-2023-Updated-4142023?bId=1>



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MURRAY MOB

MURRAY, UTAH

OVERALL GRADING & DRAINAGE PLAN

BOUNDARY
ROW
CENTERLINE
LOT LINE
EASEMENT
XX SD
XX SS
XX W
XX PI
XXXX
EXIST. STORM DRAIN
EXIST. SANITARY SEWER
EXIST. CULINARY WATER
EXIST. FIRE HYDRANT
EXIST. FENCE
EXIST. CONTOUR MAJOR
EXIST. CONTOUR MINOR
SIGN
STREET LIGHT
SD MH, INLET, AND COMBO
SEWER MANHOLE
SECONDARY METER, WATER METER
CULINARY VALVE, TEE & BEND
SECONDARY VALVE, TEE & BEND
WATER BLOW-OFF
FIRE HYDRANT
STREET MONUMENT (TO BE SET)
EXIST. STREET MONUMENT
EXIST. SD INLET & MH
EXIST. SEWER MH
EXIST. VALVE, TEE, & BEND
EXIST. FIRE HYDRANT
SPOT ELEVATION

Detention Pond
Project: Murray Tower Plaza
Location: Murray City, UT
Date: 10/9/2024
Designer: Rylan Huff



100-Year Detention Sizing
Design Criteria
Intensity Table: Per NOAA Atlas 14
Return Period: 100 year
Allowable Discharge: 0.20 cfs/acre
Storm Duration: 24 hr
Per Murray City Standards

Allowable Discharges
Storm Drain Discharge: 1.25 cfs
Other Discharge: 0.00 cfs
Total Discharge: 1.253 cfs

Weighted "C" Value
Surface type Area (sf) "C" Value C*A
Building 160,163 0.85 136,139
Drives 0 0.90 0
Roadway and Sidewalk 62,976 0.90 56,678
Landscape 49,729 0.15 7,459
Totals 272,868 0.73 200,276
Weighted "C" Value 0.73

Drainage Calculations								
Duration	Intensity	Rainfall C	Area	Rainfall	Accumulated	Allowable	Discharge	
min	in/hr		Ac	cf	cf	cfs	cfs	
15.0	4.10	0.73	6,246	18,851	16,966	1.25	1,128	15,838
30.0	2.76	0.73	6,246	32,841	22,841	1.25	2,255	20,586
60.0	1.71	0.73	6,246	7,846	28,304	1.25	4,510	23,793
120.0	0.93	0.73	6,246	4,271	30,704	1.25	9,020	21,700
180.0	0.63	0.73	6,246	2,884	31,084	1.25	13,531	17,554
360.0	0.34	0.73	6,246	1,551	33,567	1.25	27,061	6,504
720.0	0.20	0.73	6,246	0.91	39,327	1.25	54,123	-14,794
1440.0	0.10	0.73	6,246	0.48	41,313	1.25	108,245	-66,932

Maximum Storage Requirement: 23,793
Maximum Storage Requirement (ac-ft): 0.55

Detention Basin Design
Storage Requirement: 23,793 cf
Allowable Depth: 1.0 ft
Retention System Volume: 23,849 cf
Roadway Sump Storage: 0 cf

Total Storage 23,849 DETENTION ADEQUATE

Orifice Design
Restriction Rate: 0.20 CFS/ACRE
Allowable Outfall Rate Q (cfs): 1.25
Orifice Sizing: $h = 4.5$ ft
 $C = 0.6$
 $A = 0.123$ sf
 $dia. = 4.74$ inches
Orifice Size: 4.7 inch

OVERALL GRADING & DRAINAGE PLAN	
REVISION BLOCK	DESCRIPTION
#	DATE
1	***
2	***
3	***
4	***
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6	***

OVERALL
GRADING &
DRAINAGE
PLAN

Scale: 1"=30' Drawn: RRH

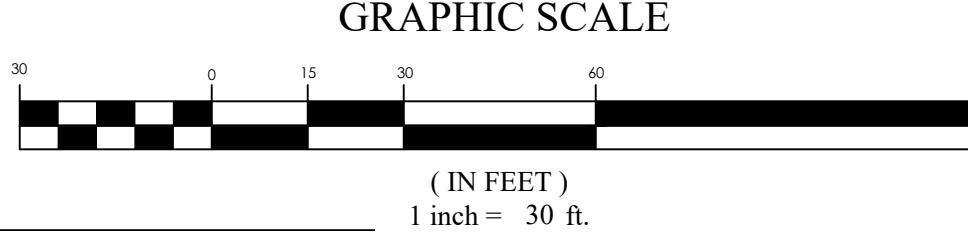
Date: 06/10/25 Job #: 24-0028

Sheet: 24-0028-murray_townshipdesign

2024-06-10

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Know what's below.
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C5.0



C5.1

C5.2

C5.3

GRAPHIC SCALE

(IN FEET)

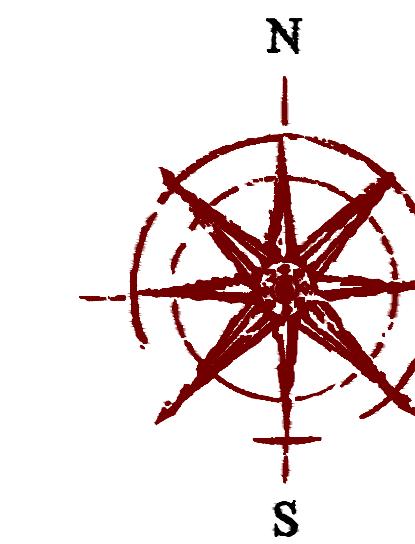
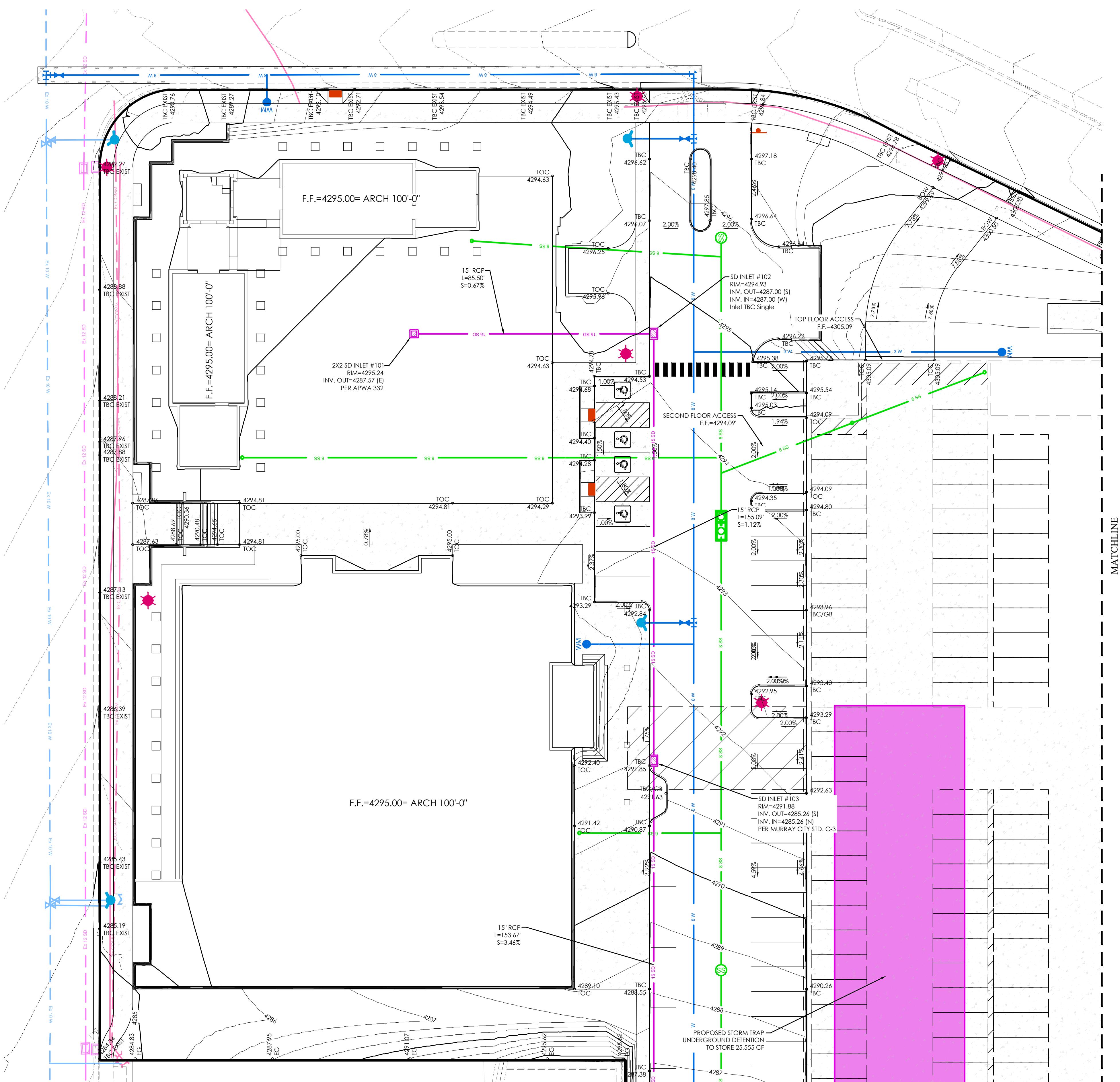
1 inch = 30 ft.

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MURRAY, UTAH

GRADING & DRAINAGE PLAN



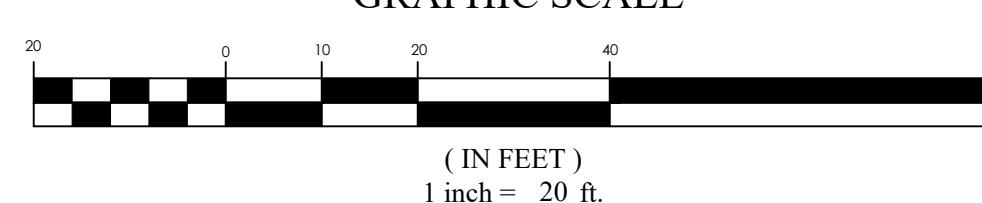
LEGEND

BOUNDARY	---
ROW	---
CENTERLINE	---
LOT LINE	---
EASEMENT	---
---	---
XX SD	XX STORM DRAIN
XX SS	XX SANITARY SEWER
XX W	XX CULINARY WATER
XX P	XX PRESSURE IRRIGATION
XXXX	CONTOUR MAJOR
XXXX	CONTOUR MINOR
EX SD	EXIST STORM DRAIN
EX SS	EXIST SANITARY SEWER
EX W	EXIST CULINARY WATER
EX P	EXIST PRESSURE IRRIGATION
EXIST	EXIST
CONTUR MAJOR	CONTUR MAJOR
CONTUR MINOR	CONTUR MINOR
SIGN	---
STREET LIGHT	---
SD MH, INLET, AND COMBO	---
SEWER MANHOLE	---
SECONDARY METER, WATER METER	---
CULINARY VALVE, TEE & BEND	---
SECONDARY VALVE, TEE & BEND	---
WATER BLOW-OFF	---
FIRE HYDRANT	---
STREET MONUMENT (TO BE SET)	---
EXIST STREET MONUMENT	---
EXIST SD INLET & MH	---
EXIST SEWER MH	---
EXIST VALVE, TEE, & BEND	---
EXIST FIRE HYDRANT	---
SPOT ELEVATION	---

MATCHLINE
SEE SHEET C5.2

MATCHLINE
SEE SHEET C5.3

GRAPHIC SCALE



Know what's below.
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GRADING & DRAINAGE PLAN

Scale: 1'=20' Drawn: RRH
Date: 06/10/25 Job #: 24-0028
Sheet: C5.1

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GRADING & DRAINAGE PLAN

MURRAY, UTAH

GRADING & DRAINAGE PLAN

ADING & AINAGE PLAN

cale:	1"=20'	Drawn:	RRH
ate:	06/10/25	Job #:	24-0028
heet:			C5.2

A compass rose with four main points: North (N), South (S), East (E), and West (W). The North arrow is at the top, South at the bottom, East on the right, and West on the left. The rose is a circle with eight points, with the intermediate points NE, NW, SE, and SW also labeled.

GRAPHIC SCALE

(IN FEET)

1 in 1 - 20 ft

C5.2

MATCHING

MAIN CHANNEL
SEE SHEET C5.1

— — — —
MATCHLINE
SEE SHEET C5.

GRAPHIC SCALE

0 10 20 40 80

(IN FEET)
1 inch = 20 ft.

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Scale: 1"=20' Drawn: RRH
Date: 06/10/25 Job #: 24-0028
Sheet: C5.2

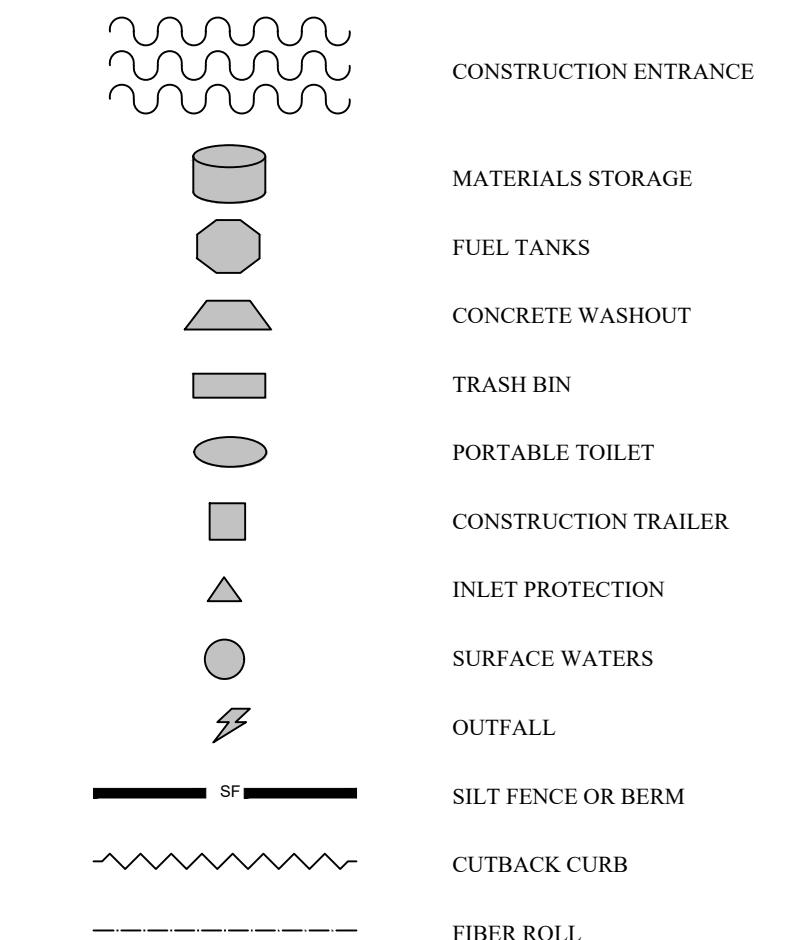
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MURRAY, UTAH

EROSION CONTROL PLAN

EROSION CONTROL LEGEND



SWPPP DATA:

PROJECT LOCATION (LAT/LONG):
NORTHING:40°39'34" EASTING: -111°53'14"

RECEIVING WATERS: GREAT SALT LAKE

AREA AFFECTED:

1. TOTAL PROJECT AREA IS 6.28 ACRES. AN ESTIMATED 5.99 ACRES WITHIN THE PROJECT LIMITS WILL BE DISTURBED WITH NEW CONSTRUCTION OR CONTRACTOR STORAGE ACTIVITIES.
2. THE EXISTING DRAINAGE SYSTEM FOR THIS SITE CONSISTS OF EXISTING STORM DRAIN PIPING AND STRUCTURES.
3. THE MAJORITY OF EXISTING SITE GRADES RANGE FROM 0.0% TO 9.0%. THE PROPOSED GRADING RAISES THE SITE APPROXIMATELY 1.0' WITH ROADS OF APPROXIMATELY 0.5%-6.0% TO PROVIDE THE PROPER DRAINAGE.
4. THE INITIAL SITE IS APPROXIMATELY 75% IMPERVIOUS. THE FINISHED SITE WILL BE APPROXIMATELY 82% IMPERVIOUS.

CONSTRUCTION ACTIVITIES:

1. THE PROJECT EXTENTS CONSIST OF MEDICAL OFFICE BUILDINGS, RESTAURANTS, CONDOS, TOWNHOMES, AND A PARKING GARAGE. PLANS INDICATE THE USE OF INSTRUMENTALITY FOR THE VERTICAL CONSTRUCTION OF STRUCTURES, LANDSCAPING AND RELATED ACTIVITIES. OBTAIN UPDES 'NOT' PERMIT AND ANY OTHER REQUIRED STORM WATER PERMIT PRIOR TO THE BEGINNING OF CONSTRUCTION.
2. INSTALL BMP'S ACCORDING TO THE PHASE OF CONSTRUCTION AS INDICATED IN THIS SWPPP.
3. CONSTRUCTION ACTIVITIES WILL PROCEED: ROUGH GRADING, UTILITY INFRASTRUCTURE, ROADWAY INFRASTRUCTURE, VERTICAL CONSTRUCTION AND LANDSCAPING. AS NEW DRAINAGE ELEMENTS ARE COMPLETED, CONTRACTOR SHALL IMPLEMENT THE USE OF PROPER BMP'S AS OUTLINED IN SECTION 3.5.B IN THE UPDES PERMIT REGULATIONS.
4. SITE STABILIZATION OF AREAS DISTRIBUTED BY CONSTRUCTION ACTIVITIES MUST BE FINISHED WITHIN 14 DAYS OF COMPLETION OF CONSTRUCTION AND PRIOR TO OBTAINING AN 'NOT' PERMIT.
5. CLEAR SITE OF NON-ESSENTIAL MATERIALS AND CLEAN STREETS AND ASSOCIATED GUTTERS. UPON PROJECT COMPLETION AND OBTAINING 'NOT' PERMIT, REMOVE TEMPORARY STORM WATER MEASURES AND PERFORM REQUIRED STORM DRAIN SYSTEM MAINTENANCE PRIOR TO RELEASE OF SYSTEM TO THE OWNER.

RUNOFF COEFFICIENTS OF DISCHARGE:

1. THE EXISTING RUNOFF COEFFICIENT FOR THE PROJECT AREA IS ESTIMATED TO BE 0.60. THE PROPOSED RUNOFF COEFFICIENT WILL BE APPROXIMATELY 0.74 FOR THE PROPOSED IMPROVEMENTS UPON COMPLETION OF IMPROVEMENTS.
2. DISCHARGE FROM THE SITE WILL BE THROUGH THE EXISTING STORM DRAIN SYSTEM.

GENERAL STORM WATER POLLUTION CONTROL NOTES:

1. FOR INSTALLATION PROCEDURES, SEE SWPPP DETAIL BEST MANAGEMENT PRACTICES (BMP) SPECIFICATIONS IN SECTION 3.5.B.
2. THE BMP'S AND NOT PERMIT WILL BE MONITORED DAILY. ANY ADDITIONAL BMP'S AS NEEDED WILL BE DETERMINED DURING REGULAR INSPECTIONS AND INSTALLED ACCORDING TO SPECIFICATION. ANY CHANGES TO PROTECT BMP'S WILL NEED TO BE REFLECTED ON THE SWPPP MAP(S).
3. SWPPP PLAN COMPILED FROM INFORMATION OBTAINED FROM MATERIAL PRODUCED BY:
FOCUS ENGINEERING AND SURVEYING
6949 S. HIGH TECH DRIVE, SUITE 200
MIDVALE, UTAH 84047
PH: (801) 352-0075

ALL INFORMATION SHOWN ON SWPPP MAPS WAS TAKEN OR DERIVED FROM THE ABOVE STATED SOURCE. ANY INFORMATION NOT DEPICTED WAS NOT PROVIDED AS PART OF THIS PROJECT.



REVISION BLOCK

DATE DESCRIPTION

1 ***

2 ***

3 ***

4 ***

5 ***

6 ***

EROSION CONTROL PLAN

Scale: 1"=30' Drawn: RRH
Date: 06/10/25 Job #: 24-0028
Sheet: z:\2024\24-0028\dwg\sheet\c6.0.dwg



Know what's below.
Call 811 before you dig.

C6.0

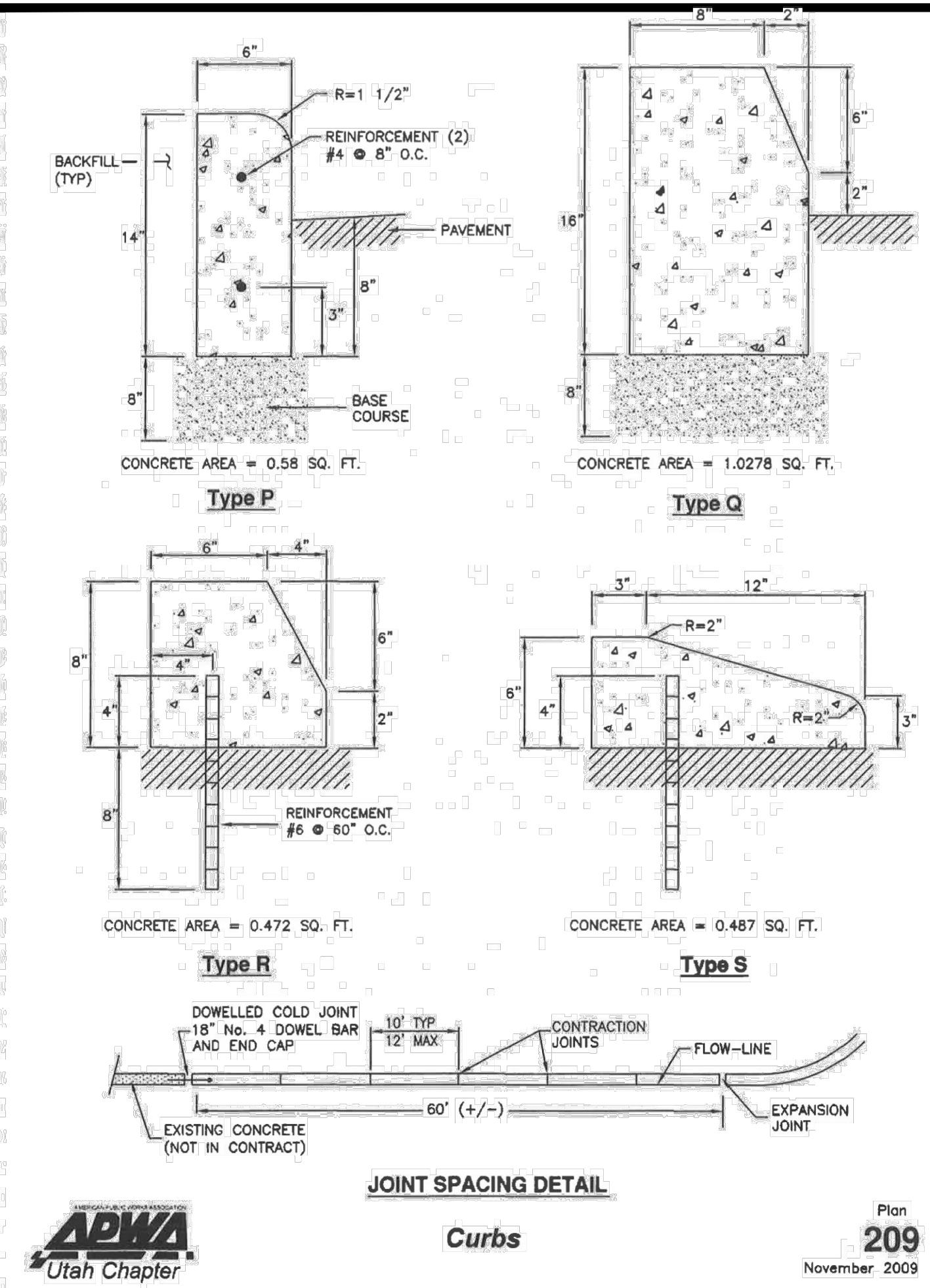
GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.

FOR
REVIEW
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MURRAY MOB DETAILS

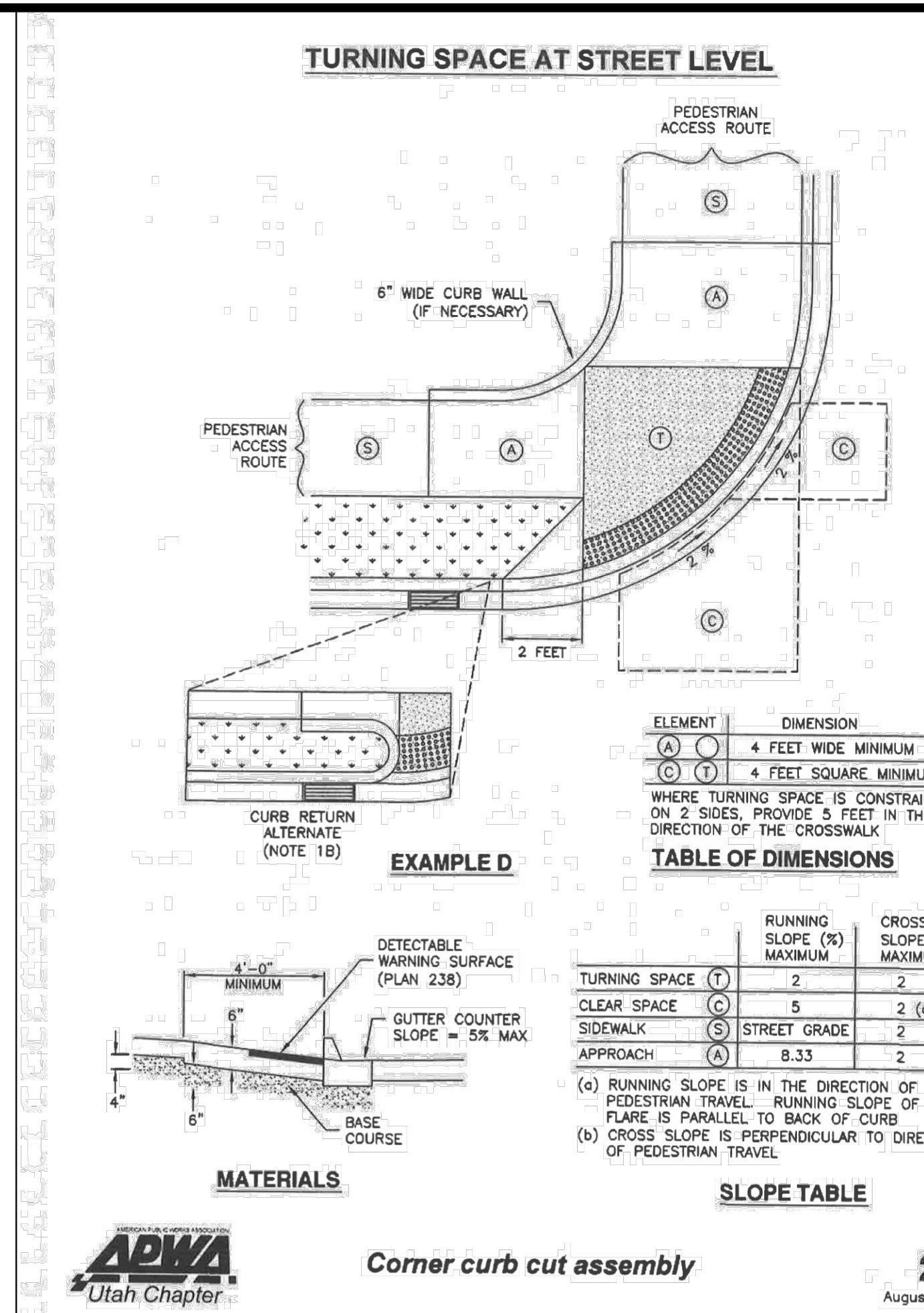
MURRAY, UTAH



ADWA
Utah Chapter

Curbs

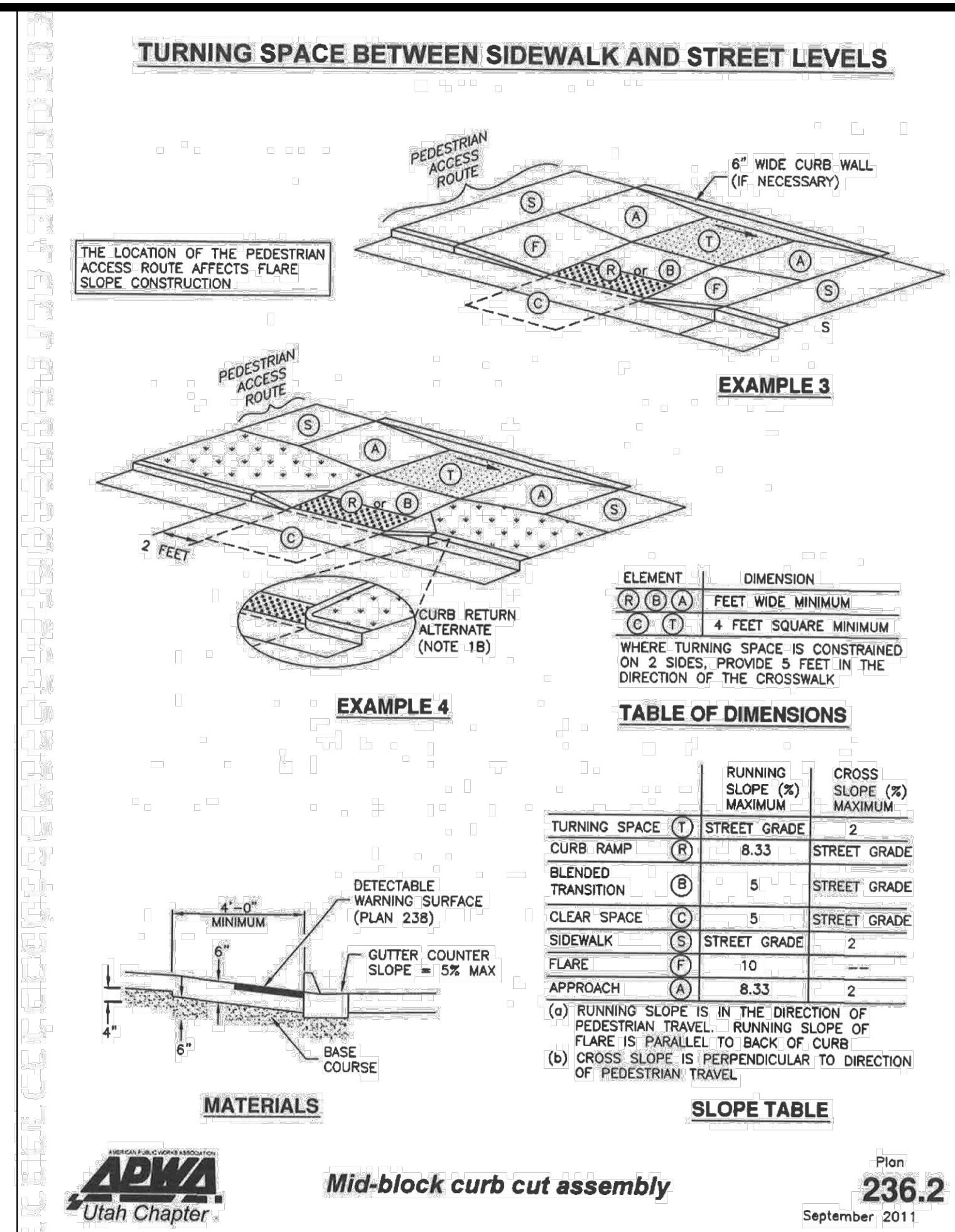
Plan 209
November 2009



ADWA
Utah Chapter

Corner curb cut assembly

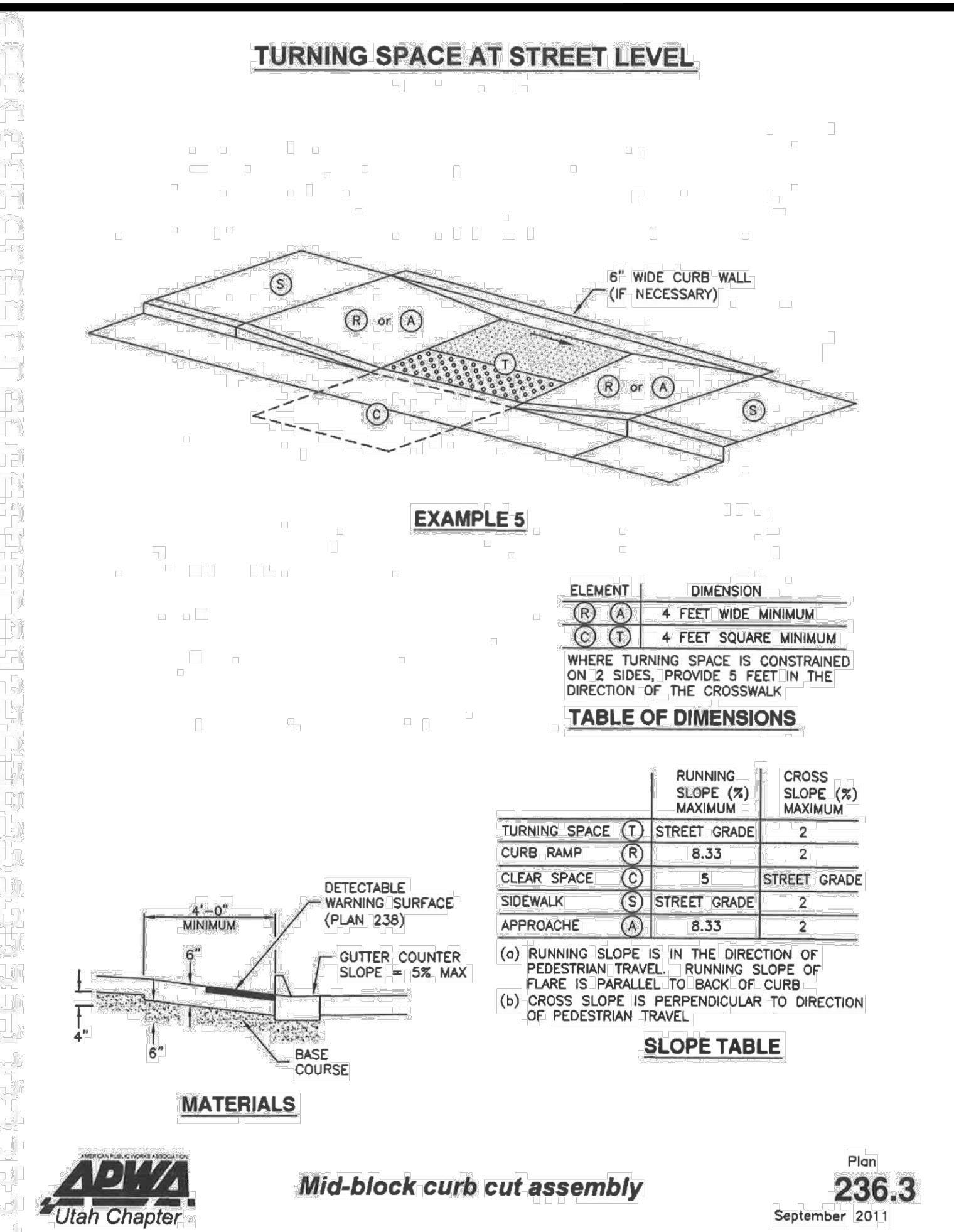
Plan 235.3
August 2011



ADWA
Utah Chapter

Mid-block curb cut assembly

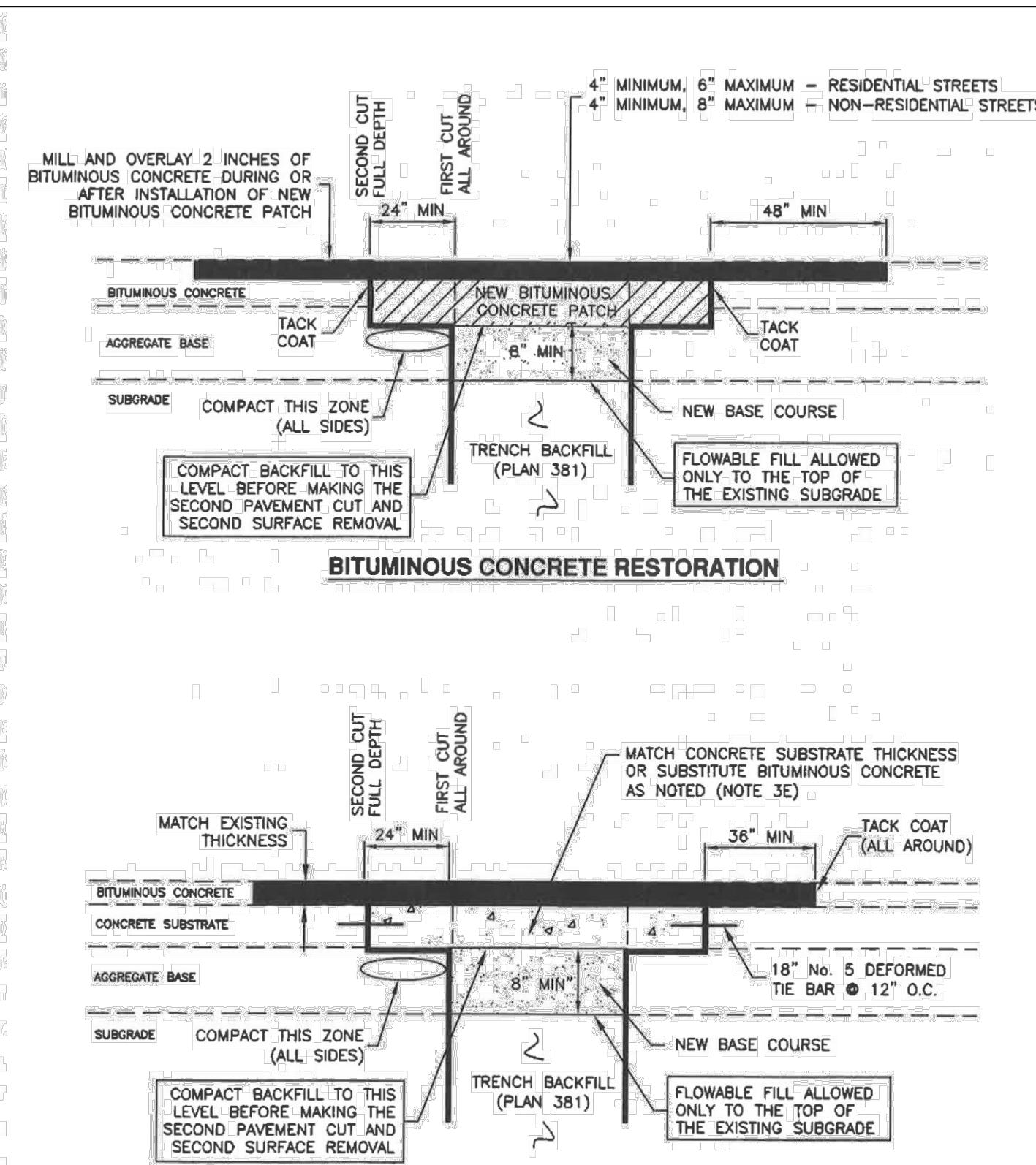
Plan 236.2
September 2011



ADWA
Utah Chapter

Mid-block curb cut assembly

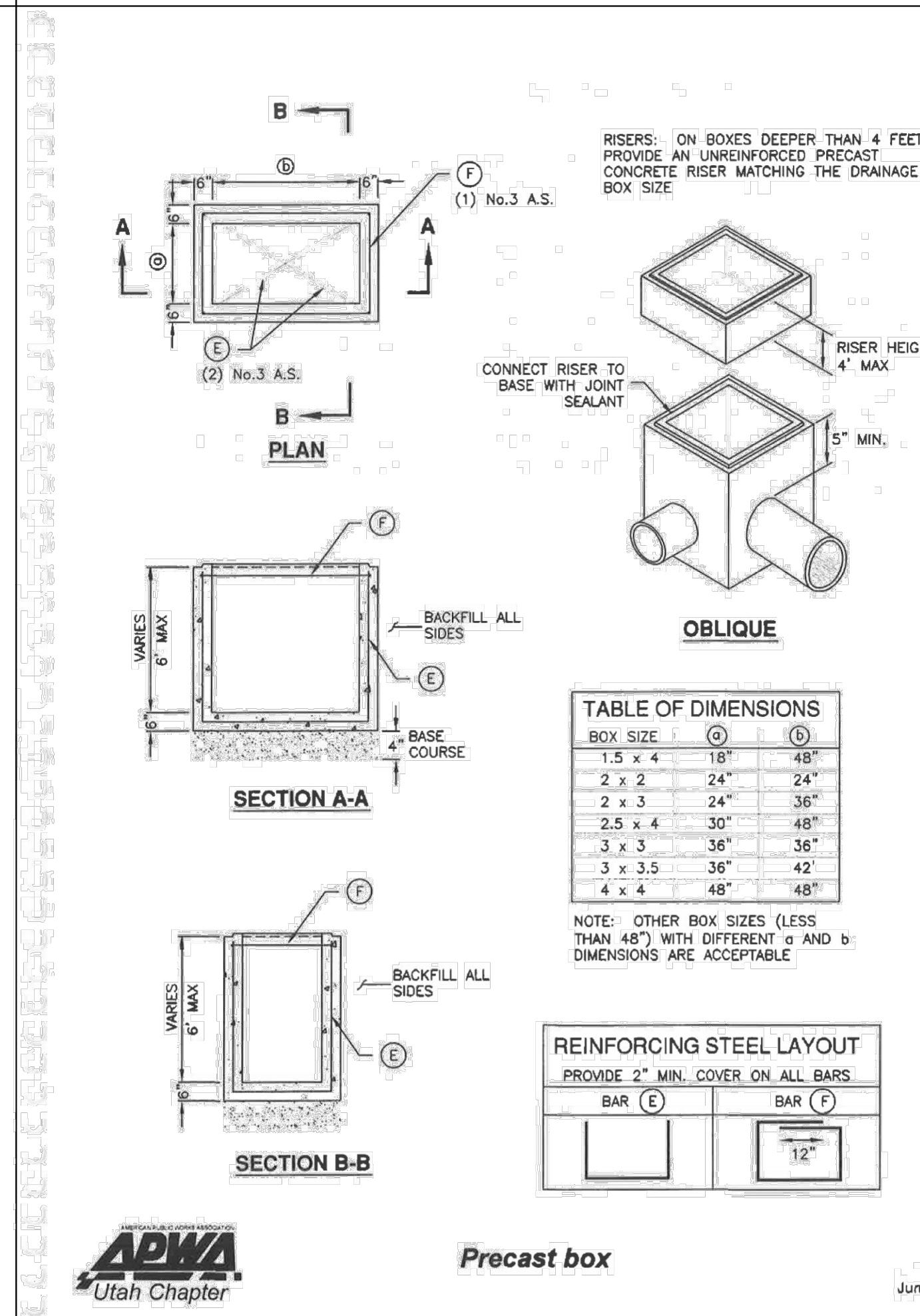
Plan 236.3
September 2011



ADWA
Utah Chapter

Bituminous pavement T-patch

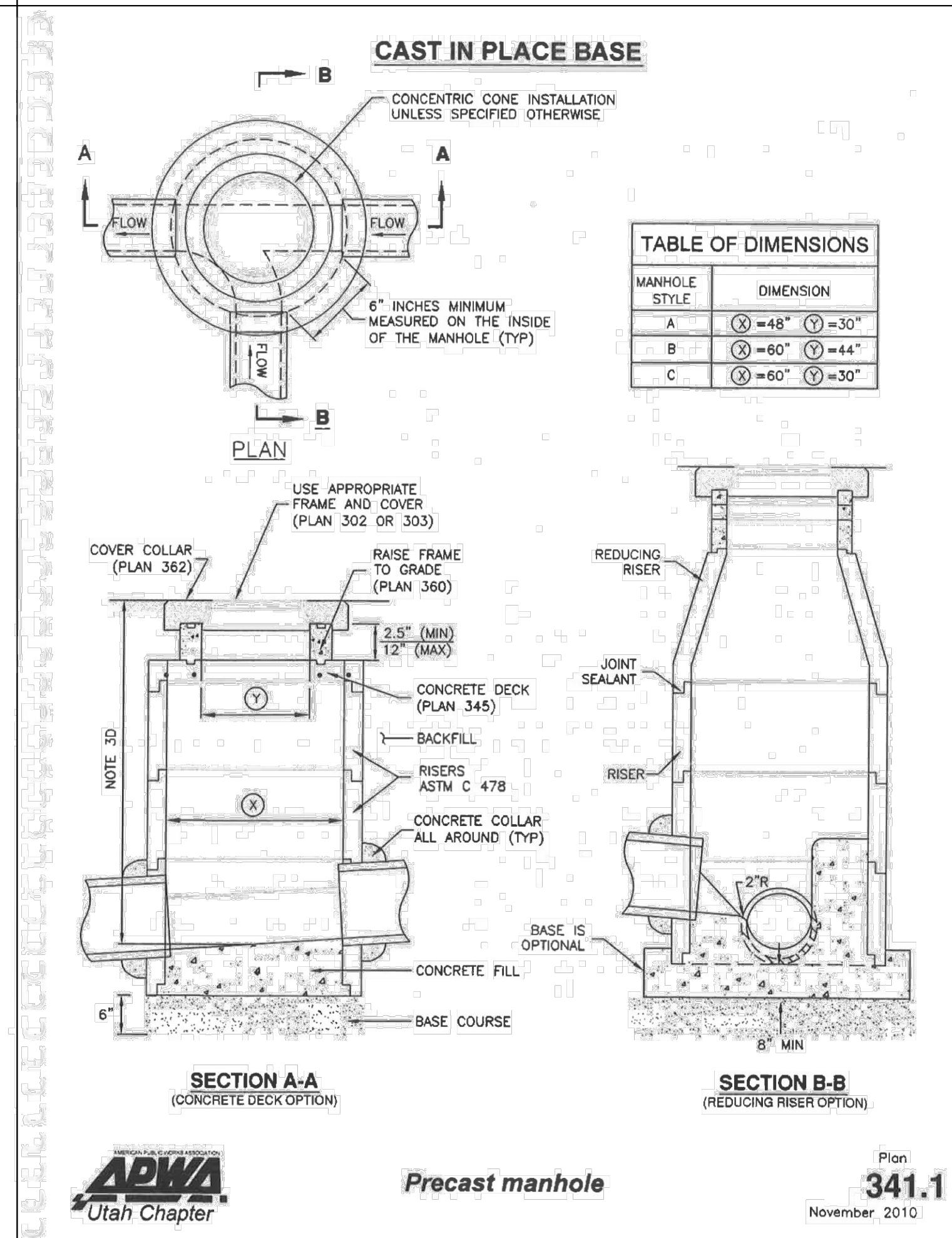
Plan 255
November 2015



ADWA
Utah Chapter

Precast box

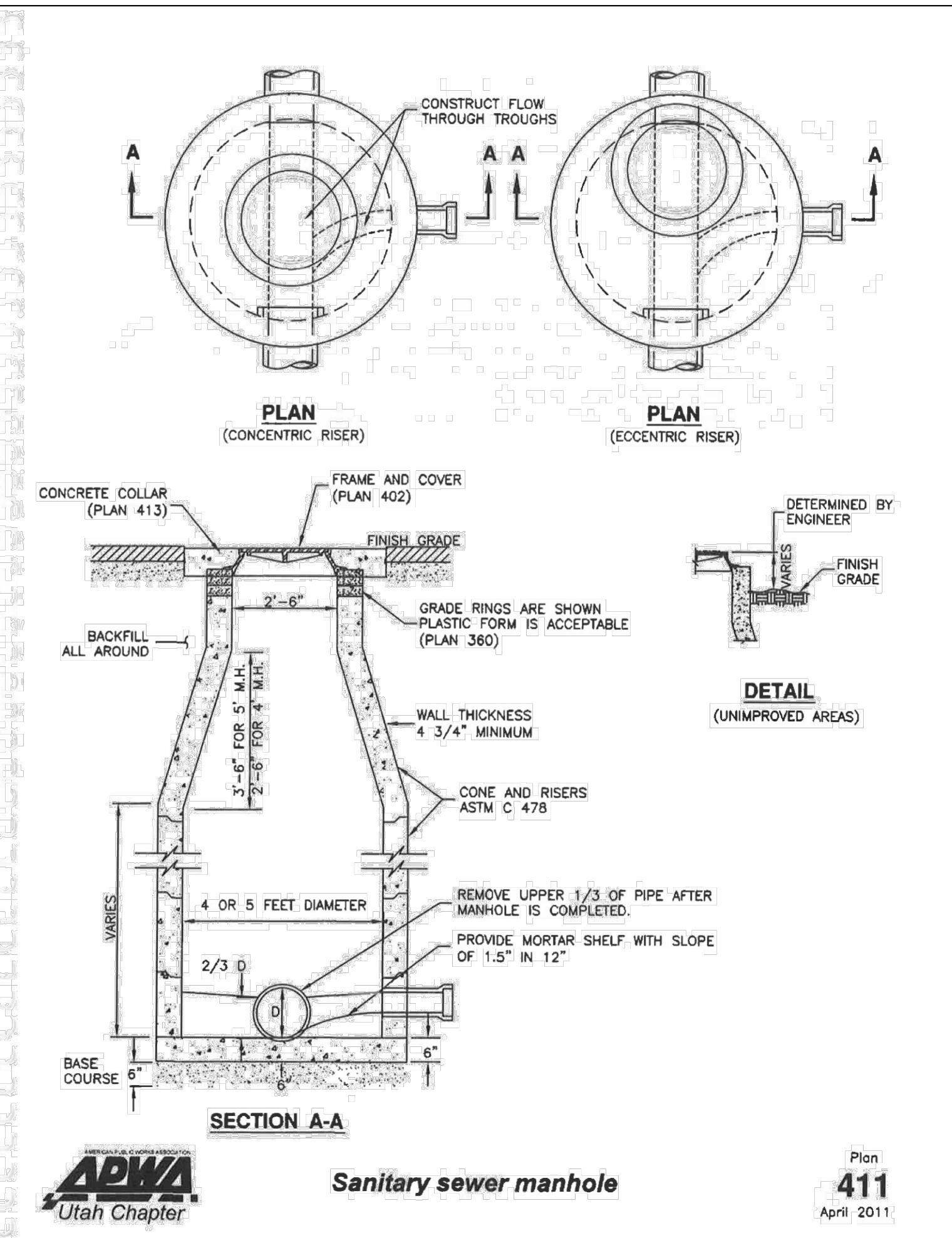
Plan 332
June 2010



ADWA
Utah Chapter

Precast manhole

Plan 341.1
November 2010



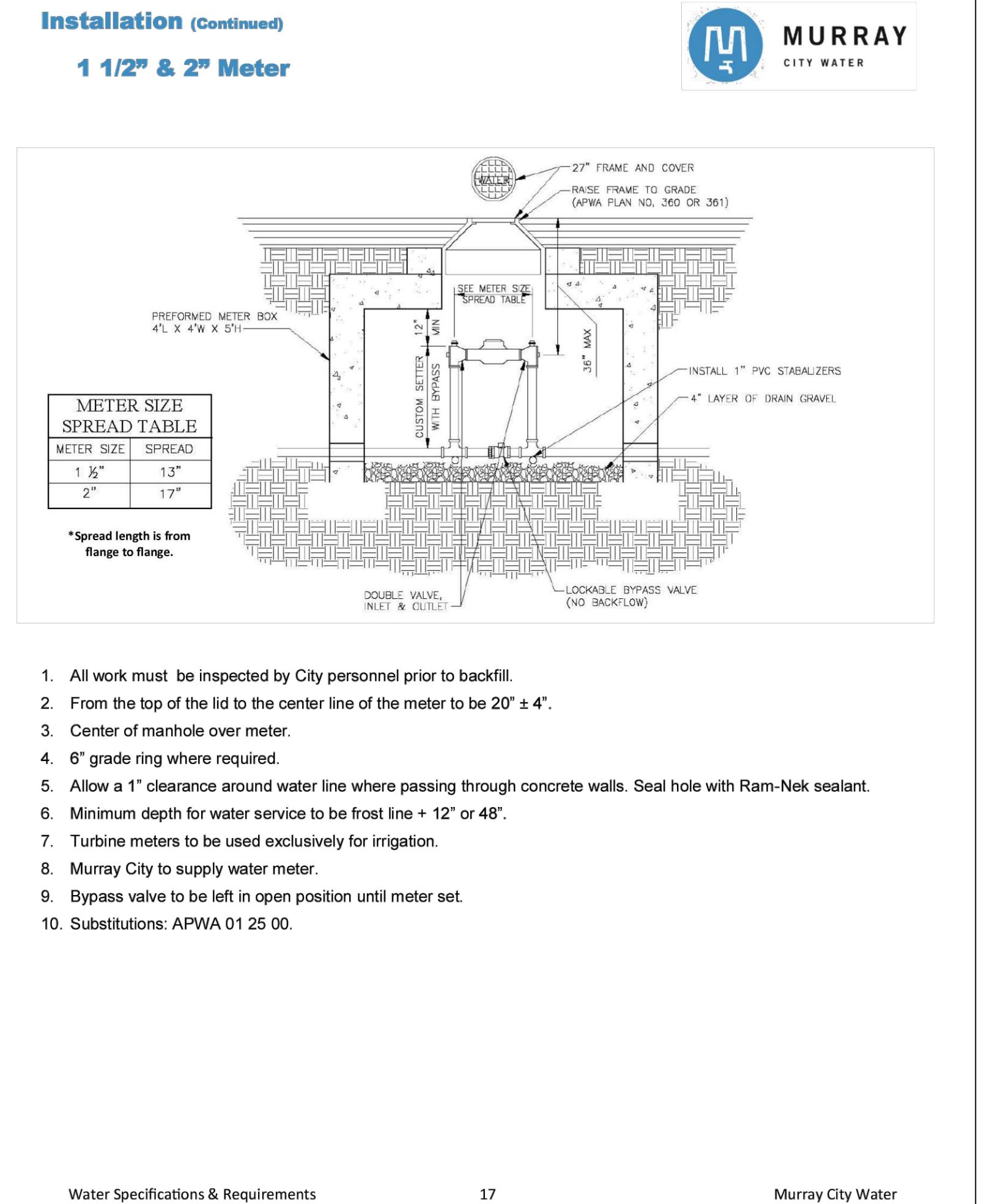
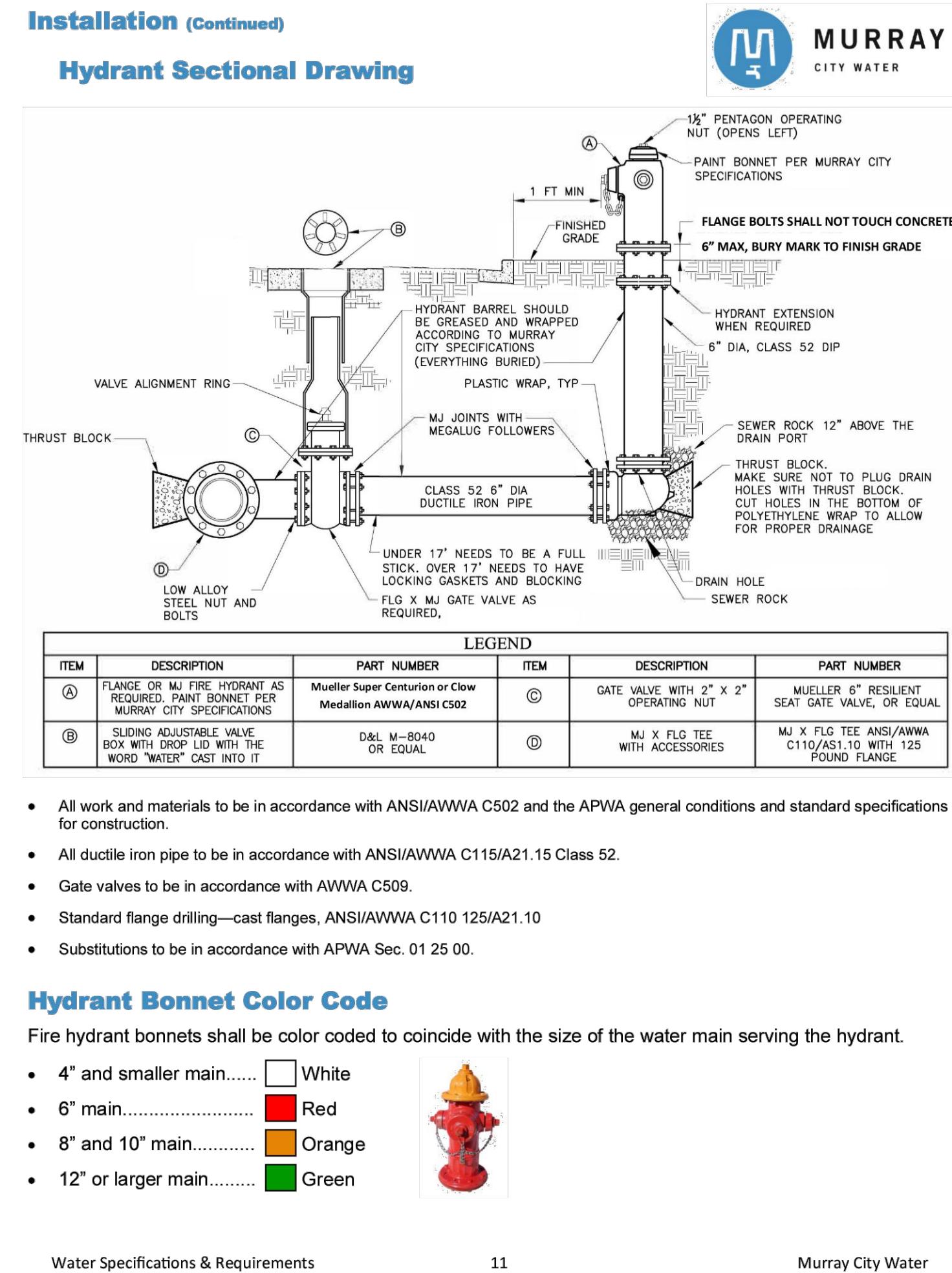
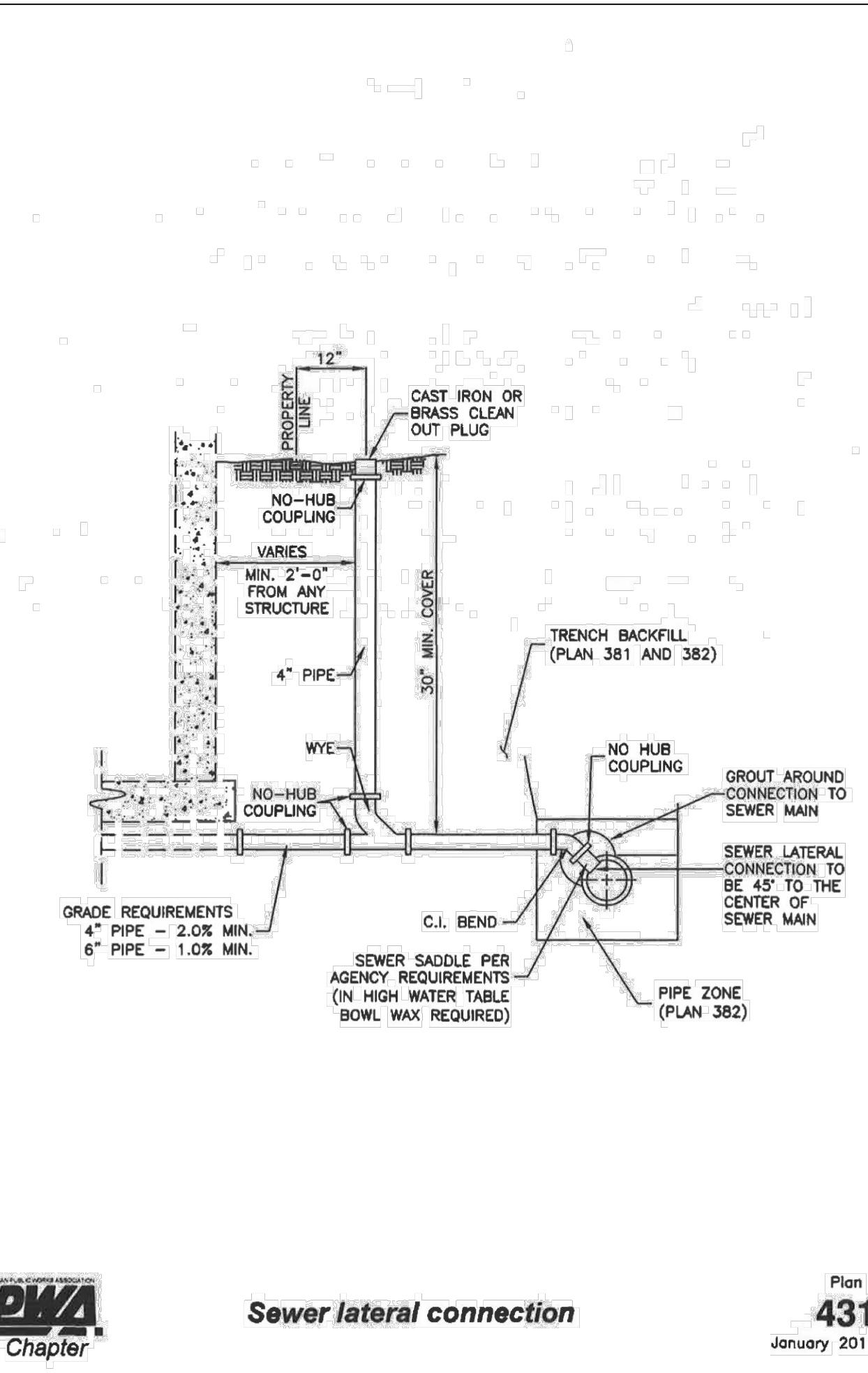
ADWA
Utah Chapter

Sanitary sewer manhole

Plan 411
April 2011

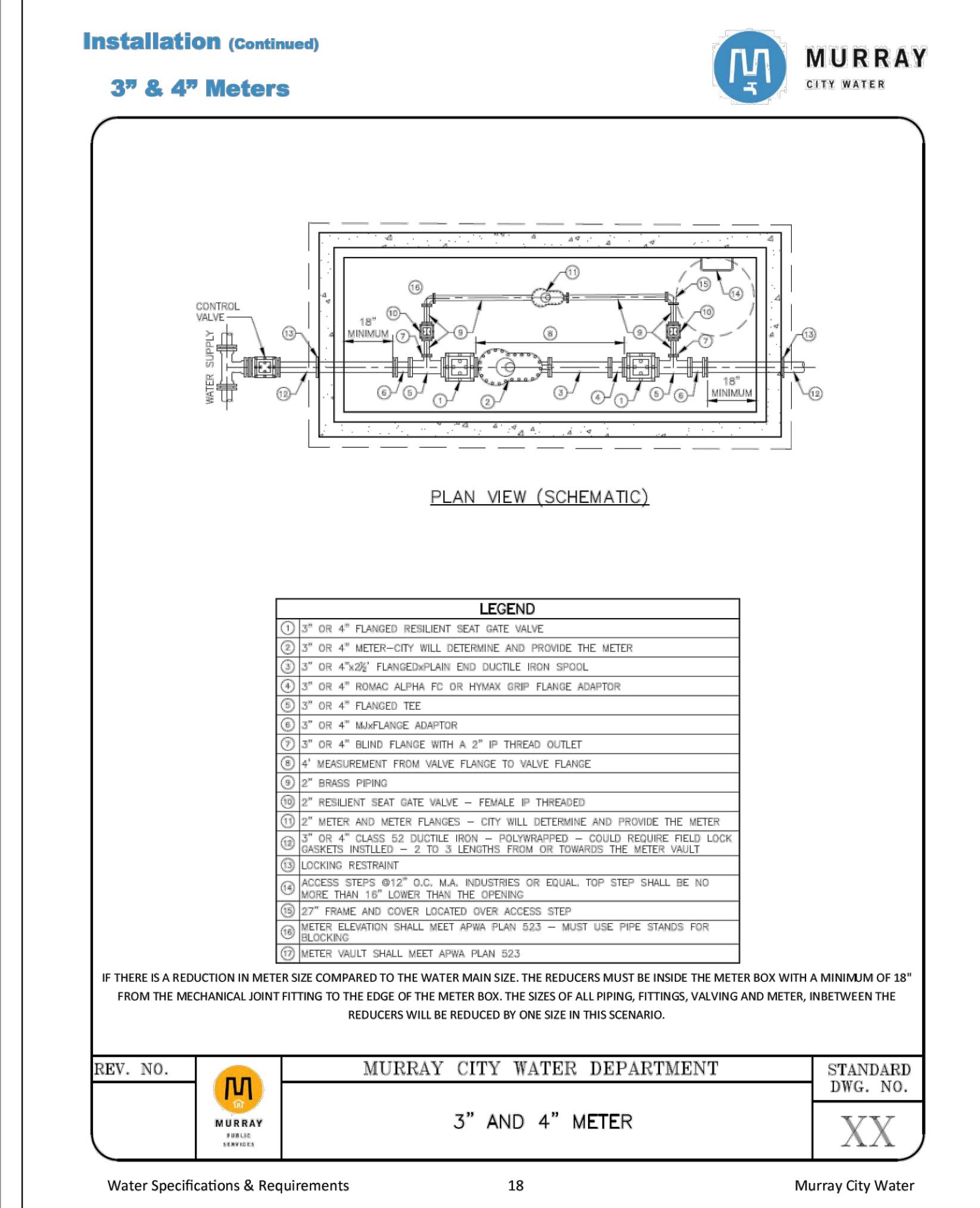
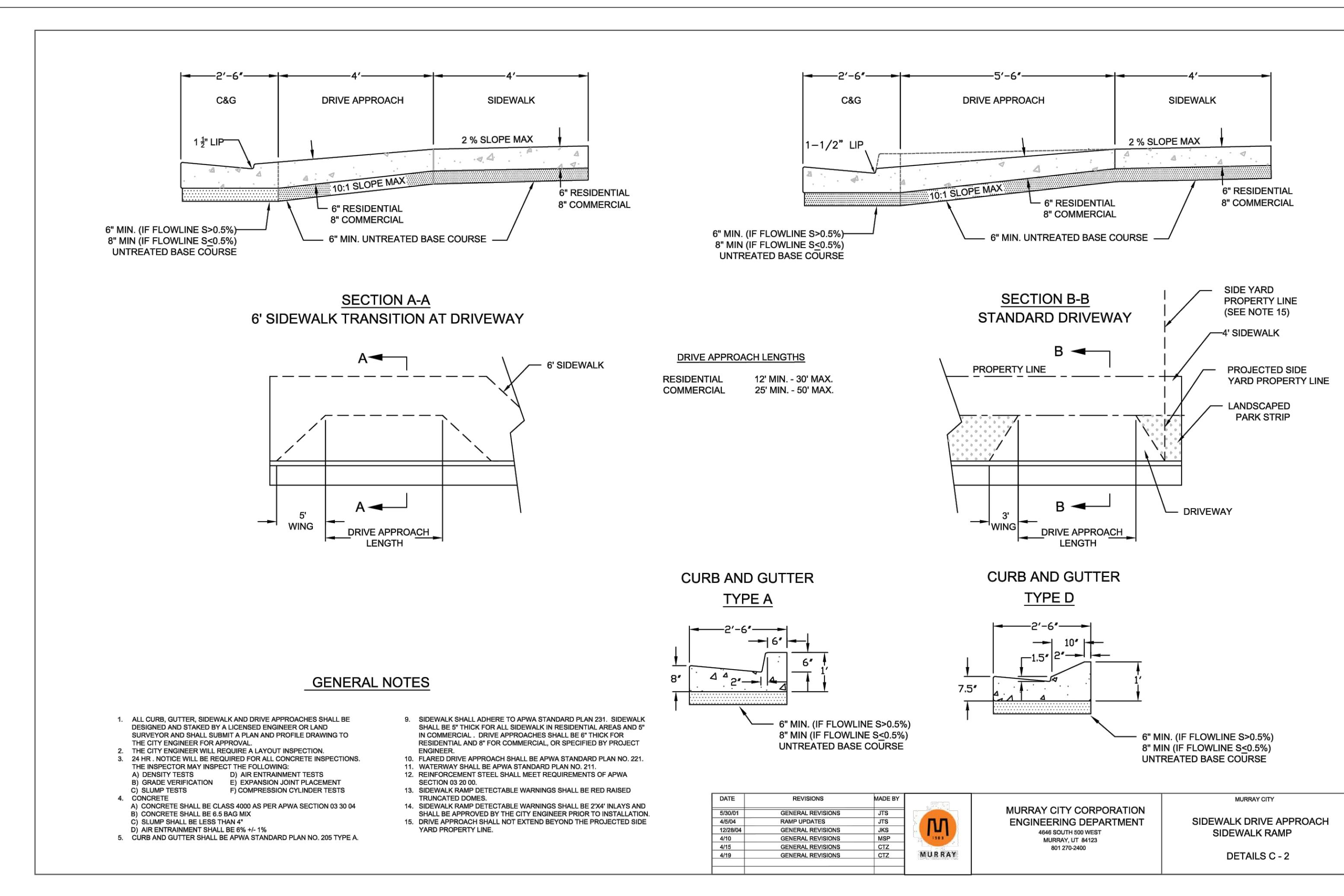
FOR
REVIEW
ONLY

MURRAY MOB DETAILS



Sewer lateral connection

Plan
431
January 2011



REVISION BLOCK	#	DATE	DESCRIPTION
1	1	***	***
2	2	***	***
3	3	***	***
4	4	***	***
5	5	***	***
6	6	***	***

DETAILS

Scale: 1"=XX' Drawn: RRH
Date: 06/10/25 Job #: 24-0028

Sheet: 24-0028-01-01

D2.0



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MURRAY MOB DETAILS

MURRAY, UTAH

DETAILS

2009 Edition Page 51

11 Except as provided in Section 2B.09, STOP signs and YIELD signs shall not be installed on different approaches to the same unsignalized intersection if those approaches conflict with or oppose each other.
12 Portable or part-time STOP or YIELD signs shall not be used except for emergency and temporary traffic control zone purposes.
13 A portable or part-time (folding) STOP sign that is manually placed into view and manually removed from view shall not be used during a power outage to control a signalized approach unless the maintaining agency establishes that the signal indication that will first be displayed to that approach upon restoration of power is a flashing red signal indication and that the portable STOP sign will be manually removed from view prior to stop-and-go operation of the traffic control signal.

Option:
14 A portable or part-time (folding) STOP sign that is electrically or mechanically operated such that it only displays the STOP message during a power outage and ceases to display the STOP message upon restoration of power may be used during a power outage to control a signalized approach.

Support:
15 Section 9B.03 contains provisions regarding the assignment of priority at a shared-use path/roadway intersection.

Section 2B.05 STOP Sign (R1-1) and ALL WAY Plaque (R1-3P)

Standard:
01 When it is determined that a full stop is always required on an approach to an intersection, a STOP (R1-1) sign (see Figure 2B-1) shall be used.
02 The STOP sign shall be an octagon with a white legend and border on a red background.
03 Secondary legends shall not be used on STOP sign faces.
04 At intersections where all approaches are controlled by STOP signs (see Section 2B.07), an ALL WAY supplemental plaque (R1-3P) shall be mounted below each STOP sign. The ALL WAY plaque (see Figure 2B-1) shall have a white legend and border on a red background.
05 The ALL WAY plaque shall only be used if all intersection approaches are controlled by STOP signs.

Supplemental plaques with legends such as 2-WAY, 3-WAY, 4-WAY, or other numbers of ways shall not be used with STOP signs.

Support:
07 The use of the CROSS TRAFFIC DOES NOT STOP (W4-4P) plaque (and other plaques with variations of this word message) is described in Section 2C.59.

Guidance:
08 Plaques with the appropriate alternative messages of TRAFFIC FROM LEFT (RIGHT) DOES NOT STOP (W4-4dP) or ONCOMING TRAFFIC DOES NOT STOP (W4-4bP) should be used at intersections where STOP signs control all but one approach to the intersection, unless the only non-stopped approach is from a one-way street.

Option:
09 An EXCEPT RIGHT TURN (R1-10P) plaque (see Figure 2B-1) may be mounted below the STOP sign if an engineering study determines that a special combination of geometry and traffic volumes is present that makes it possible for right-turning traffic on the approach to be permitted to enter the intersection without stopping.

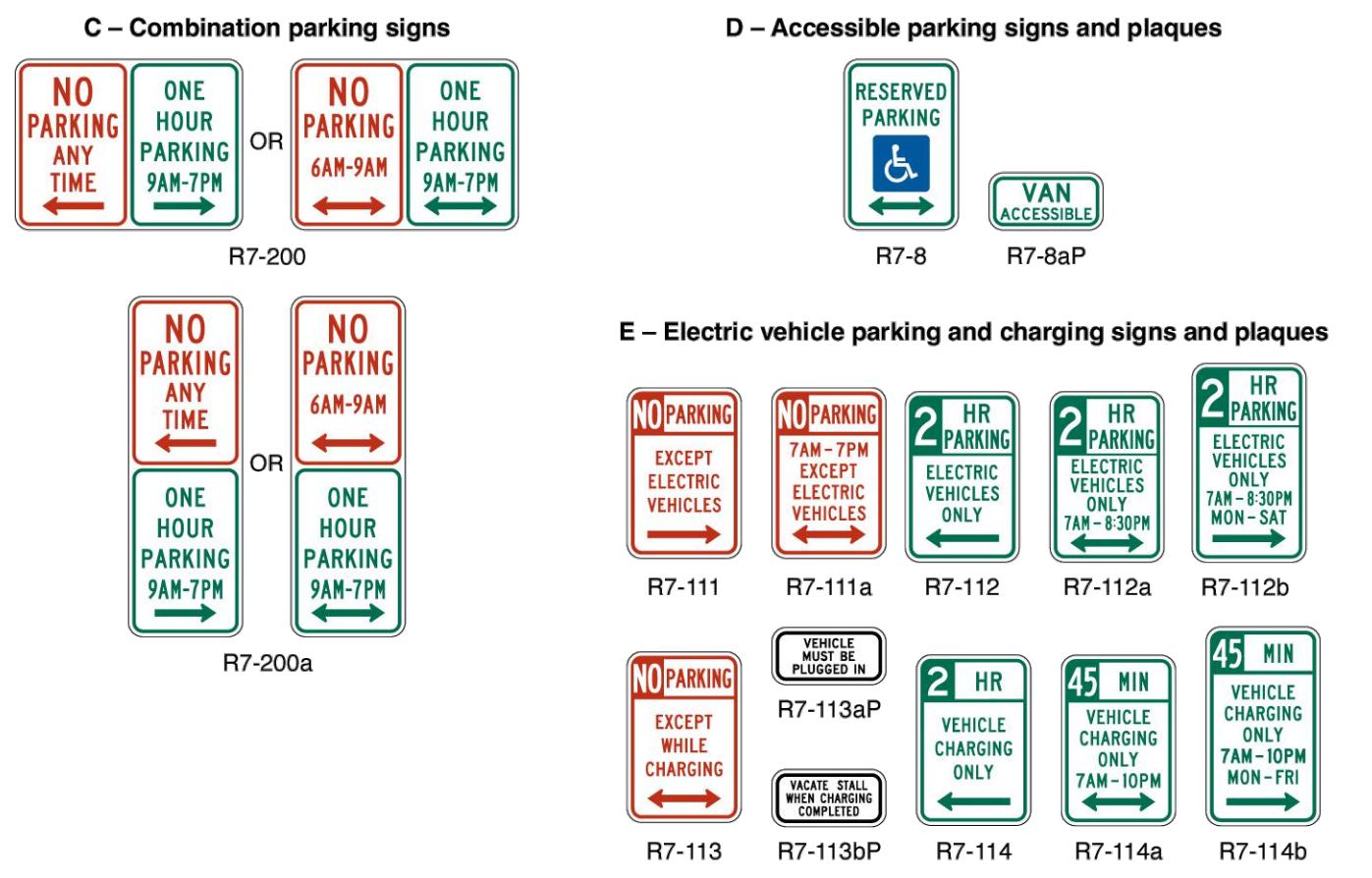
Support:
10 The design and application of Stop Beacons are described in Section 4L.05.

Figure 2B-1. STOP and YIELD Signs and Plaques



MUTCD 11th Edition Page 125

Figure 2B-25. Parking, Standing, and Stopping Signs and Plaques (R7 and R8 Series) (Sheet 2 of 2)



Standard:
08 The times and days for which the parking regulations are in effect shall be posted if they are not in effect at all times of day or all days of the week.

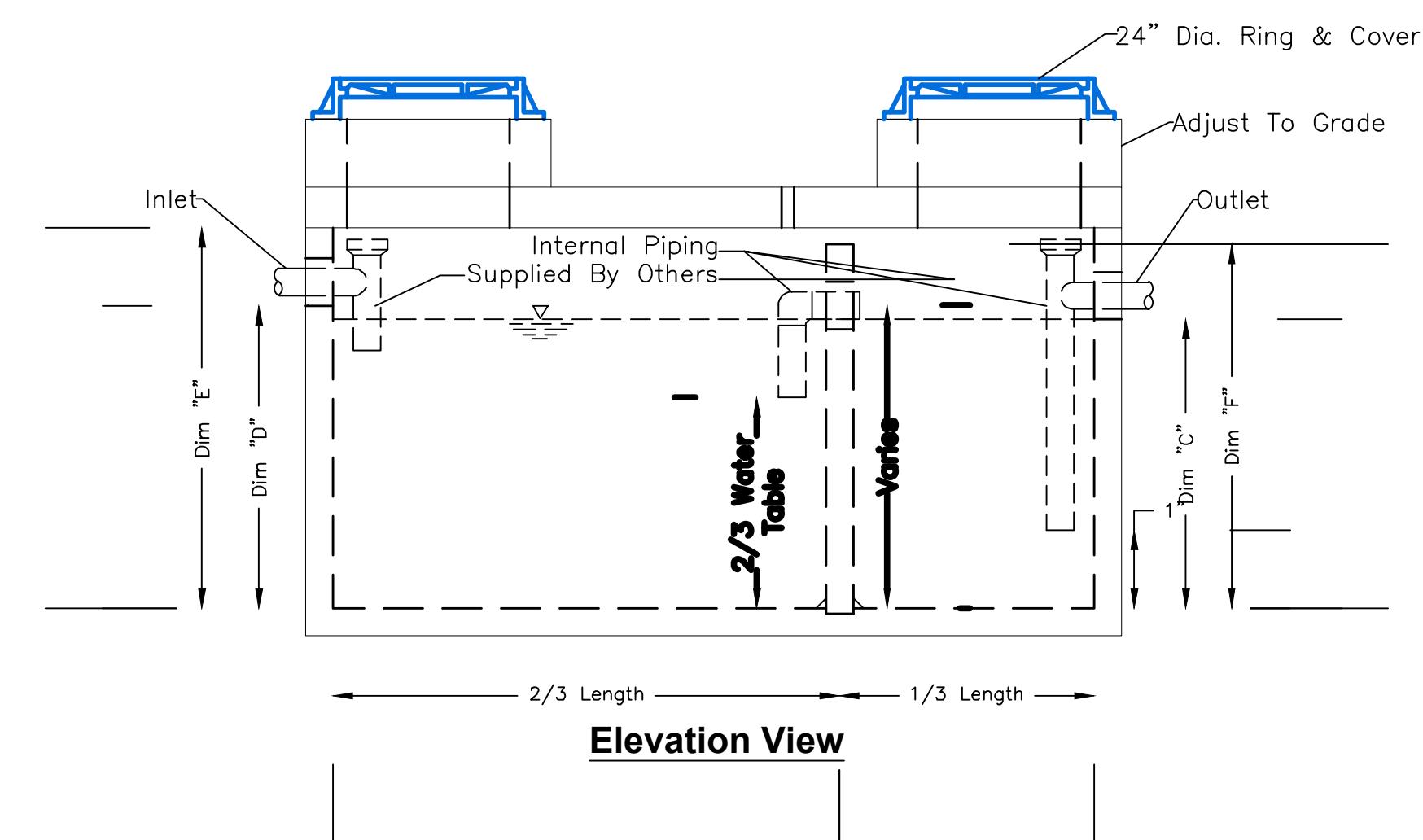
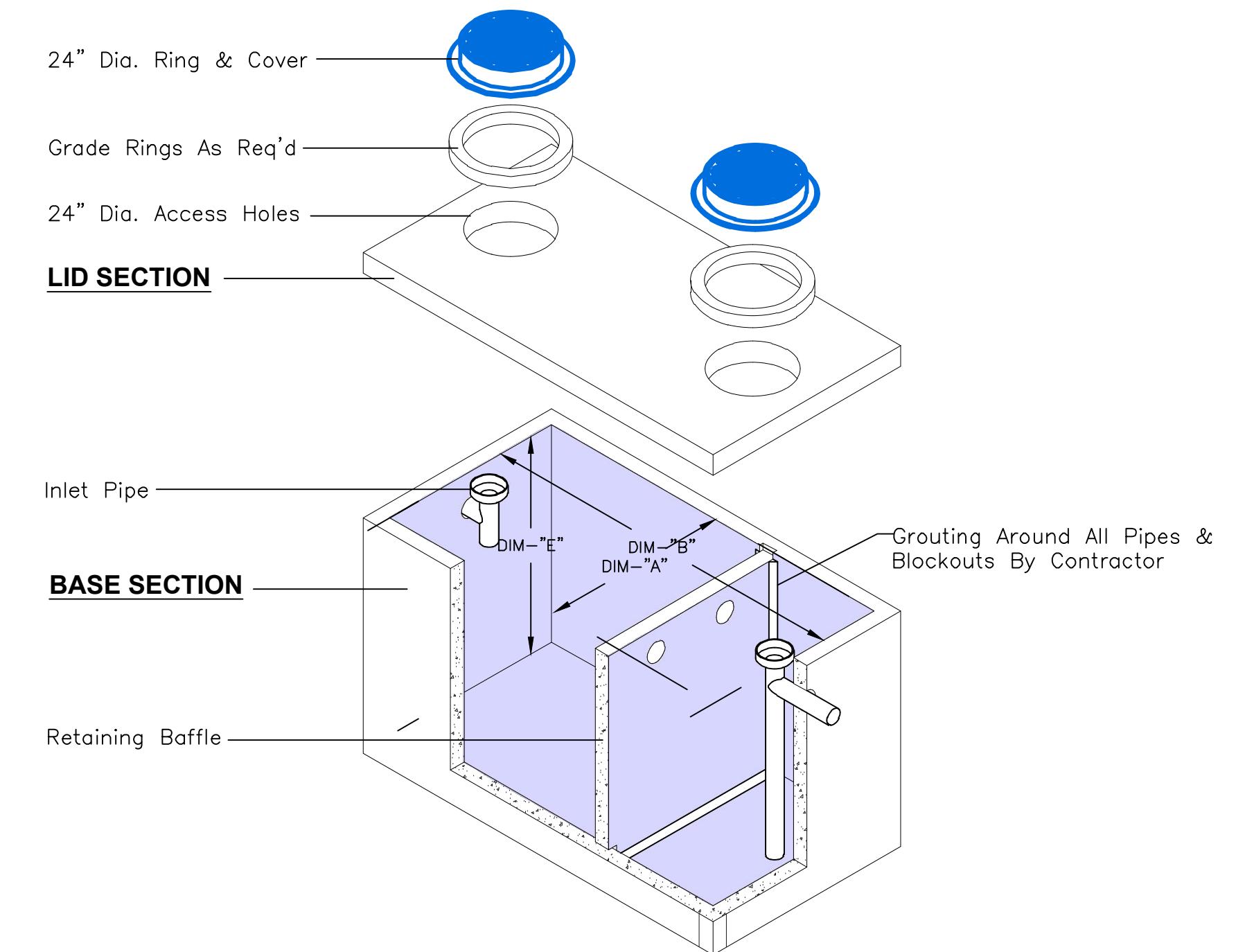
Option:
09 As an alternate to the use of arrows to show designated restriction zones, the following word messages may be used: BEGIN, END, HERE TO CORNER, HERE TO ALLEY, and THIS SIDE OF SIGN.

10 The R8 series signs (see Drawing A in Figure 2B-25) may be used where sufficient notice of a parking prohibition is satisfied by the use of single signs and are not needed to designate the beginning and end of a zone in which parking is prohibited or restricted. In rural and certain other areas the legends NO PARKING ON PAVEMENT (R8-1) or NO STOPPING ON PAVEMENT (R8-5) are generally suitable and may be used where parking or stopping is allowed on an unpaved shoulder or border adjacent to the paved portion of the road. If a roadway has an adjacent paved shoulder on which parking or stopping is allowed, the legend NO PARKING EXCEPT ON SHOULDER (R8-2) or NO STOPPING EXCEPT ON SHOULDER (R8-6) may be used. The R8-3 symbol sign or the word message NO PARKING may be used to prohibit any parking along a roadway. Word legend supplemental plaques may be mounted below the NO PARKING sign or the word legend may be incorporated within signs whose sizes are increased accordingly. The R8-3 series signs may include word legends such as ON PAVEMENT (R8-3c), ON BRIDGE (R8-3d), ON TRACKS (R8-3e), and EXCEPT ON SHOULDERS (R8-3f).

Guidance:
11 Where special parking restrictions are imposed during heavy snowfall or a declared snow emergency, a Snow Emergency Route (R7-203) sign (see Drawing A in Figure 2B-25) should be installed. The legend should be modified to display the specific regulations. The upper section of the sign should display the designation as a snow emergency route in a white legend and border on a red background.

12 If a fee is charged for on-street parking and payments are made at a multi-space parking meter, instead of individual parking meters for each parking space, Metered Parking (R7-21 and R7-22) signs (see Drawing B in Figure 2B-25) should be used to define the area where the multi-space parking meter applies. The Multi-Space Parking Meter (R7-20) sign (see Drawing B in Figure 2B-25) should be used at the meter location to direct road users to the meter.

December 2023 Sect. 2B.53



GALLON CAPACITY	MODEL No.	DIM "A"	DIM "B"	WATER DEPTH	DIM "C"	DIM "D"	DIM "E"	DIM "F"	WEIGHT
320	463-S0	4'-0"	6'-0"	2'-0"	2'-2"	3'-0"	2'-10"	7,535	
500	4113-S0	4'-0"	11'-0"	2'-0"	2'-2"	3'-0"	2'-10"	11,631	
750	4114-S0	4'-0"	11'-0"	2'-6"	2'-8"	4'-0"	3'-10"	14,031	
1000	4115-S0	4'-0"	11'-0"	3'-3"	3'-5"	4'-6"	4'-4"	16,231	
1250	4115-S0	4'-0"	11'-0"	4'-0"	4'-2"	5'-0"	4'-10"	16,431	
1500	4116-S0	4'-0"	11'-0"	5'-0"	5'-2"	6'-0"	5'-10"	18,831	
1800	4116-S0	4'-0"	11'-0"	5'-6"	5'-8"	6'-6"	6'-4"	20,031	
2000	4117-S0	4'-0"	11'-0"	6'-0"	6'-2"	7'-0"	6'-10"	21,231	
2500	6126-S0	6'-0"	12'-6"	4'-6"	4'-8"	6'-0"	5'-10"	24,529	
3000	6126T-S0	6'-0"	12'-6"	5'-6"	5'-8"	7'-0"	6'-10"	27,454	
3500	11125-S0	11'-0"	12'-0"	3'-8"	3'-10"	5'-0"	4'-10"	29,521	
5000	11175-S0	11'-0"	17'-0"	3'-8"	3'-10"	5'-0"	4'-10"	37,702	
5500	11176-S0	11'-0"	17'-0"	4'-0"	4'-2"	5'-0"	5'-7"	40,964	
6000	11195-S0	11'-0"	19'-0"	4'-0"	4'-2"	5'-0"	5'-7"	44,462	
7000	11225-S0	11'-0"	22'-0"	4'-0"	4'-2"	5'-0"	4'-10"	45,883	
8000	11226-S0	11'-0"	22'-0"	4'-6"	4'-8"	5'-0"	5'-7"	49,708	
9000	11276-S0	11'-0"	27'-0"	4'-0"	4'-2"	5'-0"	5'-7"	58,451	
10000	11296-S0	11'-0"	29'-0"	4'-6"	4'-8"	5'-0"	5'-7"	61,949	

OLD CASTLE PRECAST SAND & OIL SEPARATOR

NTS



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The logo for Focus Engineering and Surveying, LLC. It features a large, bold, black 'E' on the left. Overlaid on the 'E' is a red graphic resembling a starburst or a series of intersecting lines radiating from the center. To the right of the graphic, the company name is written vertically in a smaller, black, sans-serif font: 'FOCUS' on top, 'ENGINEERING AND SURVEYING, LLC' in the middle, '6949 S. HIGH TECH DRIVE SUITE 200' below that, 'MIDVALE, UTAH 84047' on the next line, 'PH: (801) 352-0075' on the following line, and the website 'www.focus-es.com' at the bottom.

FOCUS-ES, LLC
6949 S. HIGH TECH DRIVE SUITE 200
MIDVALE, UTAH 84047 PH: (801) 352-0075
www.focus-es.com

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MURRAY MOB

MURRAY, UTAH

OVERALL LANDSCAPE PLAN

MURRAY, UTAH

OVERALL LANDSCAPE PLAN

PLANT SCHEDULE

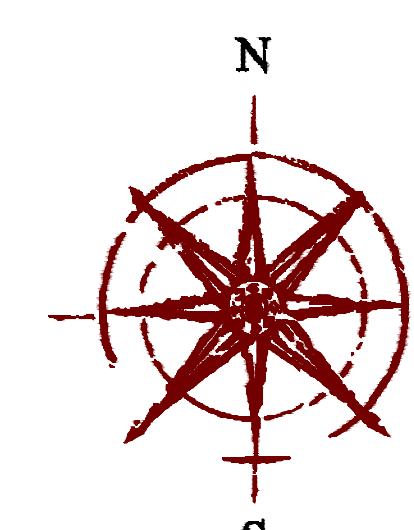
<u>CODE</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>QTY</u>
TREES				
CR	<i>Cercis canadensis</i> 'JN2'	The Rising Sun™ Eastern Redbud	2" Cal.	6
MS	<i>Malus</i> x 'Spring Snow'	Spring Snow Crabapple	2" Cal.	21
TC	<i>Tilia cordata</i>	Littleleaf Linden	2" Cal.	6
UC	<i>Ulmus</i> x 'Frontier'	Frontier Elm	2" Cal.	4
CSZ	<i>Zelkova serrata</i> 'JFS-KW1'	City Sprite® Japanese Zelkova	2" Cal.	22
SHRUBS				
BTC	<i>Berberis thunbergii</i> 'Concorde'	Concorde Japanese Barberry	5 gal.	58
BGB	<i>Buxus microphylla</i> japonica 'Gregem'	Baby Gem™ Boxwood	2 gal.	40
BGM	<i>Buxus</i> x 'Green Mountain'	Green Mountain Boxwood	5 gal.	42
BGV	<i>Buxus</i> x 'Green Velvet'	Green Velvet Boxwood	5 gal.	17
PLC	<i>Prunus laurocerasus</i> 'Chestnut Hill'	Chestnut Hill English Laurel	5 gal.	67
RAG	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Fragrant Sumac	5 gal.	22
RMW	<i>Rosa Meidiland</i> 'White'	White Meidiland Rose Groundcover	5 gal.	52
TMC	<i>Taxus</i> x <i>media</i> 'Chadwickii'	Chadwick's Anglo-Japanese Yew	5 gal.	13
TME	<i>Taxus</i> x <i>media</i> 'Everlow'	Everlow Yew	5 gal.	27
ORNAMENTAL GRASSES				
PVS	<i>Panicum virgatum</i> 'Shenandoah'	Shenandoah Switch Grass	1 gal.	53
PAH	<i>Pennisetum alopecuroides</i> 'Hameln'	Hameln Fountain Grass	1 gal.	139
POK	<i>Pennisetum alopecuroides</i> 'Karley Rose'	Karley Rose Fountain Grass	1 gal.	5
PERENNIALS				
HSO	<i>Hemerocallis</i> x 'Stella de Oro'	Stella de Oro Daylily	1 gal.	31
PAL	<i>Perovskia atriplicifolia</i> 'Little Spire'	Little Spire Russian Sage	1 gal.	81

REFERENCE NOTES SCHEDULE

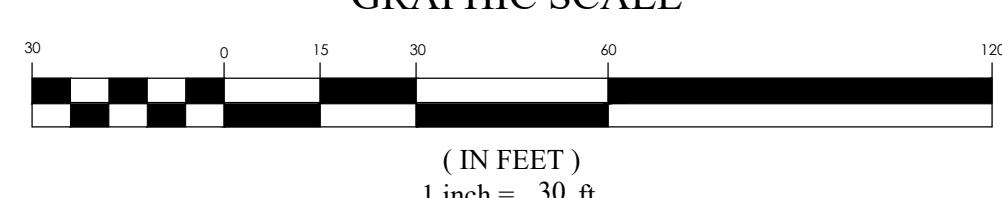
<u>SYMBOL</u>	<u>CODE</u>	<u>DESCRIPTION</u>	<u>QTY</u>
	1	ROCK MULCH TYPE 1	21,746 sf
	2	ROCK MULCH TYPE 2	7,620 sf
	3	RAISED PLANTER	
	4	ARTIFICIAL TURF	3,867 sf
	5	BENCH	4
	6	TRASH RECEPTACLE	4

LANDSCAPE NOTES

1. LAWN AREAS WILL BE SODDED WITH KENTUCKY BLUEGRASS BLEND OVER 4 INCHES GOOD GRADE TOPSOIL.
2. TOP DRESS ALL SHRUB BED AREAS AND OTHER AREAS LABELED ROCK MULCH WITH 4" DEEP OF ROCK TYPE(S) SPECIFIED IN THE REFERENCE NOTE SCHEDULE. PLACE ROCK OVER DEWITT PRO-5 WEED BARRIER FABRIC. FABRIC SHALL BE INSTALLED AFTER PRE-EMERGENT HAS BEEN APPLIED.
3. INSTALL STEEL EDGING FOR MOW STRIPS BETWEEN LAWN AREAS AND PLANTING BEDS.
4. CONTRACTOR TO CONDUCT THEIR OWN QUANTITY TAKE-OFFS IN THE PLAN AND VERIFY ANY DISCREPANCIES WITH THE LANDSCAPE ARCHITECT.
5. CONTRACTOR SHALL VERIFY ALL UTILITIES SHOWN ON THE PLANS AS WELL AS HAVE THE SITE UTILITIES LOCATED ON THE GROUND PRIOR TO THE START OF CONSTRUCTION ACTIVITIES. IN THE EVENT THAT THE CONTRACTOR DISCOVERS AN UNDERGROUND UTILITY THAT IS NOT REPRESENTED WITHIN THE CONSTRUCTION DOCUMENTS OR AS MARKED ON THE SITE, HE SHALL IMMEDIATELY CONTACT THE OWNERS REPRESENTATIVE TO DETERMINE NEXT STEPS PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN THE AREA OF THE NEWLY DISCOVERED UNDERGROUND UTILITY.
6. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE THROUGHOUT CONSTRUCTION ACTIVITIES FOR THE PROJECT. ACCUMULATION OF STANDING WATER WILL NOT BE PERMITTED.



GRAPHIC SCALE



Know what's **below**.
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OVERALL LANDSCAPE PLAN

Drawn: SB

023

:_2024\24-0028 Murray Towns\design 24-0028\dwg\sheets\L1.0 - L1.XX LANDSCAPE PLAN.dwg

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MURRAY MOB

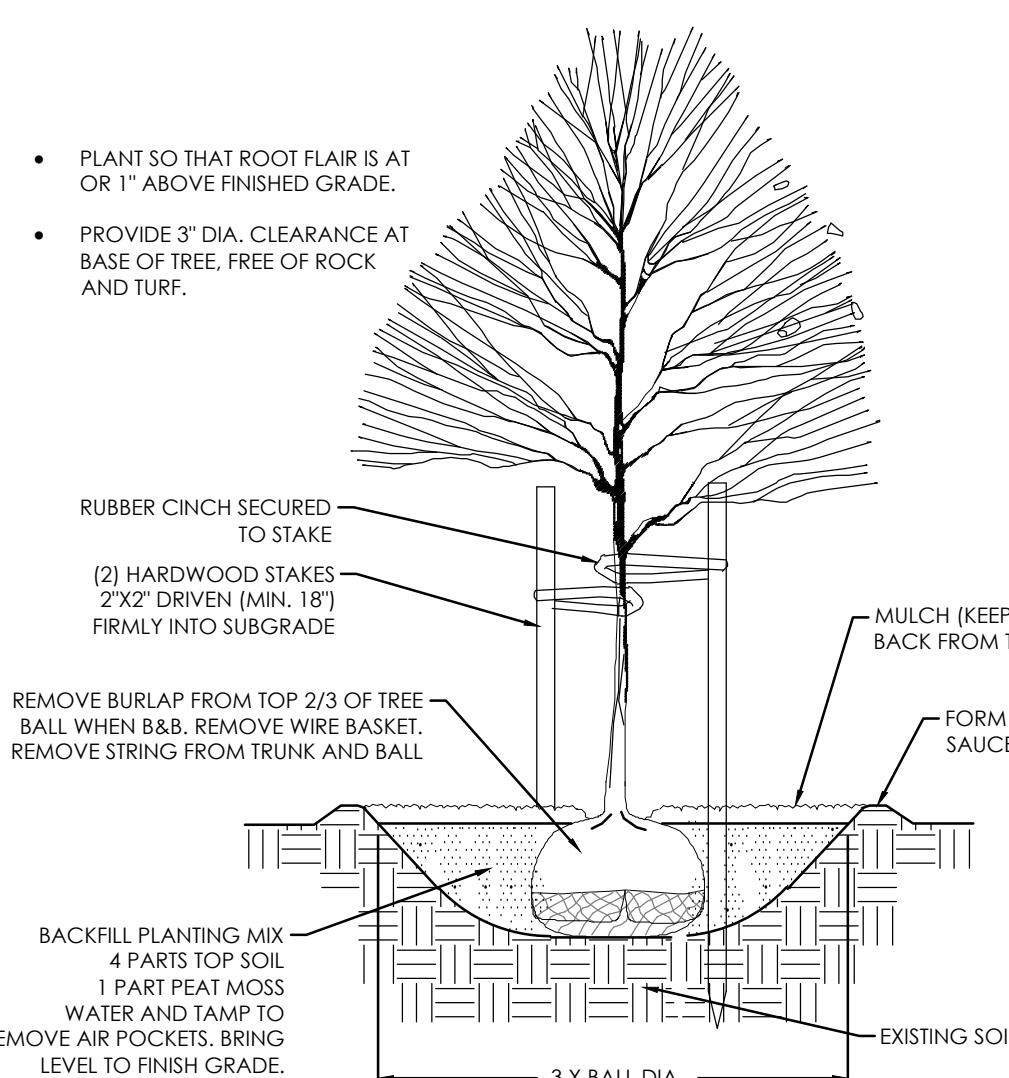
MURRAY, UTAH

LANDSCAPE DETAILS

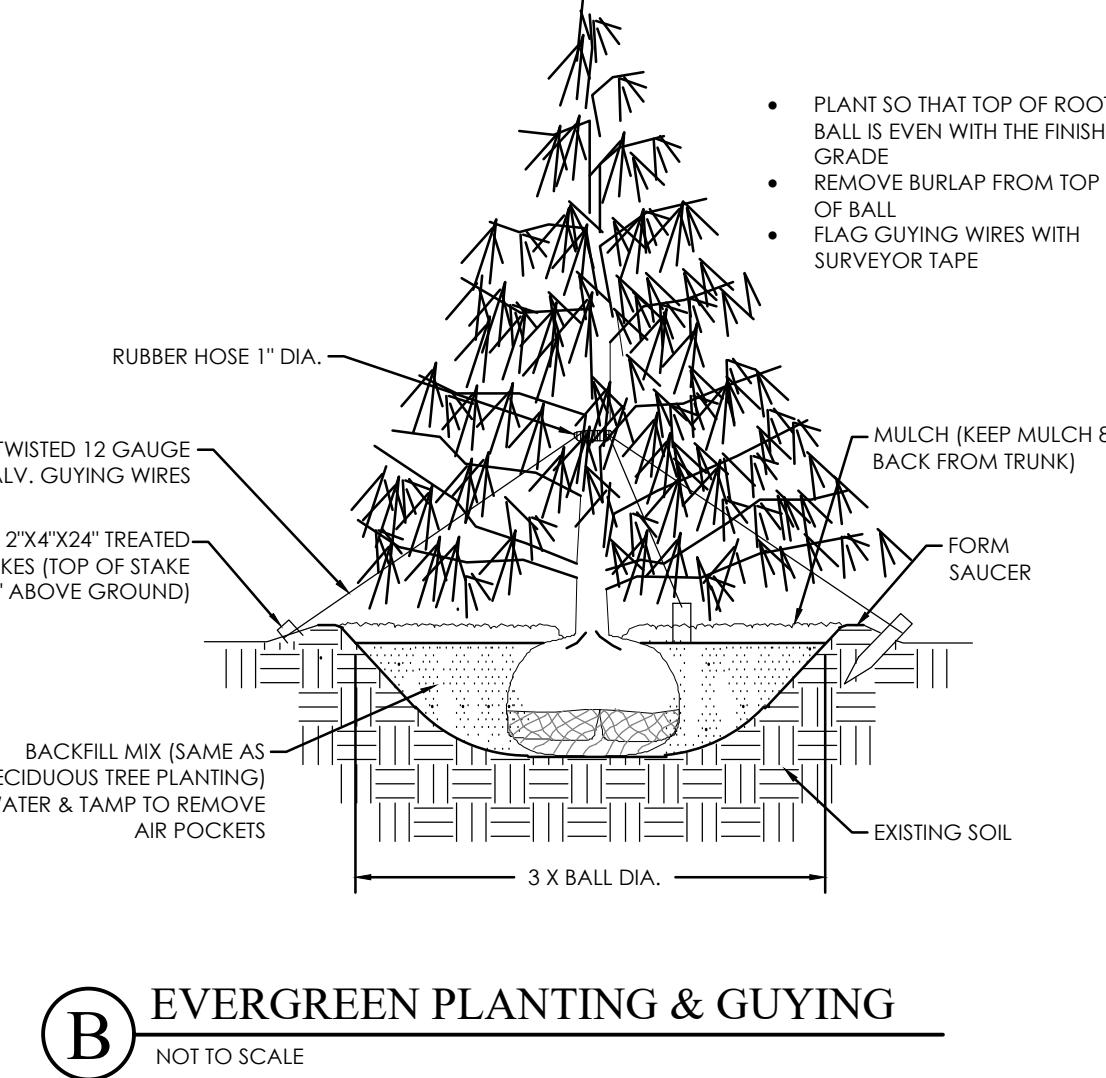
REVISION BLOCK	#	DATE	DESCRIPTION
1	***	***	***
2	***	***	***
3	***	***	***
4	***	***	***
5	***	***	***
6	***	***	***

Scale:	Drawn:
Date: 06/10/2025	Job #: 24-0028
Sheet:	
24-0028-24-0028	Murray Town design

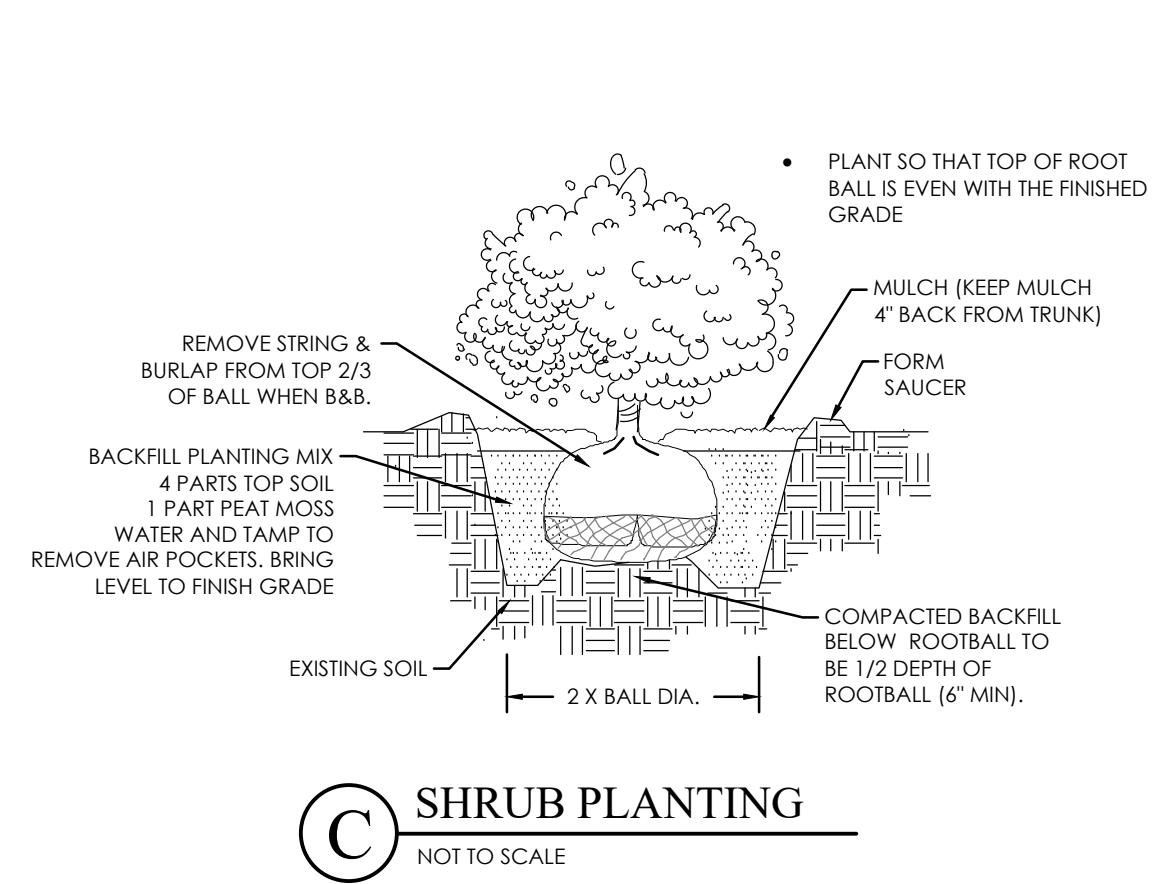
L1.1



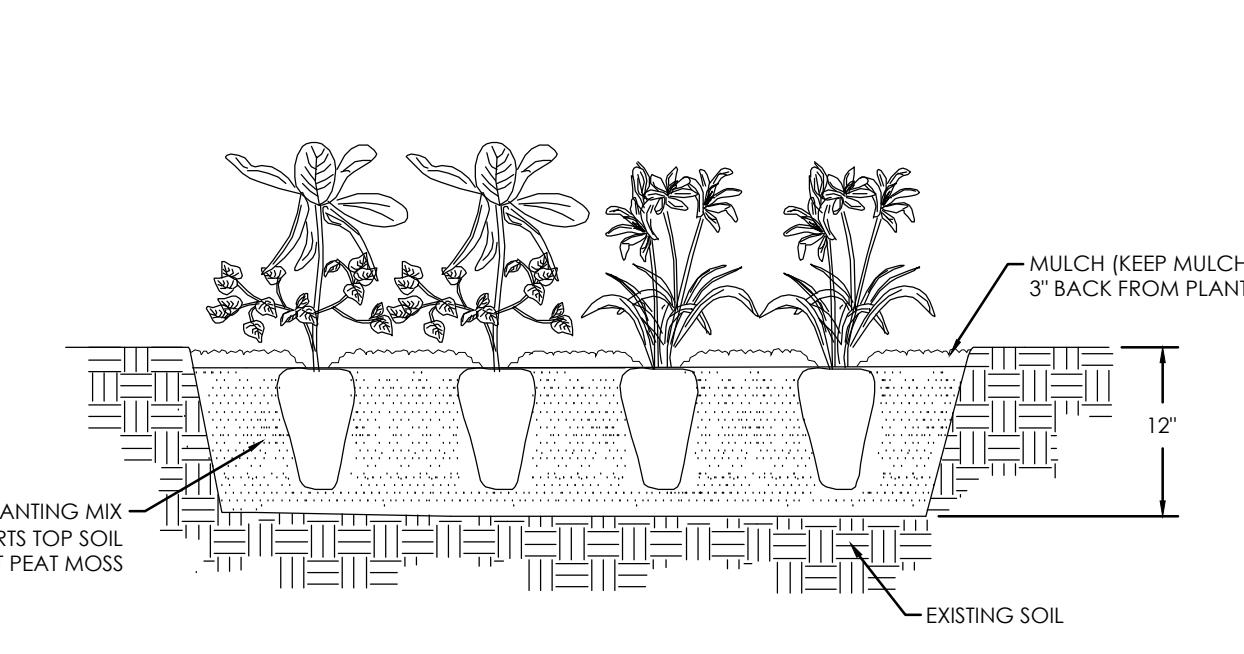
(A) TREE PLANTING & STAKING
NOT TO SCALE



(B) EVERGREEN PLANTING & GUYING
NOT TO SCALE



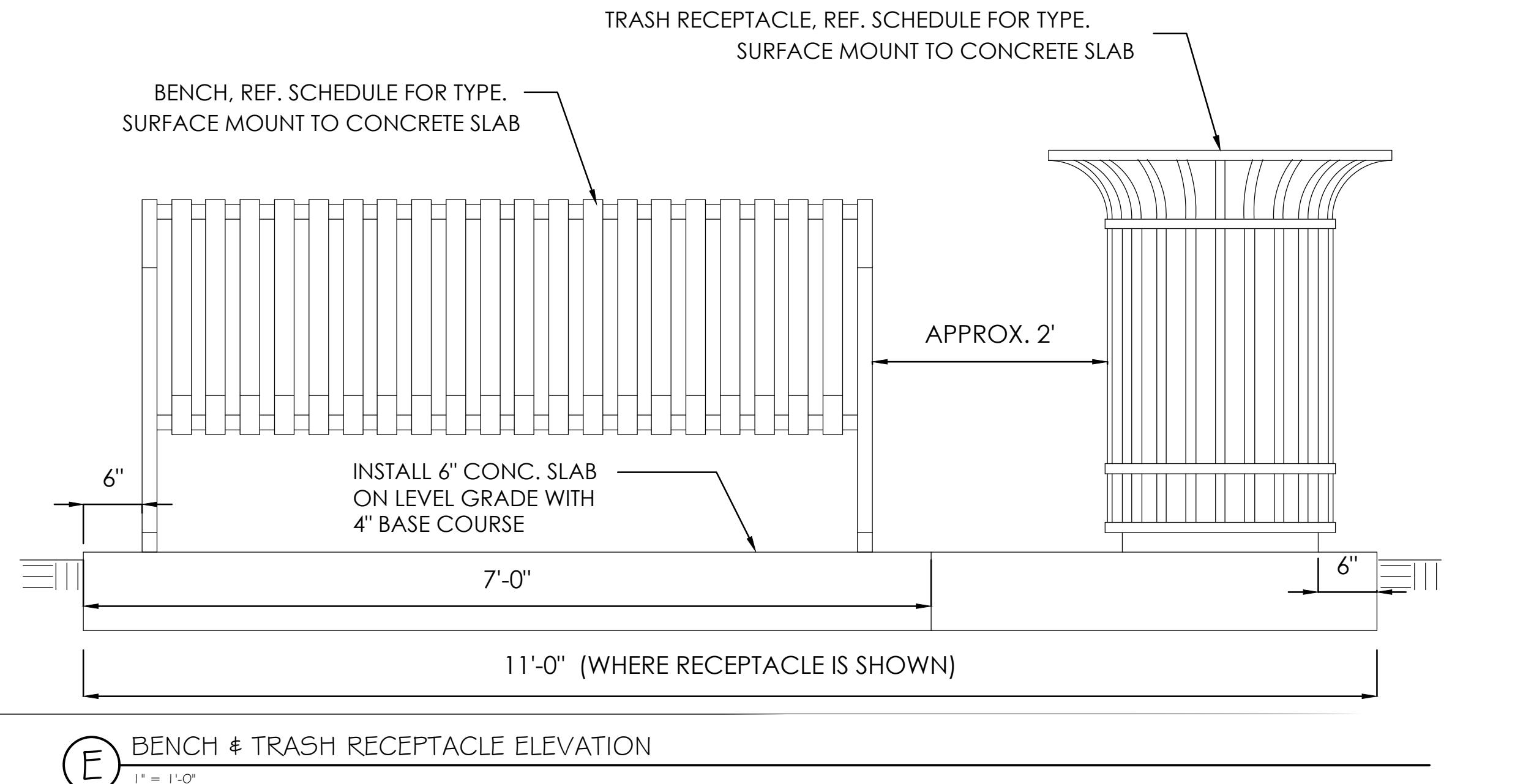
(C) SHRUB PLANTING
NOT TO SCALE



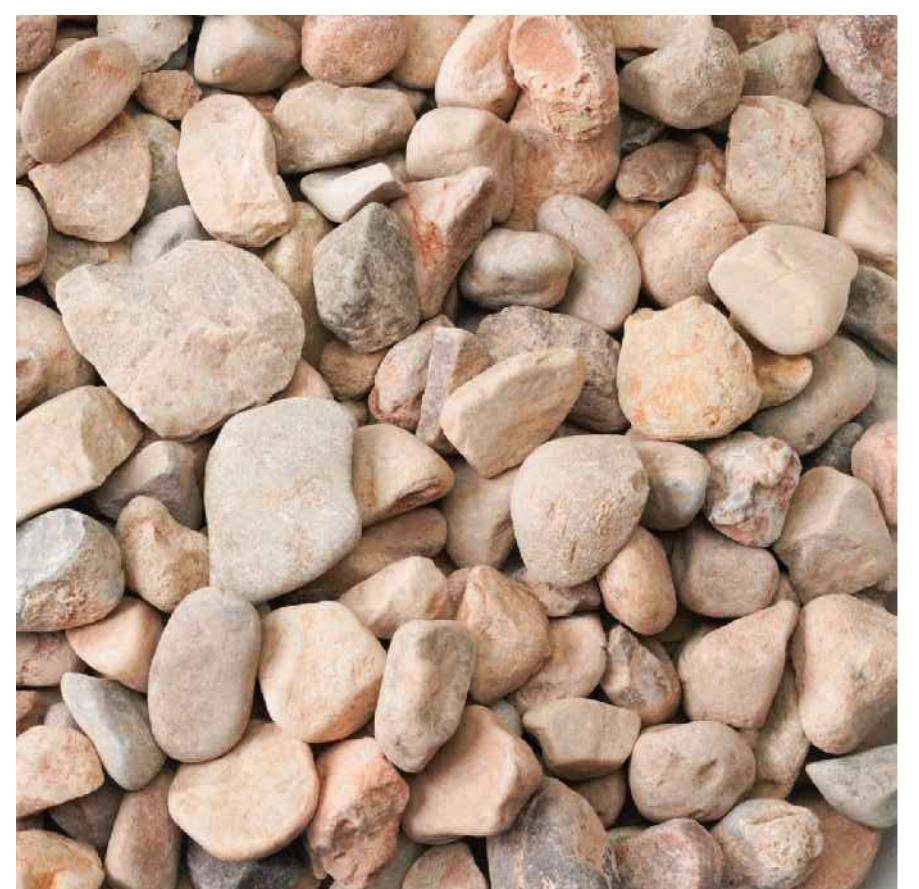
(D) PERENNIAL PLANTING
NOT TO SCALE



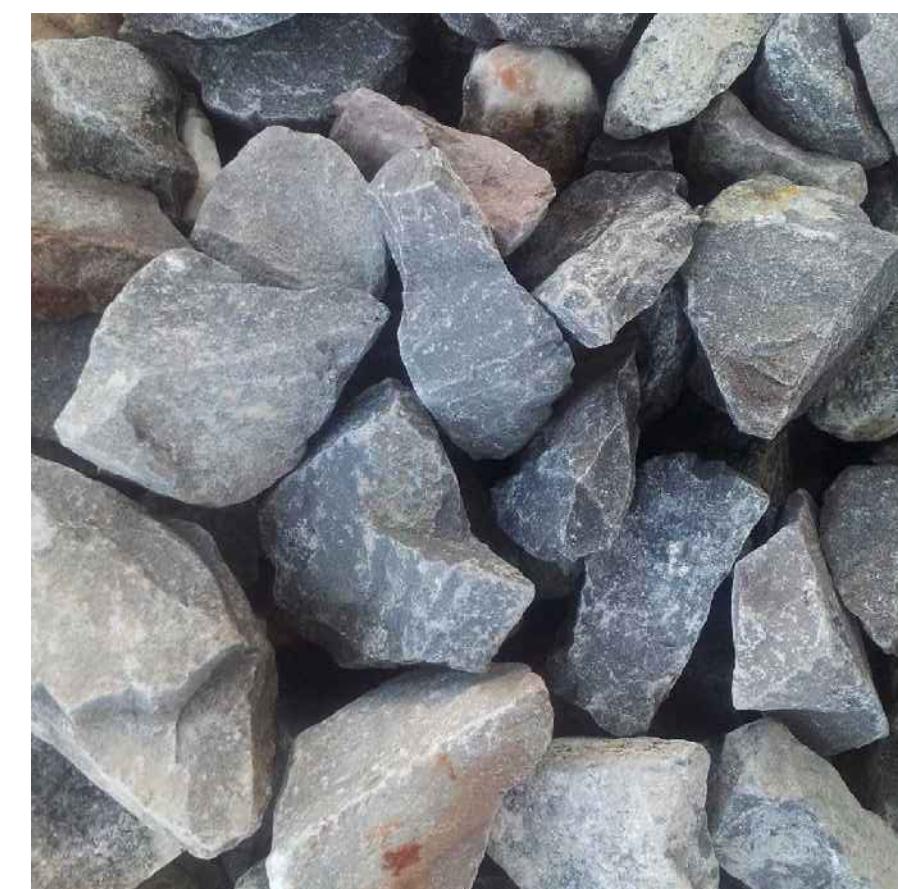
(G) TRASH RECEPTACLE EXAMPLE
NTS



(F) BENCH EXAMPLE
NTS



(H) ROCK TYPE 1 EXAMPLE
NTS



(I) ROCK TYPE 2 EXAMPLE
NTS



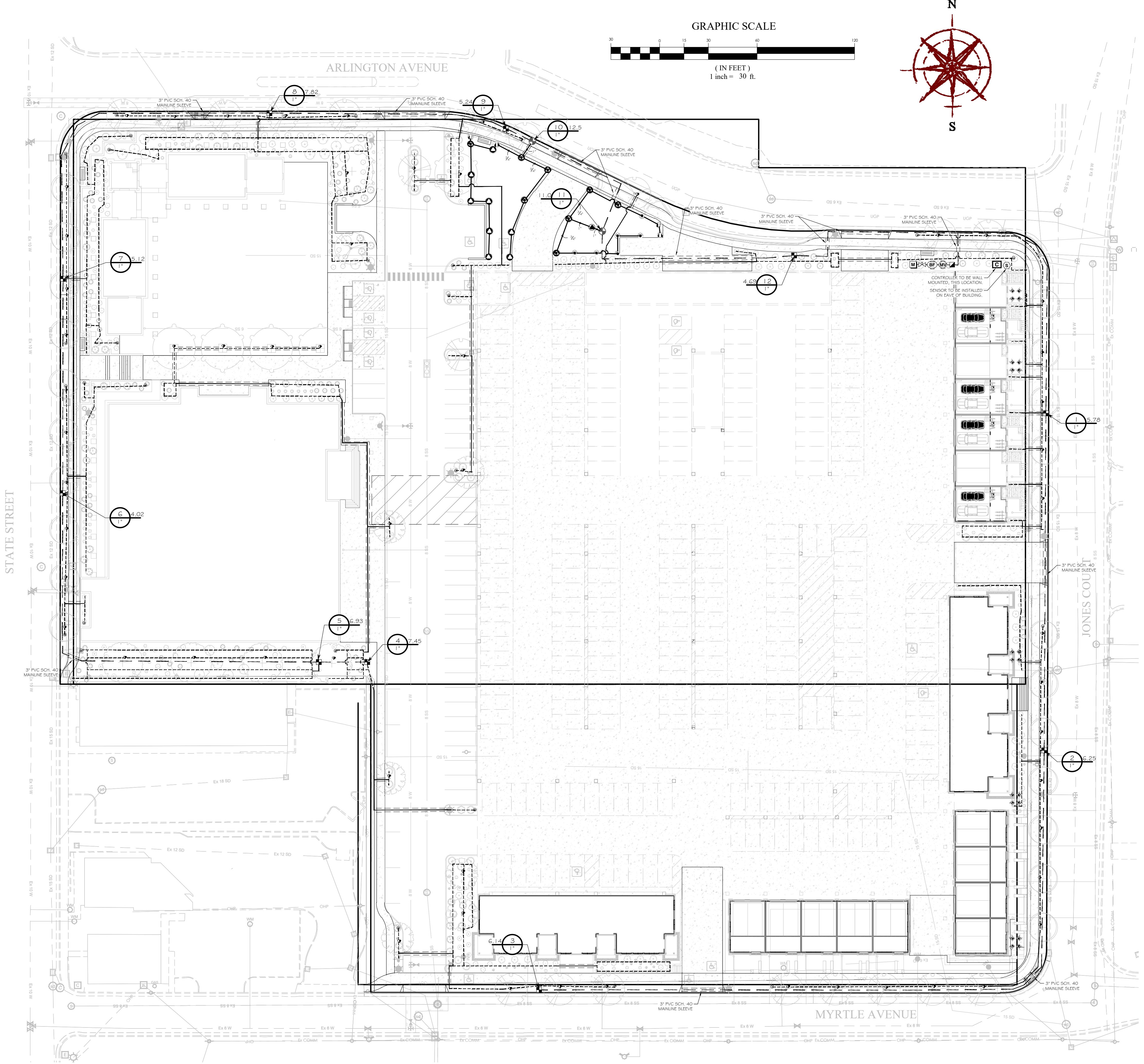
(J) ARTIFICIAL TURF EXAMPLE
NTS

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MURRAY MOB

MURRAY, UTAH

OVERALL IRRIGATION PLAN





TAGUS ENGINEERING

PROFESSIONAL | INNOVATIVE | RELIABLE



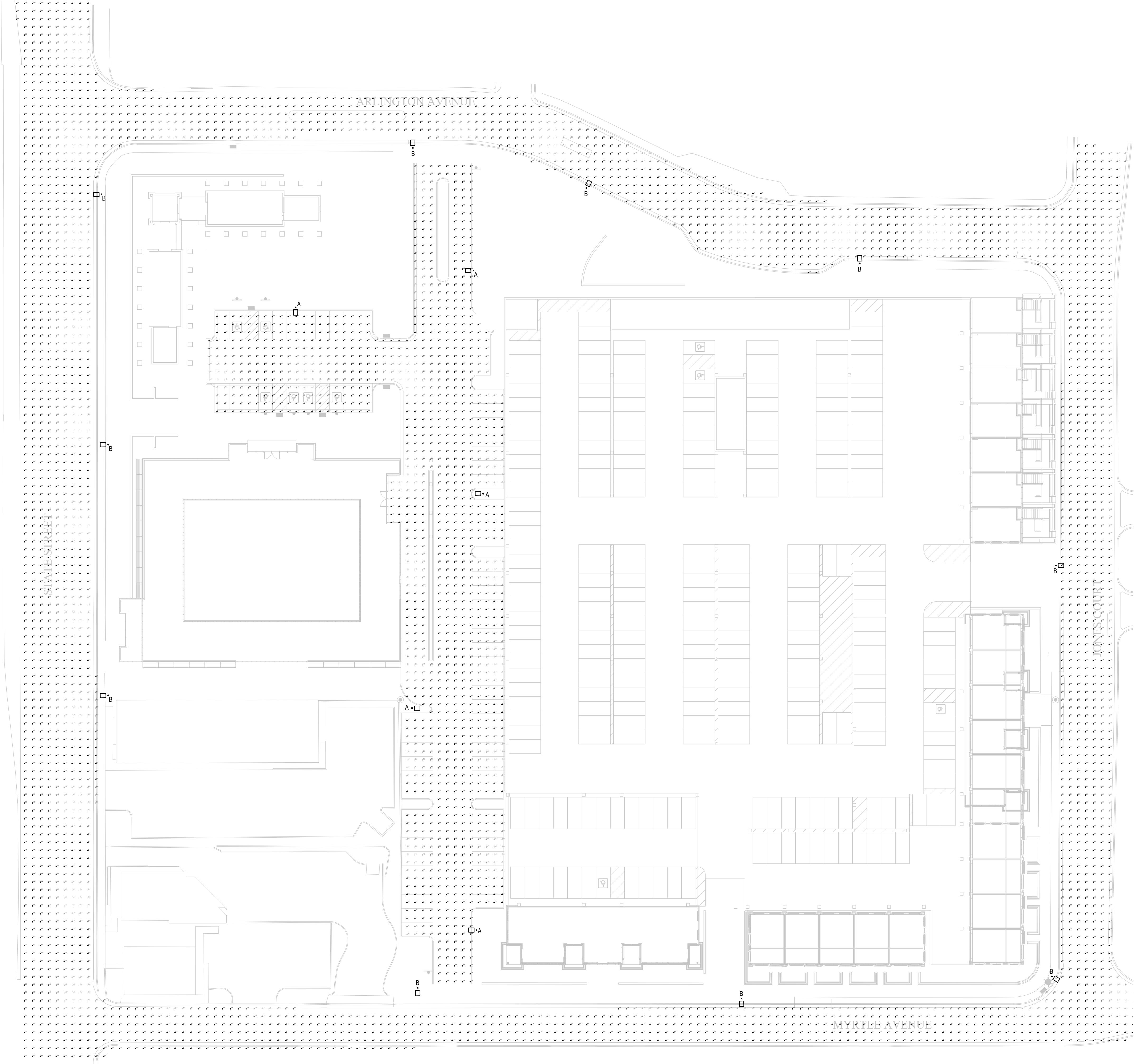
**MURRAY SITE
PHOTOMETRIC**

DRAWN BY:	SM	
CHECKED BY:	PCH	
PROJECT NO.:	25002.01	
NO.	DATE	DESCRIPTION

SITE PHOTOMETRIC PLAN

DRAWING NO.

E1.1



A SITE PHOTOMETRIC PLAN
E1.1 SCALE: 1/32 = 1'-0"



Statistics									
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min			
PARKING	+	2.6 fc	6.7 fc	0.2 fc	33.5:1	13.0:1			
ROADWAY	+	1.6 fc	2.3 fc	0.0 fc	N/A	N/A			

Schedule									
Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF
	A		5	Lithonia Lighting	DSX2 LED P3 40K 800CRI T2M	D-Series Size 2 Area Luminaire P3 Performance Package 4000K CCT 80 CRI Type 2 Medium	1	26687	1
	B		10	N/A	MURRAY CITY ROADWAY LIGHTING STANDARD COBRA HEAD.		1	N/A	1



D-Series Size 2
LED Area Luminaire

d²series

Specifications

EPA: 1.00 ft² (0.10 m²)
Length: 40.59" (103.0 cm)
Width: 16.76" (42.0 cm)
Height H1: 8.11" (20.6 cm)
Height H2: 3.96" (10.0 cm)
Height H3: 4.6" (11.7 cm)
Weight: 46 lbs (20.9 kg)

ds design select

Design Select options indicated by this color background.

Ordering Information

EXAMPLE: DSX2 LED P7 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX2 LED	LEDs	Color temperature ¹	Color Rendering Index ²	Distribution	Voltage	Mounting	
DSX2 LED	Forward optics	100K - 50K	30K - 200K	70CRI	AFR: Automotive front TSM: Type I medium T15: Type I short T2M: Type II medium T3M: Type III medium T3LG: Type III low glare ³ T4M: Type IV background control T4LG: Type IV box glare ³ TFTM: Forward throw medium	MVOLT (120V-277V) 120V (120V-277V-480V) ⁴ XVOLT (277V-480V) ⁵	Shipped included SPR: Square pole mounting (8.0" drilling) RPA: Round pole mounting (8.0" drilling) RPS: Round pole mounting P-0 drilling ⁶ SPAN: Square name pole mounting 8.0" drilling WBA: Wall bracket ⁷ MA: Man arm adapter (mounts on 2.38" OD horizontal tees)
Rotated optics	P10 ⁸ / P11 ⁹ / P12 ¹⁰	27K 200K 30K 300K 35K 3500K 40K 4000K 50K 500K	800B	LCC: Left corner cutoff RCC: Right corner cutoff	208, 249, 277, 347, 480 VAC		

Control options

Shipped installed: NEARIR2 PIRHN: PIR light, A1R gen 2 enabled with tri-level motion / ambient sensor, 8-40' mounting height, ambient sensor enabled at 26' (7.9m). High-flow, motion/ambient sensor, 8-40' mounting height, ambient sensor enabled at 26' (7.9m). PER: NE-MA twist-lock receptacle only (cannot be ordered separately). PERS: PIR gen 2 enabled with tri-level motion sensor (cannot be ordered separately).

PIR: PER7: Seven-pin receptacle (only front/rear required separate). FAO: Field adjustable output¹¹. BLW: Bi-level switched dimming, 30%¹². BL50: Bi-level switched dimming, 50%¹³. DMG: On/off dimming wire pulled outside fixture for use with an external control, ordered separately. DS: Dual switching¹⁴.

Shipped installed: SPD20KV: 20kV surge protection standard¹⁵. L90: Horizontal shield (black finish standard)¹⁶. R90: Right rotated optics¹⁷. HA: 50% ambient operation¹⁸. BAA: Bay American A1 and/or Bay American Bay America Qualifiers. SF: Single fuse (120, 277, 480V)¹⁹. DF: Double fuse (208, 249, 480V)²⁰. ZG: Vibration rated for SG²¹.

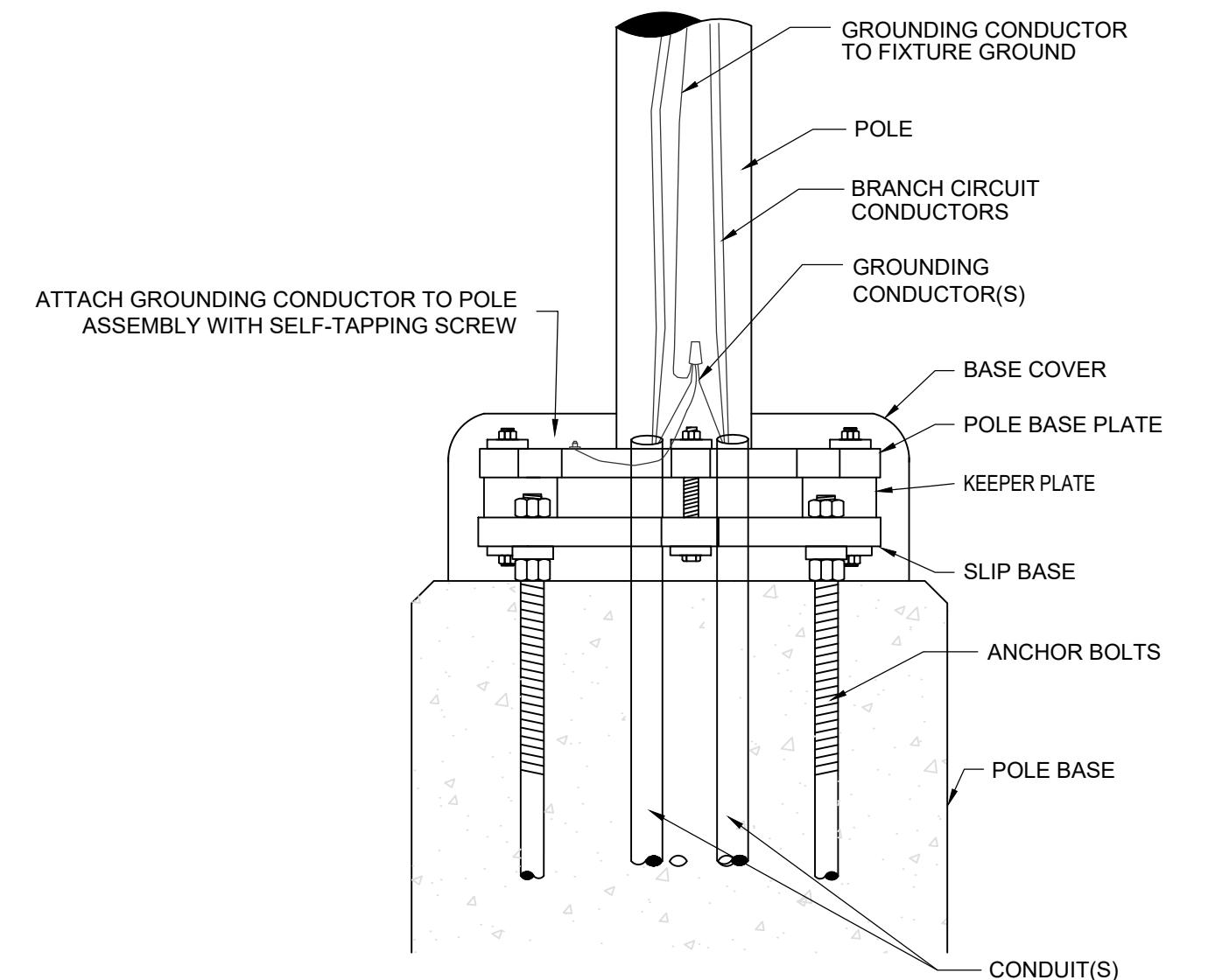
Shipped separately: ESSR: External GFI shield (field install required, matches housing finish). BSLB: Bed splice (field install required).

Finish (optional)

DSX2 LED
0800: Dark bronze
0810: Black
0840: Natural aluminum
0840W: White
0850: Textured dark bronze
0860: Textured black
0870: Textured natural aluminum
0870W: Textured white

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
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DSX2 LED
Rev. 01/26/25
Page 1 of 10



A SAFETY BASE - BREAK AWAY POLE DETAIL
E1.2

MURRAY SITE PHOTOMETRIC

DRAWN BY: SM
CHECKED BY: PCH
PROJECT NO.: 25002.01
NO. DATE DESCRIPTION

SITE PHOTOMETRIC DATA

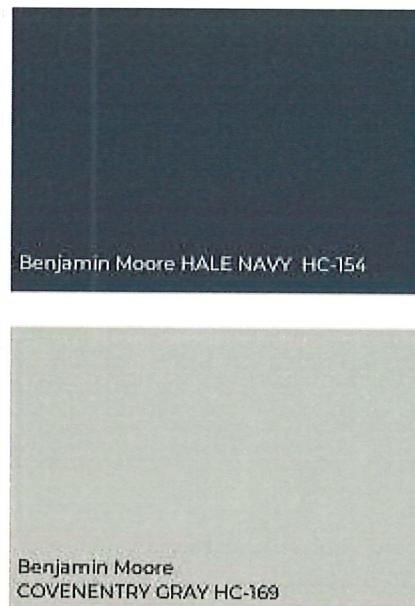
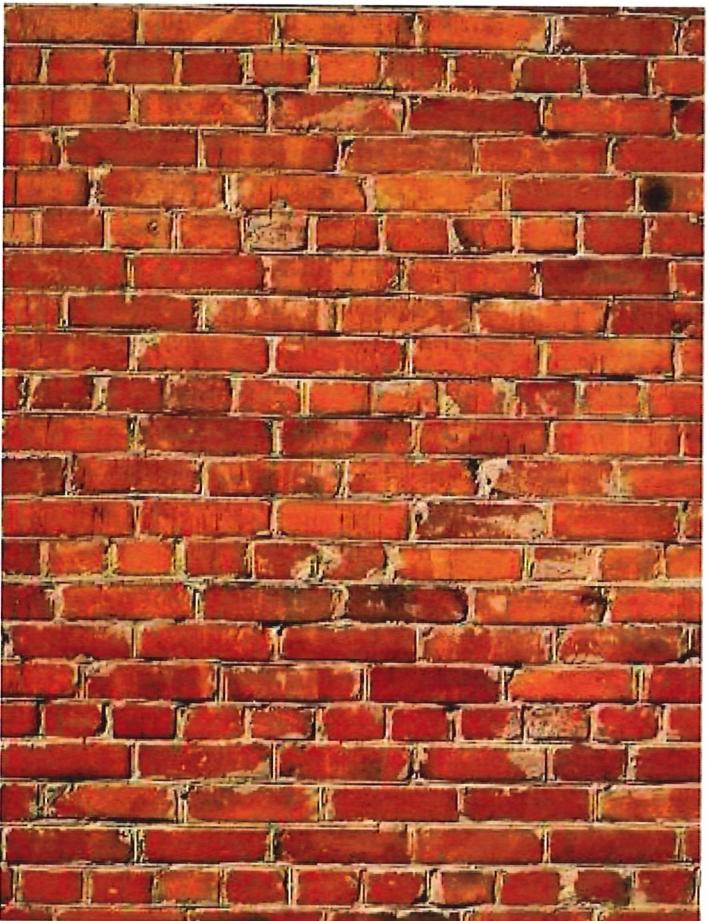
DRAWING NO.
E1.2

EXHIBIT "B"

HALE NAVY HC-154

COVENTRY GRAY HC-169

SIMPLY WHITE OC-17

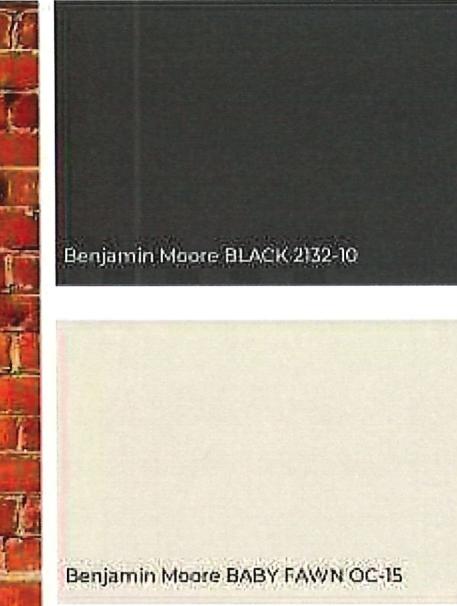
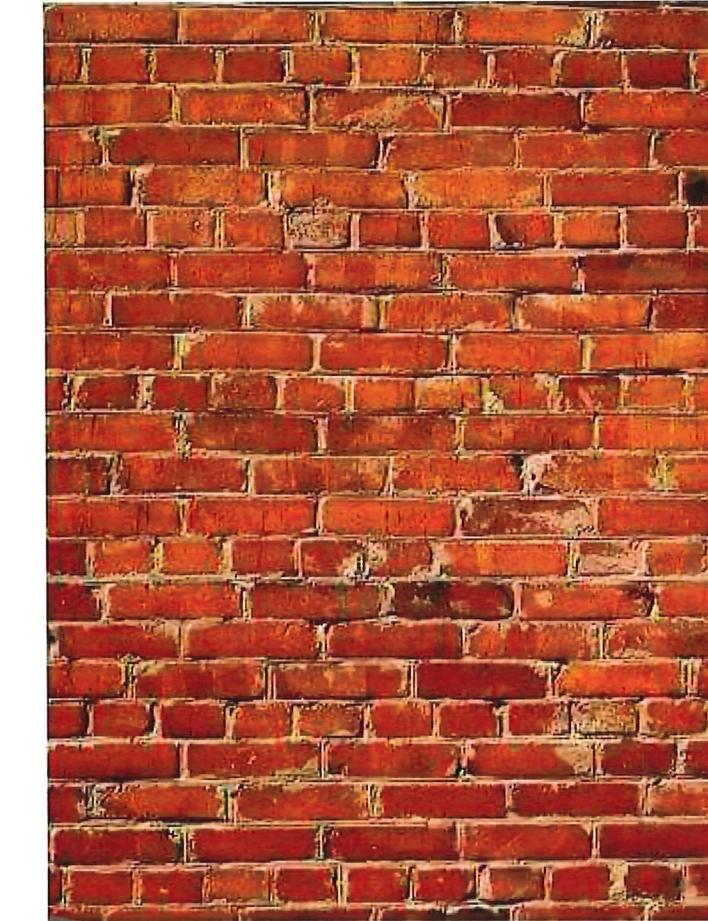


Benjamin Moore SIMPLY WHITE OC-17

BLACK 2132-10

BABY FAWN OC-15

WHITE DOVE OC-17



Benjamin Moore WHITE DOVE OC-17

METAL

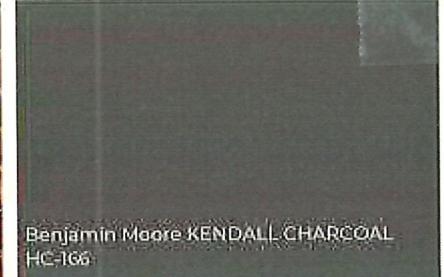
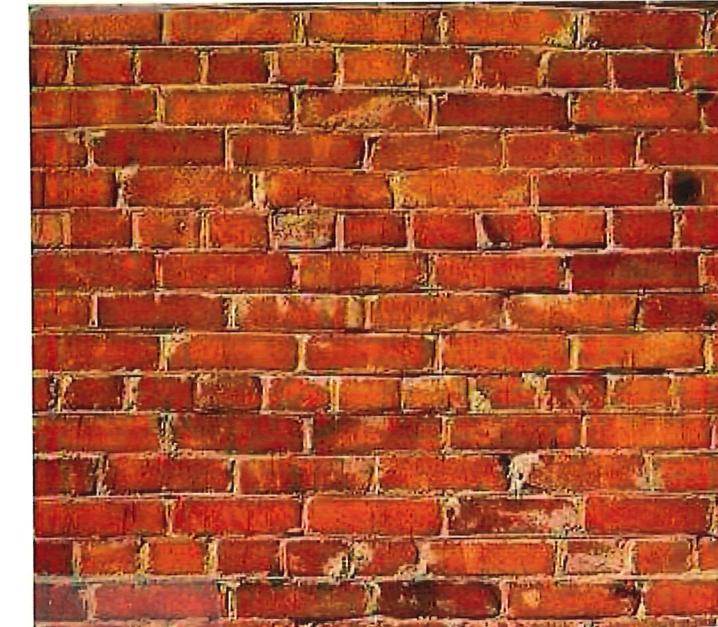
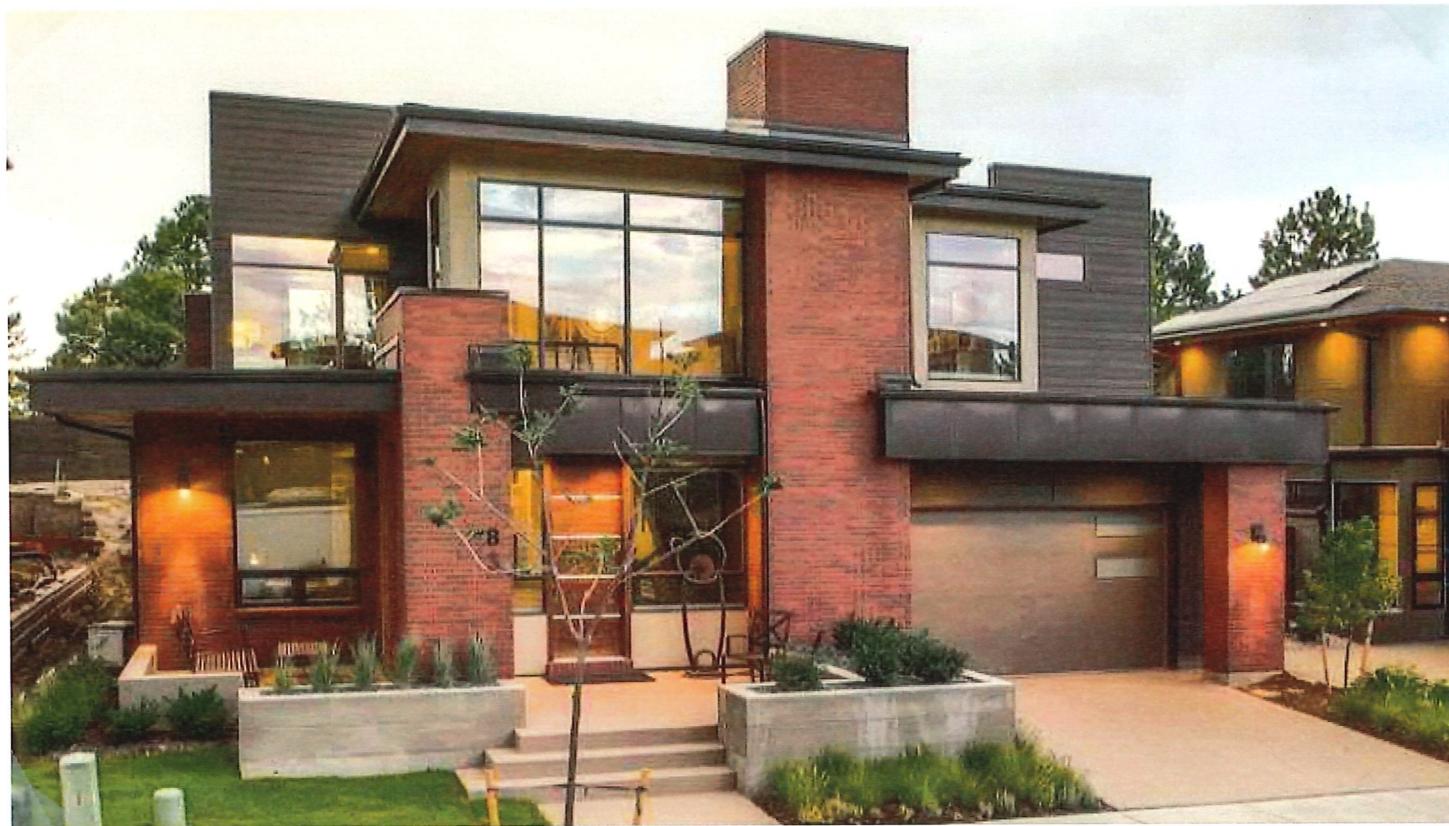
SIDING
AND STUCCO

TRIM

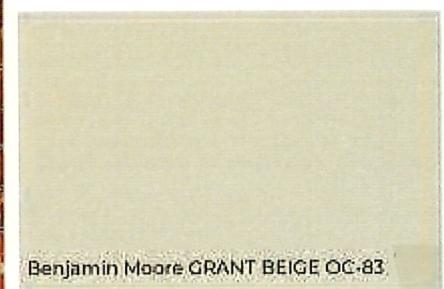
PROPOSED BUILDING COLORS

EXHIBIT "B"

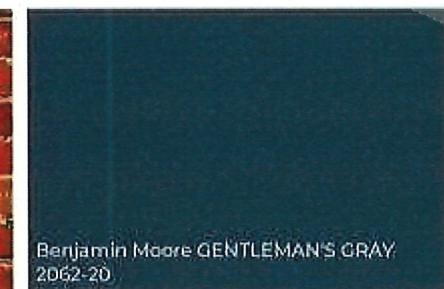
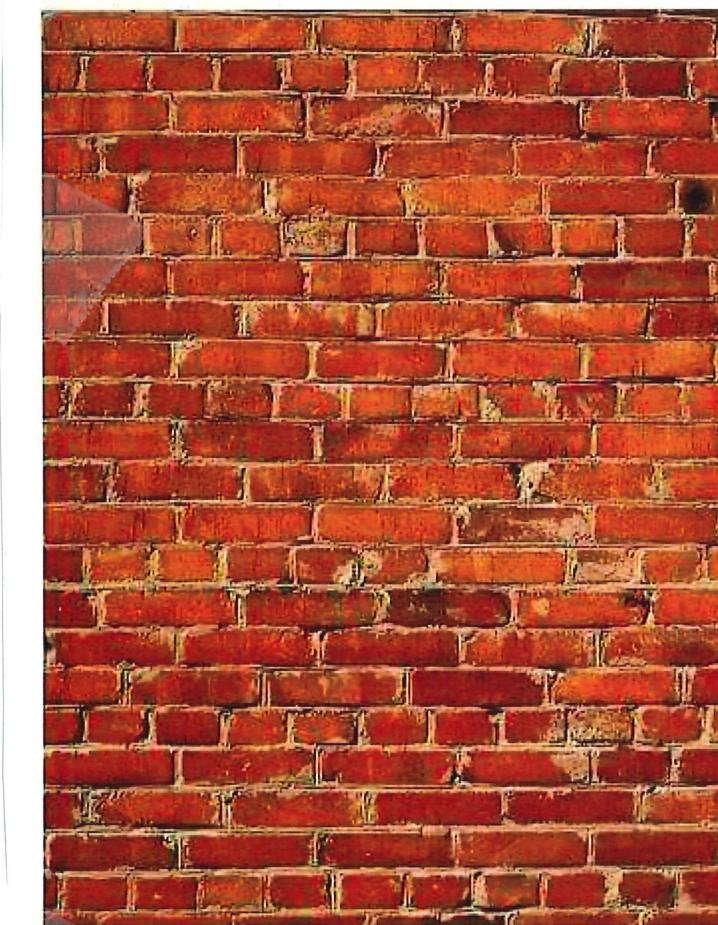
BRICK, METAL, SIDING, CONCRETE



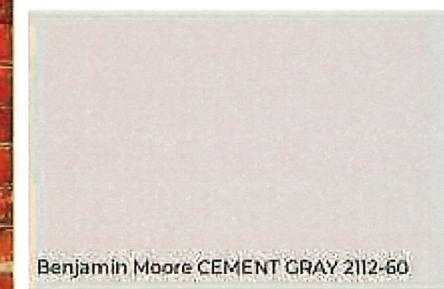
METAL



SIDING



METAL



SIDING
AND STUCCO



TRIM

(No subject)

From James Allred <jamesallred@mac.com>
Date Tue 6/10/2025 2:39 PM
To Jim Allred <jims@triumphcmg.com>





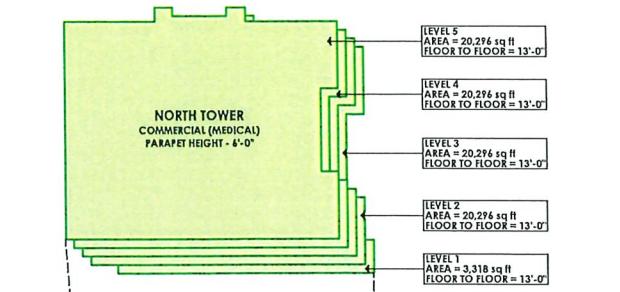
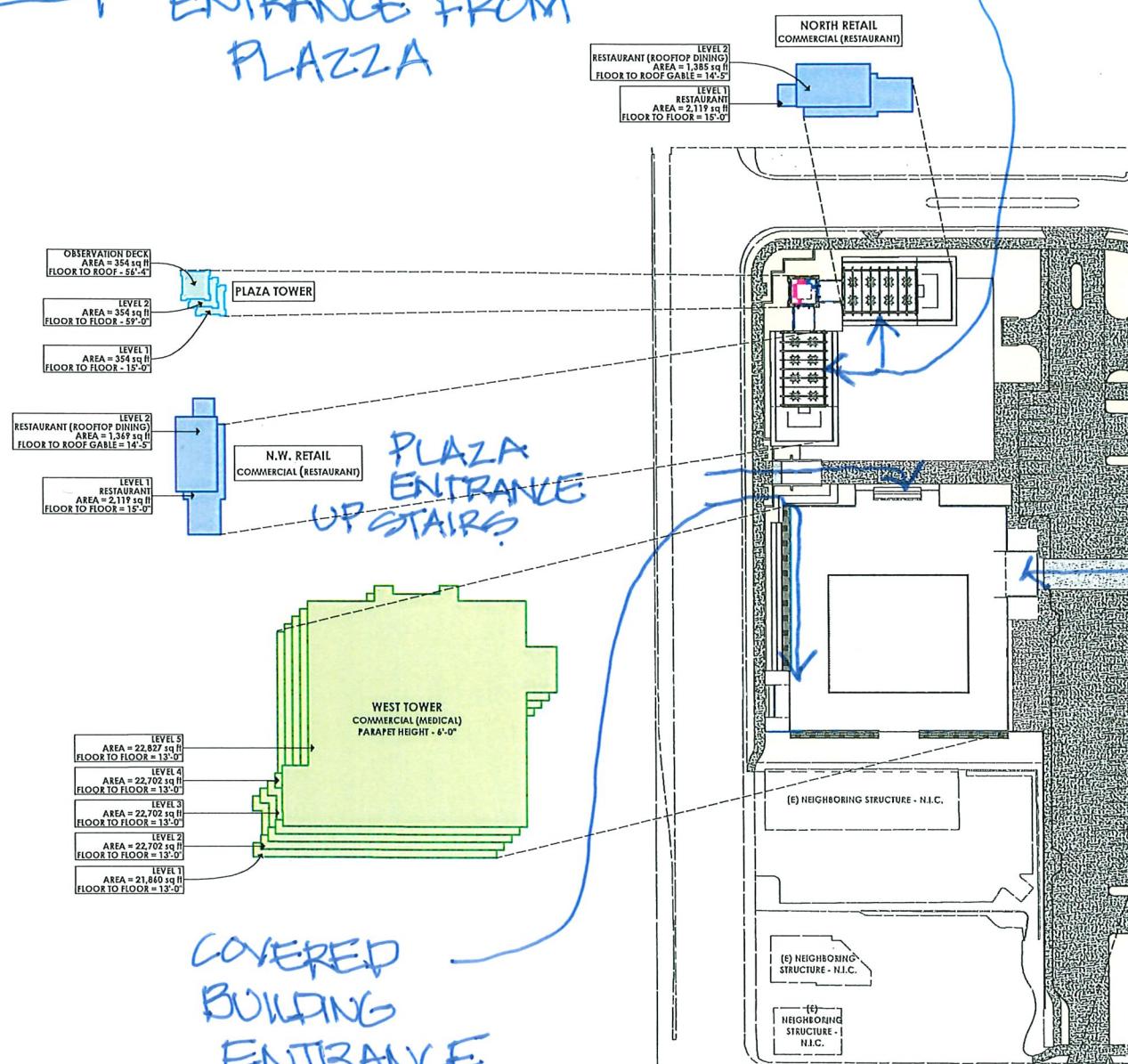
EXHIBIT "B"

RESIDENTIAL
TOWERS
BRICK

CONCRETE
COLORED TRIM
←
LIGHTER
COLORED
BRICK AT
BOTTOM LEVELS

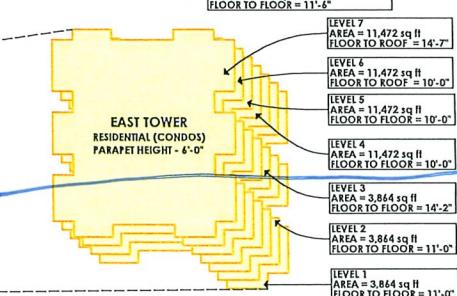
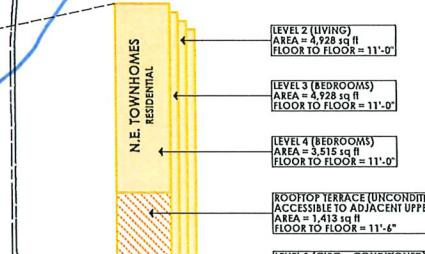
EXHIBIT A

RESTAURANT ←
ENTRANCE FROM
PLAZZA

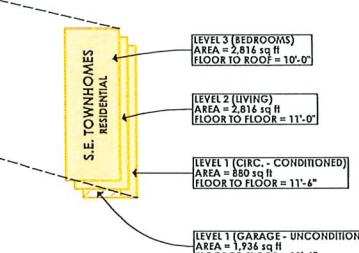


Entrance to Building
FROM PARKING STRUCTURE
AND GROUND FLOOR

NOTE ALL
TOWNHOMES
ENTER TOWARDS
STREET. TYP.



ENTRANCE
TO TOWER
UNITS



PRELIMINARY USAGE ESTIMATION

Scale: 1" = 50'



PRELIMINARY USAGE ESTIMATION

5/13/2025

A-1.4



TRIUMPH
DESIGN BUILD

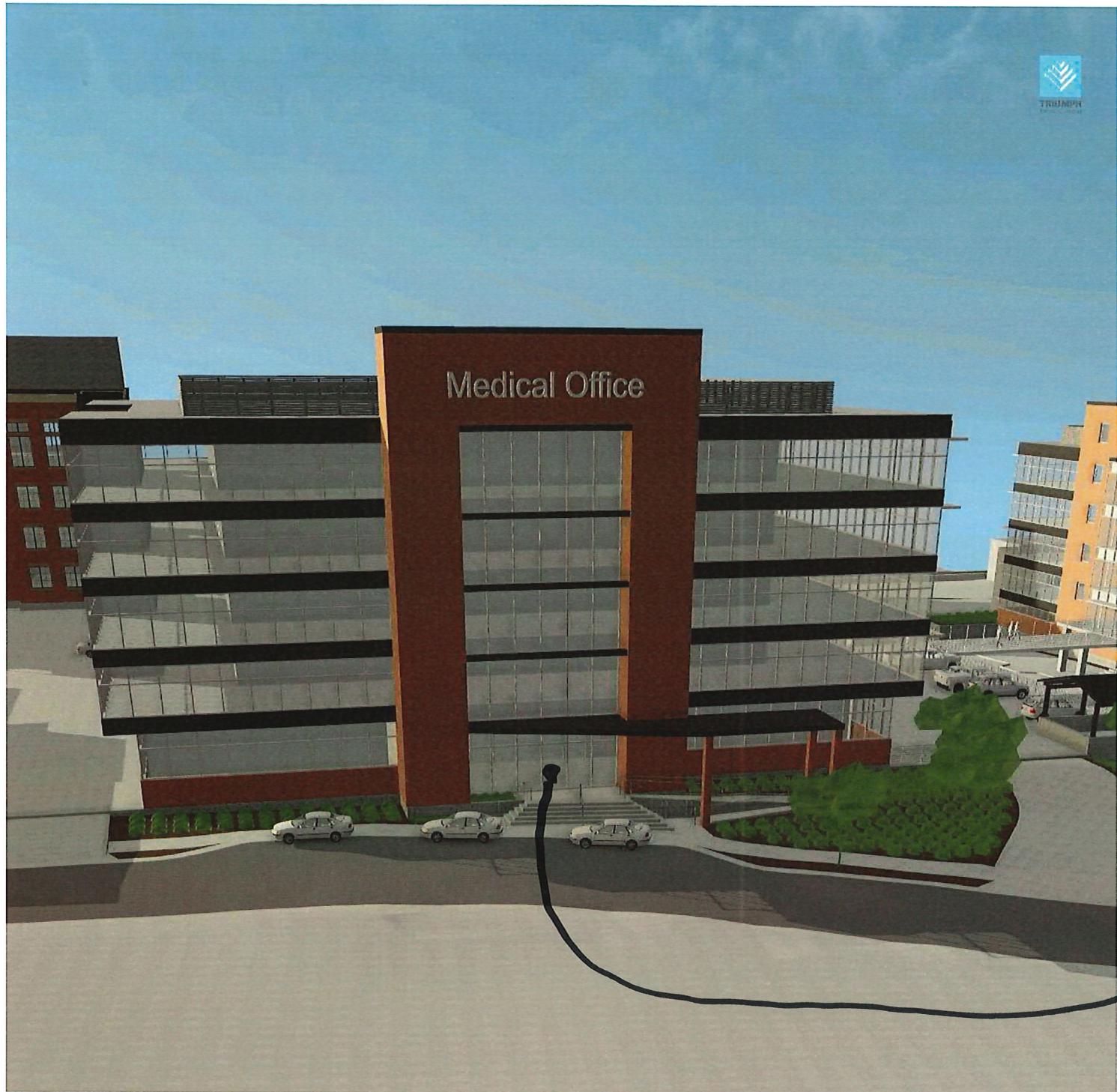


EXHIBIT "A"

MAIN
ENTRANCE
TO ARLINGTON
BUILDING



EXHIBIT "A"

SIDEWALK TO ENTRANCE
TO BUILDING

(No subject)

From James Allred <jamesallred@mac.com>
Date Tue 6/10/2025 3:02 PM
To Jim Allred <jima@triumphcmg.com>

EXHIBIT "C"



From Jim Allred

(No subject)
From James Allred <jamesallred@nmhc.com>
Date Tue 6/10/2025 2:28 PM
To Jim Allred <jim@triumphinc.com>

EXHIBIT "C"





VISUAL AID - NORTH WEST PERSPECTIVE



VISUAL AID - NORTH PERSPECTIVE



VISUAL AID - WEST PERSPECTIVE



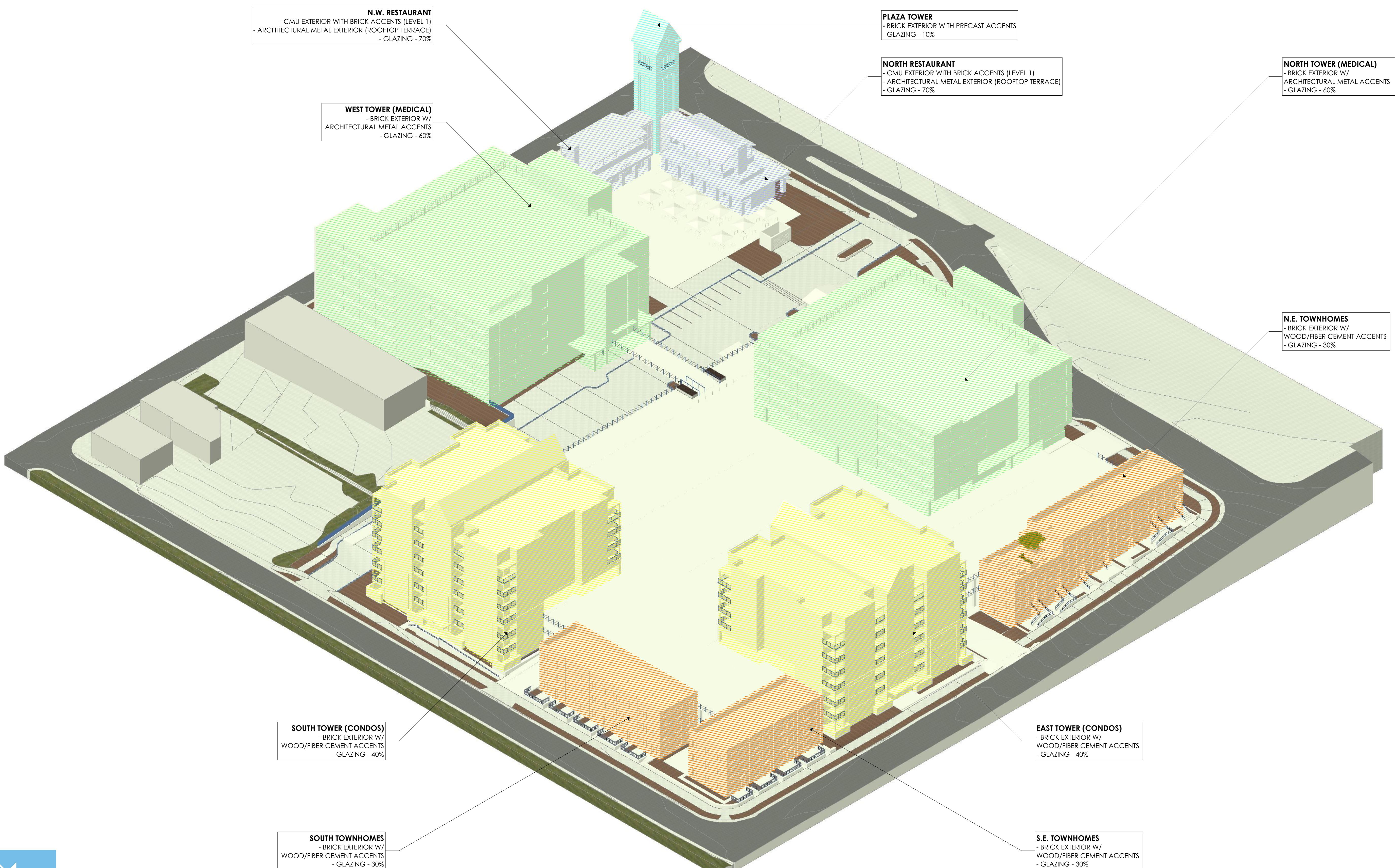
VISUAL AID - SOUTH EAST CORNER

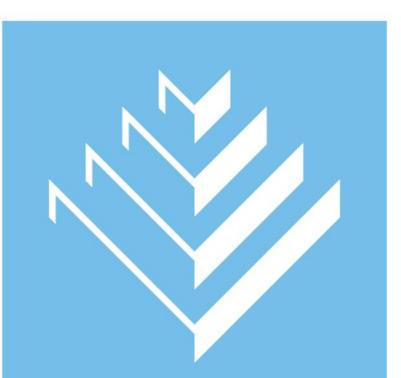
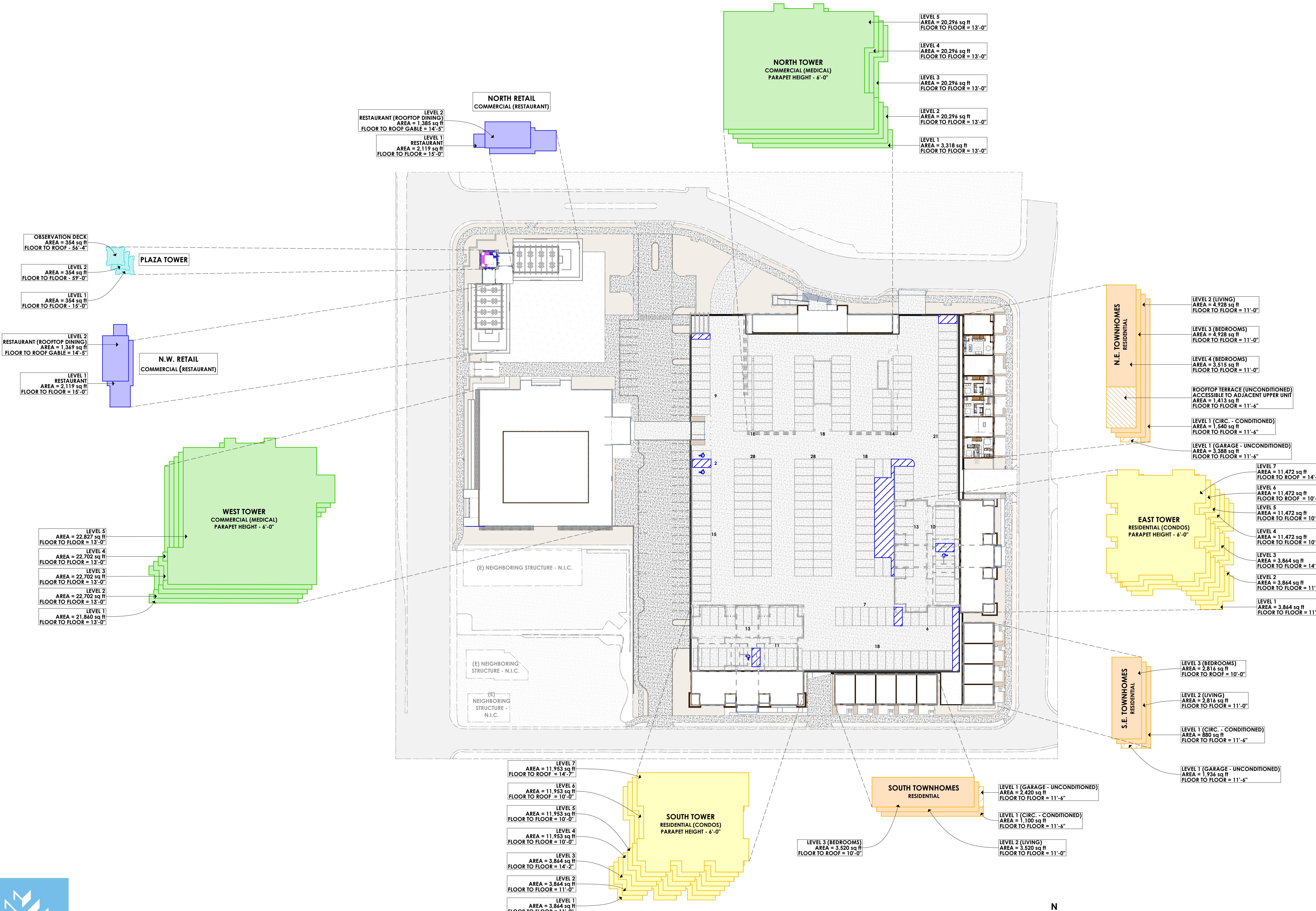


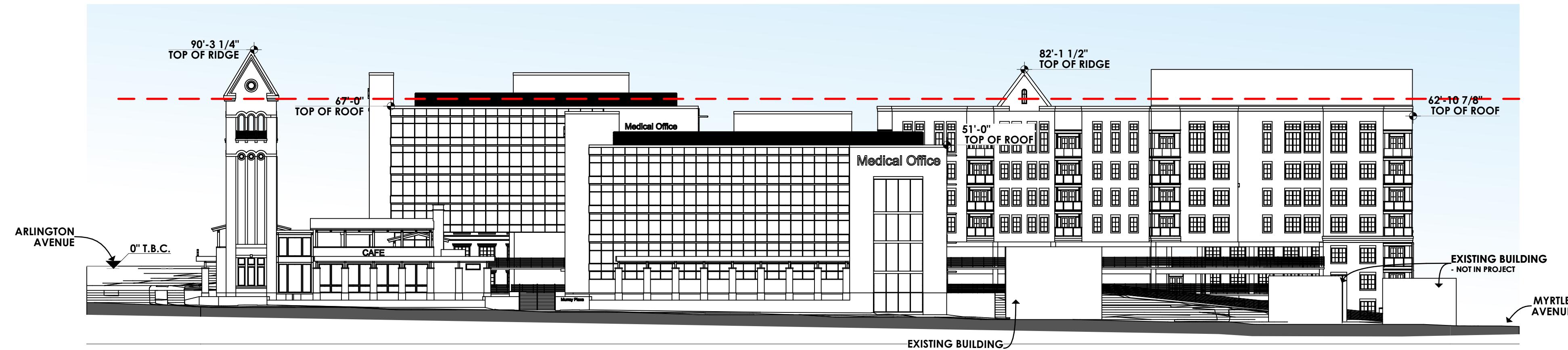
VISUAL AID - NORTH EAST CORNER



VISUAL AID - SOUTH PERSPECTIVE

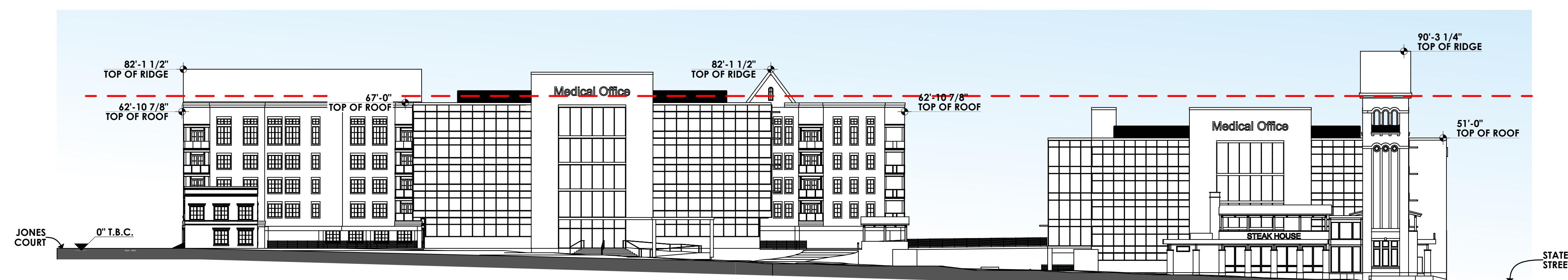






WEST ELEVATION @ STATE STREET
Scale: 1/32" = 1'-0"

3B



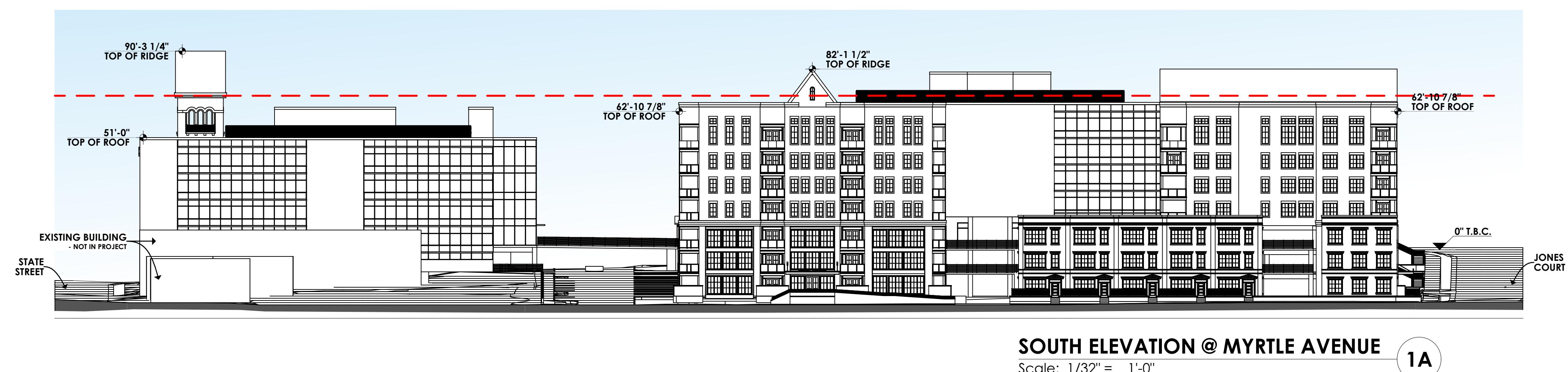
NORTH ELEVATION @ ARLINGTON AVENUE
Scale: 1/32" = 1'-0"

BUILDING HEIGHT
ELEVATION PLANS



TRIUMPH
DESIGN BUILD

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BUILDING HEIGHT ELEVATION PLANS



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ELEVATIONS AT STREET VIEW

5/13/2025

A-2.2



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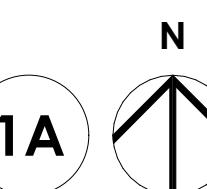
FLOOR PLATE - LEVEL 3
Scale: 1/8" = 1'-0"
1A N

CONDO TOWERS
FLOORS 1, 2, AND 3



FLOOR PLATE - LEVEL 4

Scale: 1/8" = 1'-0"

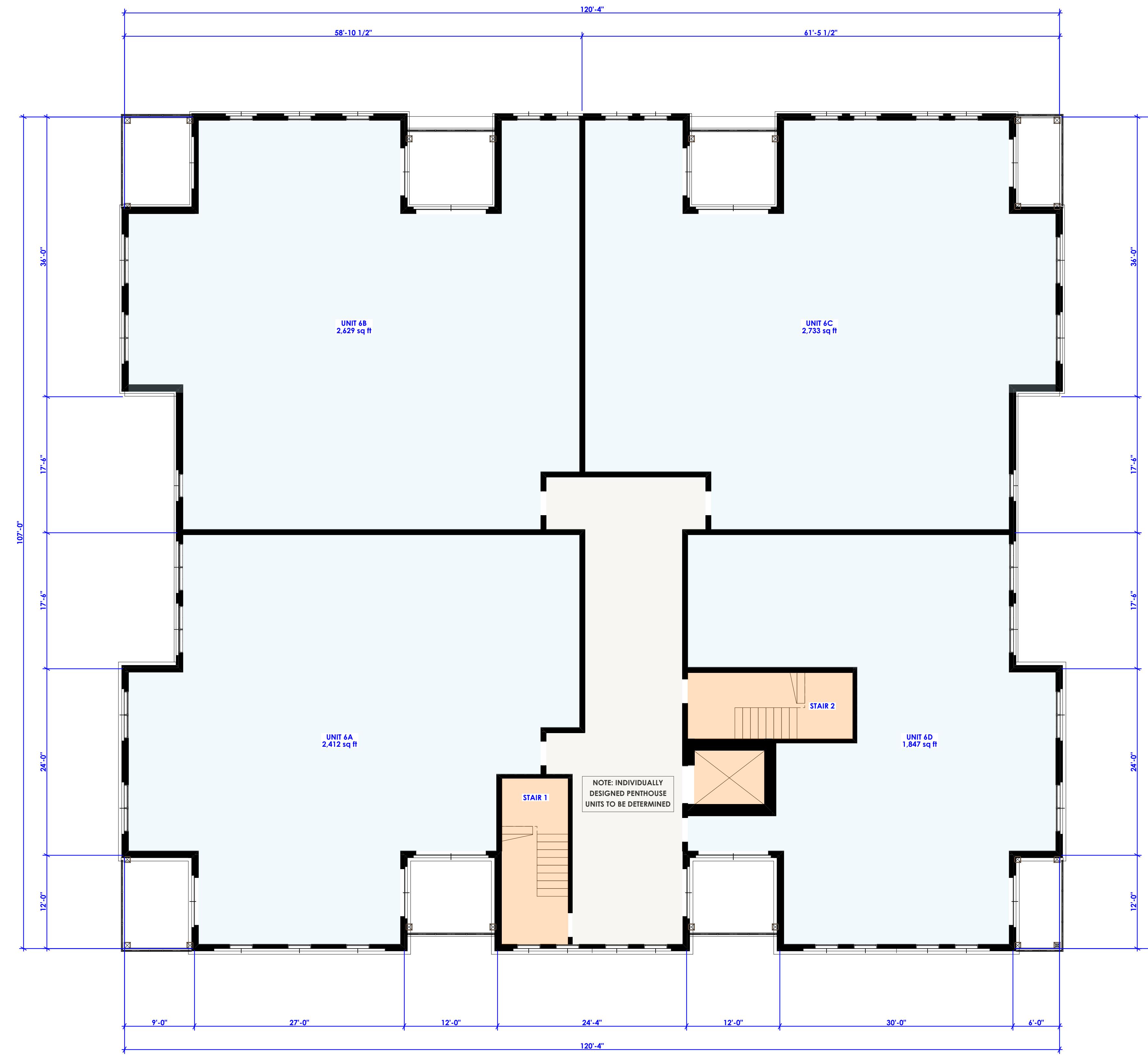


**CONDO TOWERS
FLOORS 4-6. FLOOR 7 TO
BE CUSTOM DESIGNED
WHEN PURCHASED**



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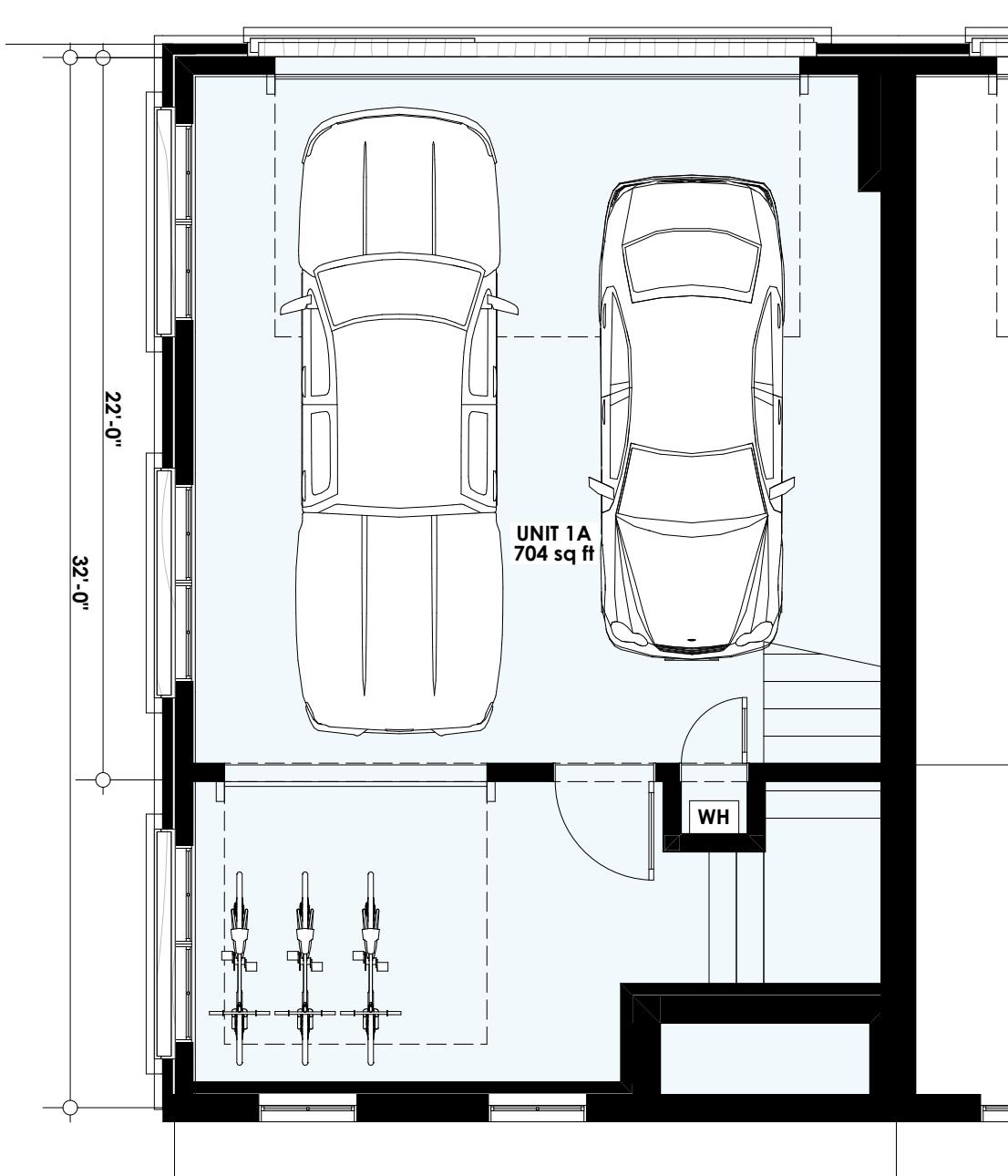




EAST ELEVATION: 7 UNIT TOWNHOME

Scale: 1/16" = 1'-0"

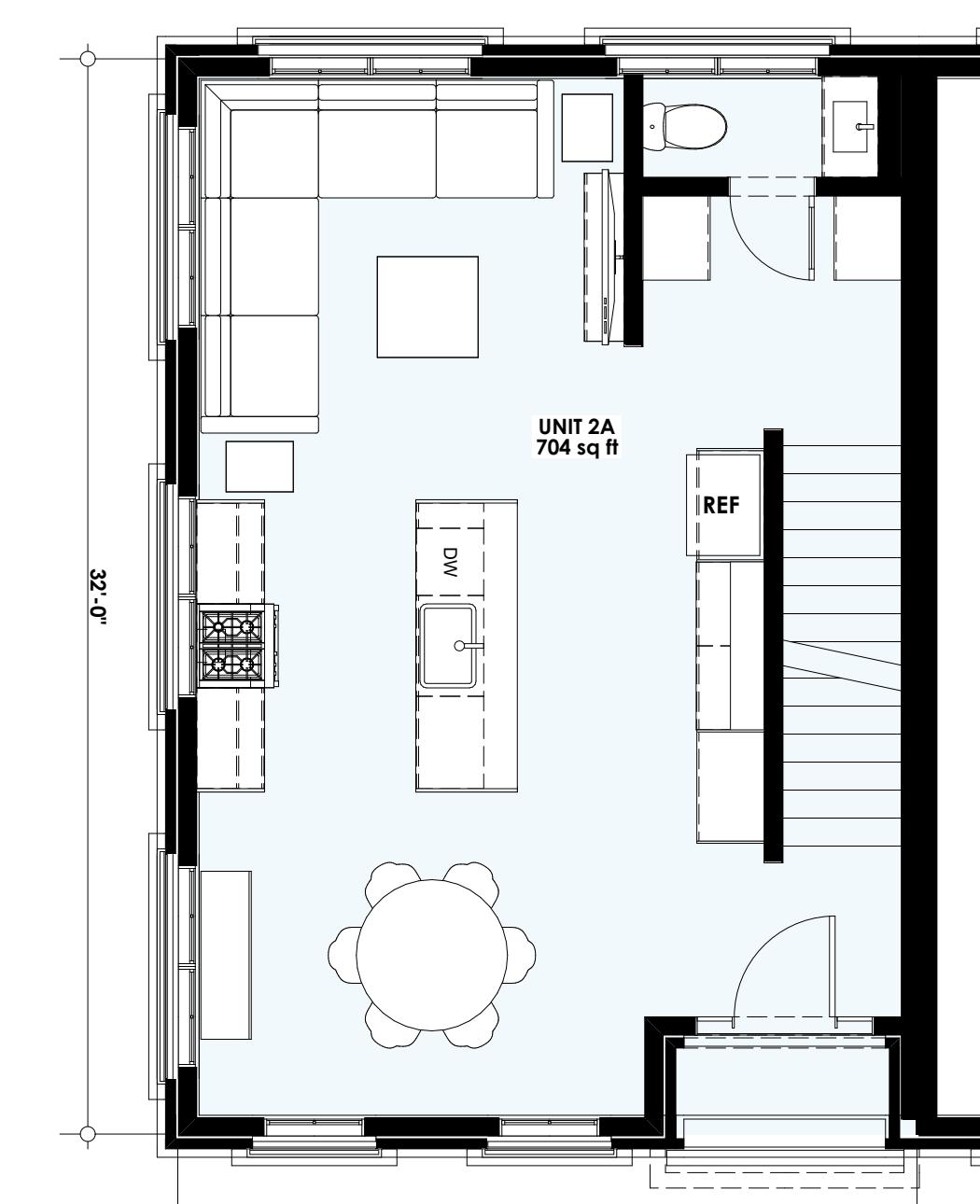
4A



FLOOR PLATE - LEVEL 1

Scale: 3/16" = 1'-0"

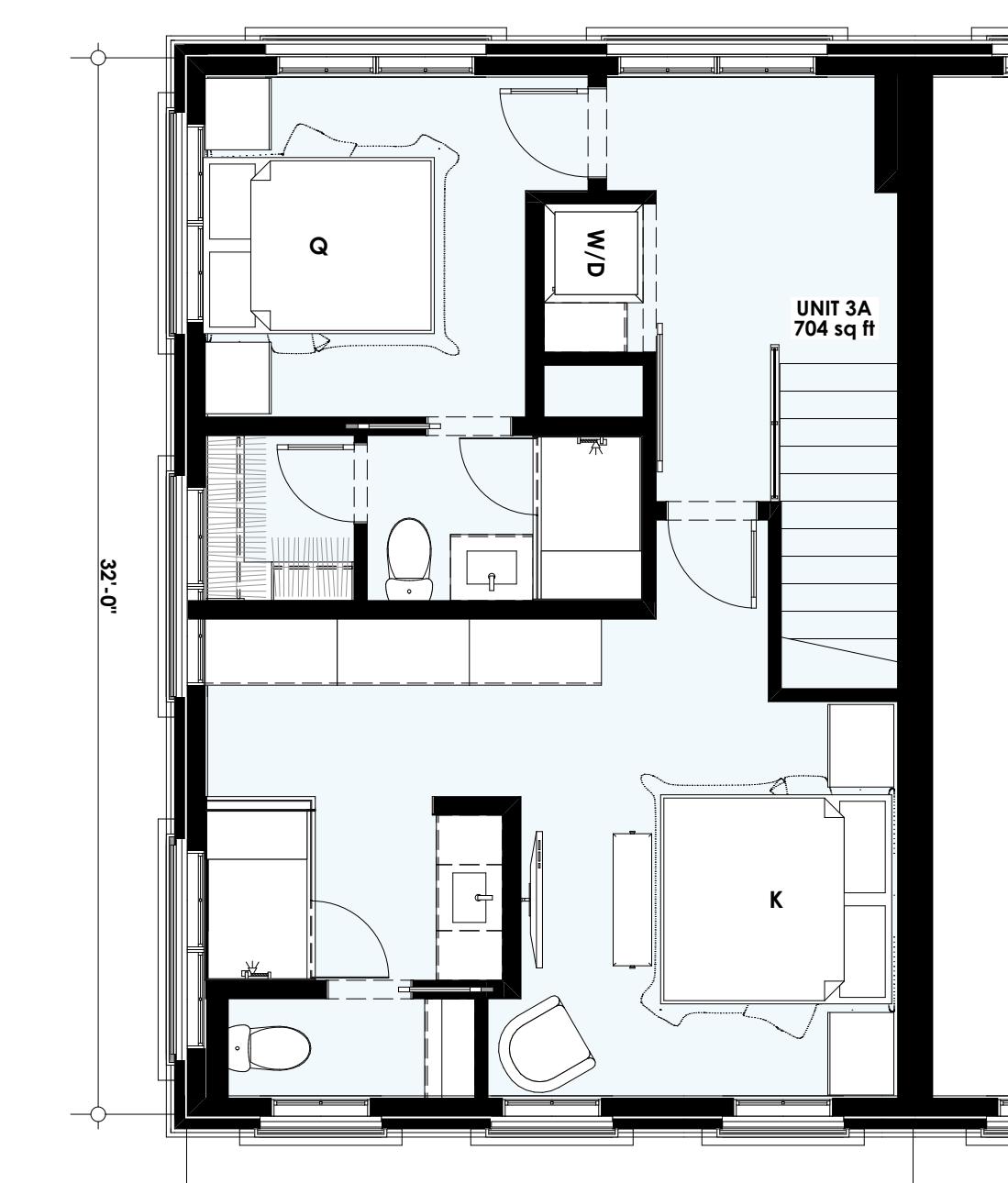
1D



FLOOR PLATE - LEVEL 2

Scale: 3/16" = 1'-0"

1C



FLOOR PLATE - LEVEL 3

Scale: 3/16" = 1'-0"

1A

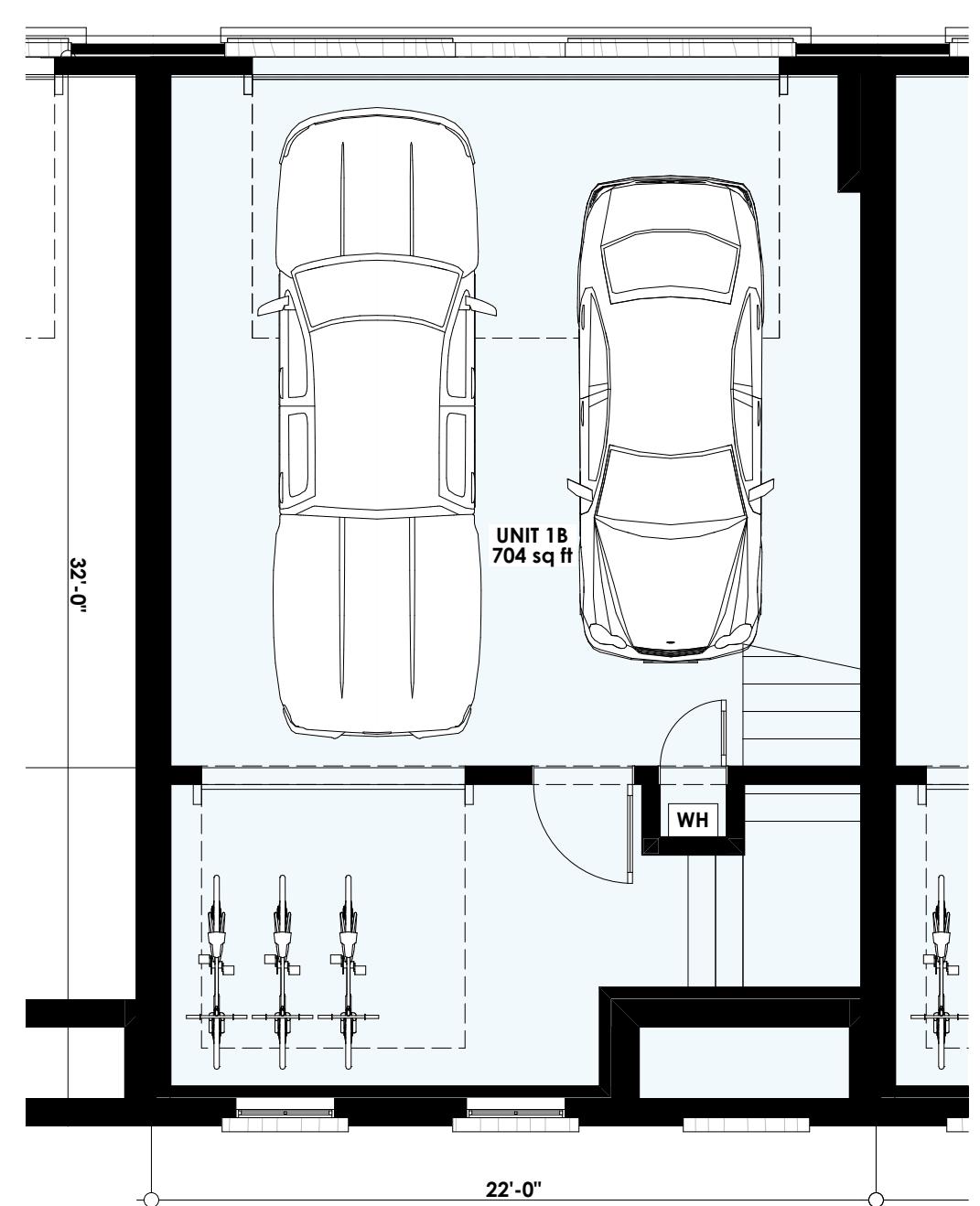
N



EAST ELEVATION: 7 UNIT TOWNHOME

Scale: 1/16" = 1'-0"

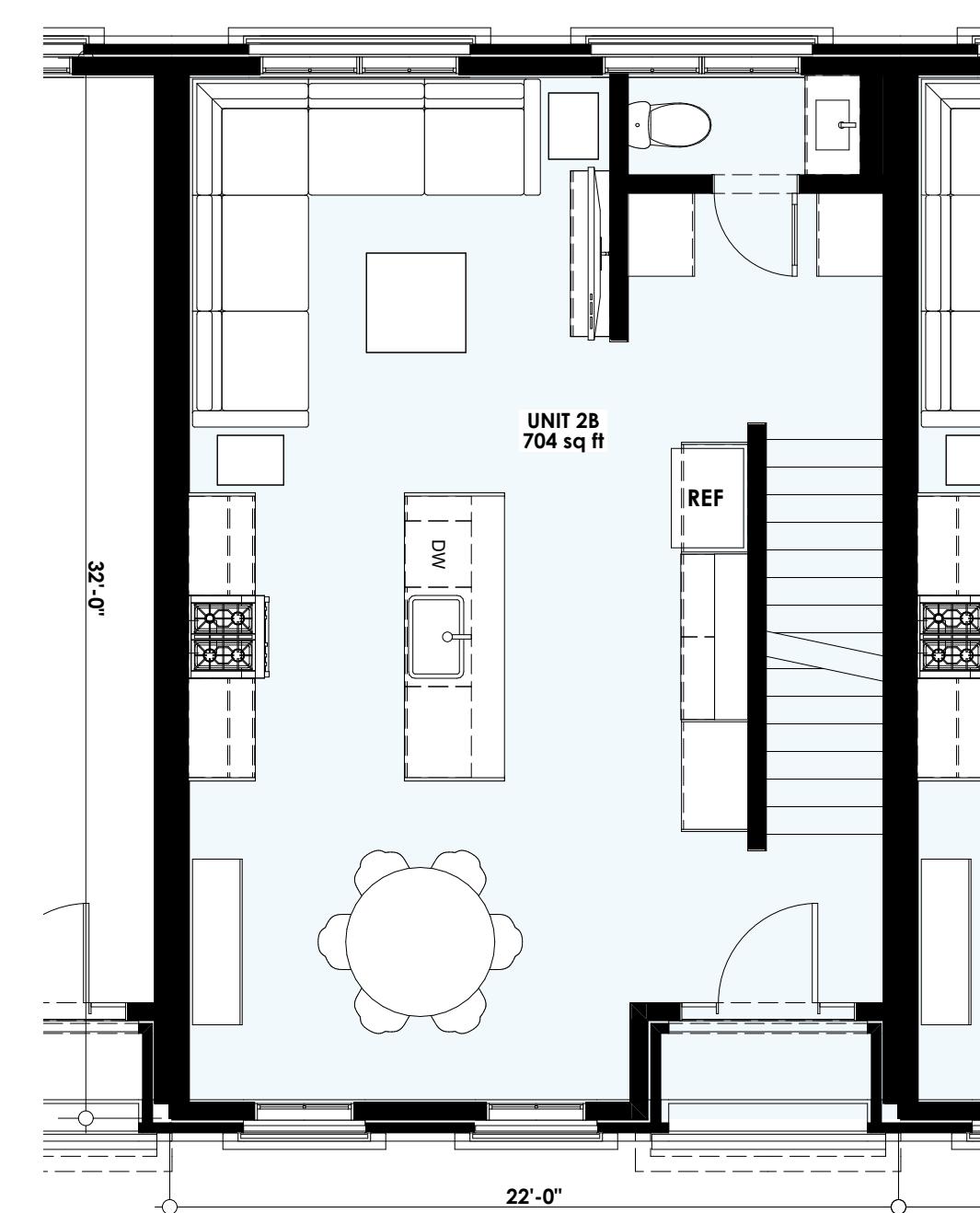
4A



FLOOR PLATE - LEVEL 1

Scale: 3/16" = 1'-0"

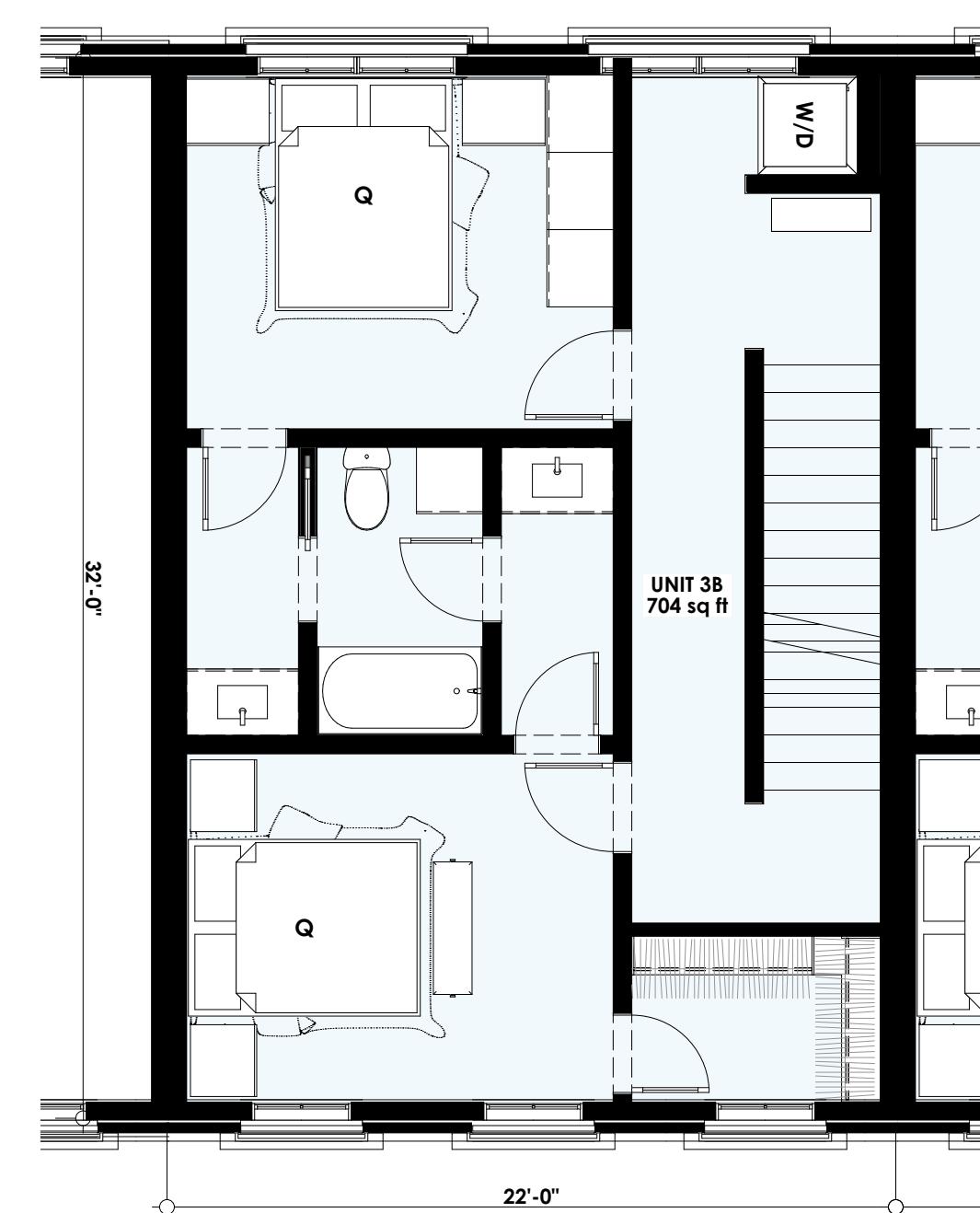
1E



FLOOR PLATE - LEVEL 2

Scale: 3/16" = 1'-0"

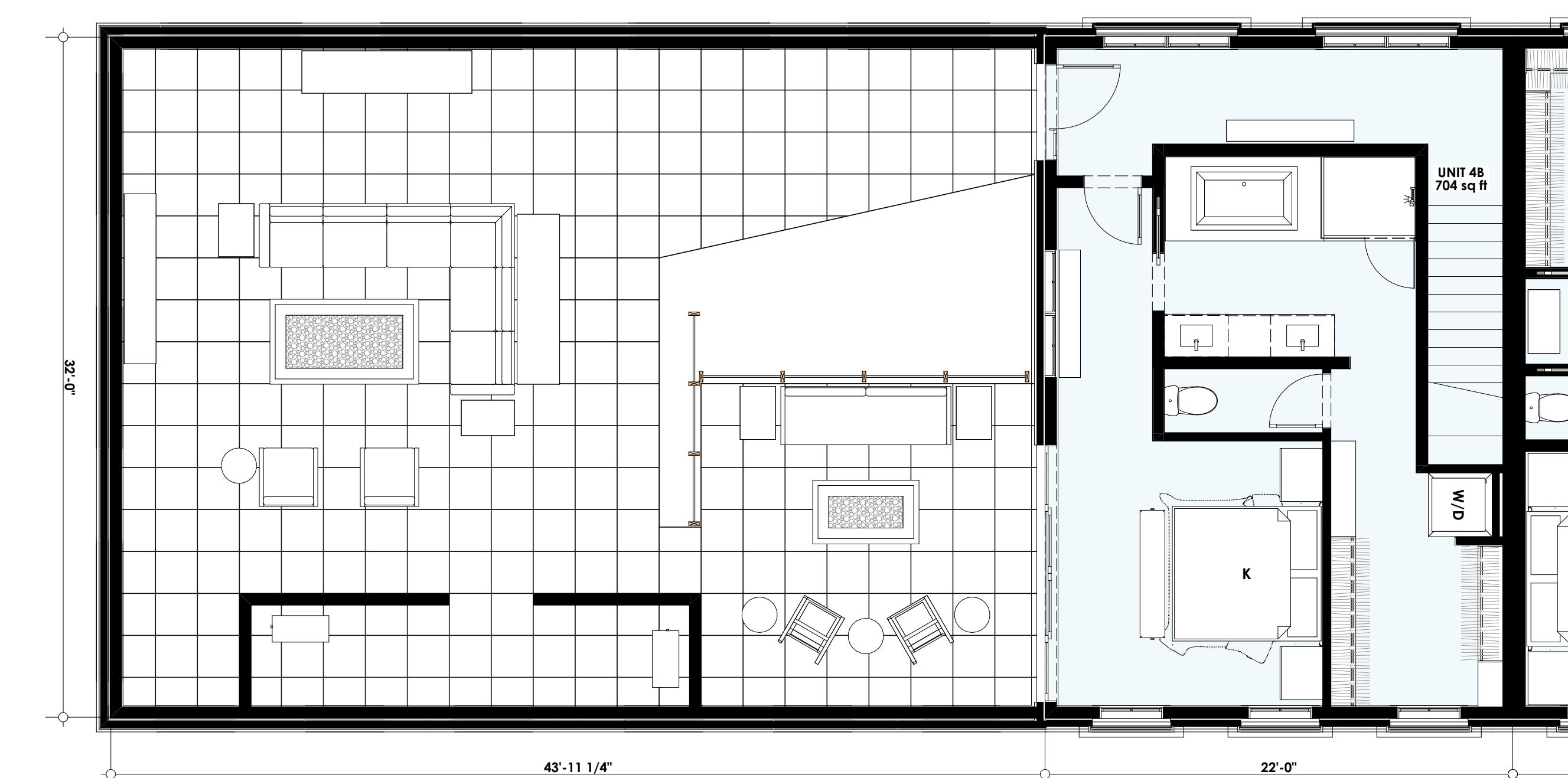
1D



FLOOR PLATE - LEVEL 3

Scale: 3/16" = 1'-0"

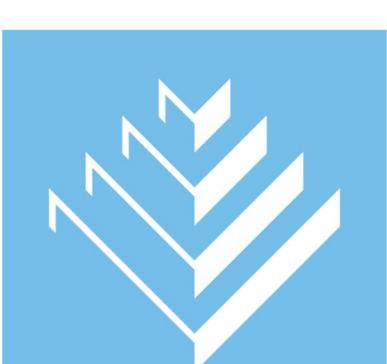
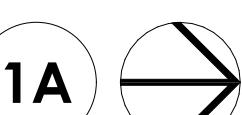
1C



FLOOR PLATE - LEVEL 4

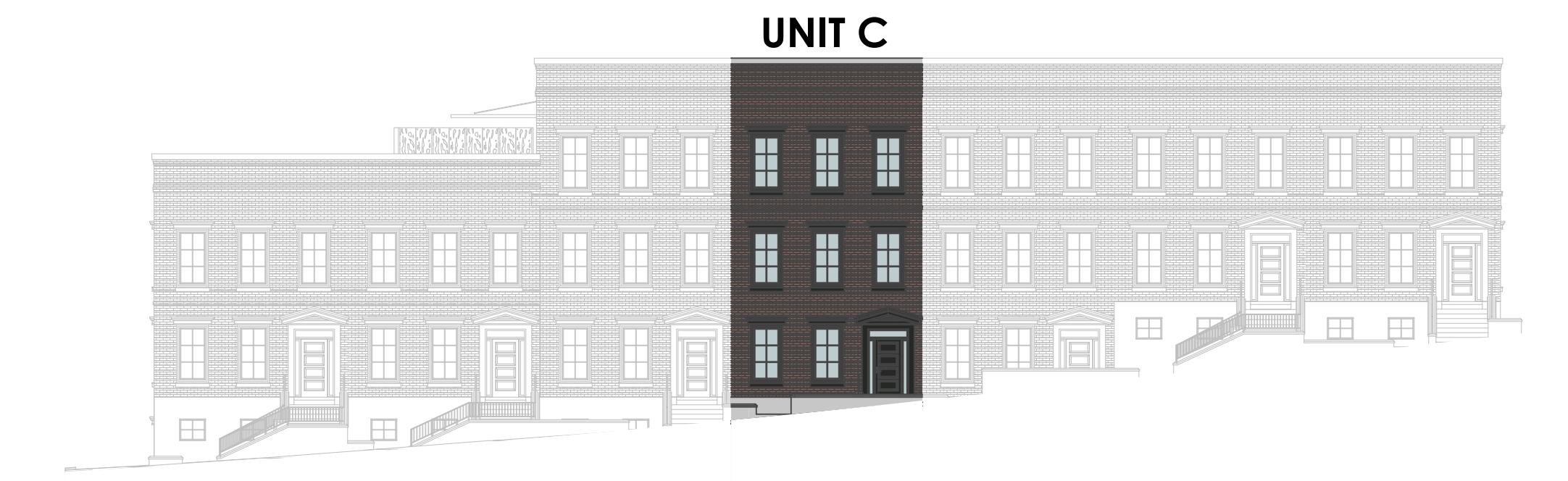
Scale: 3/16" = 1'-0"

1A



TRIUMPH
DESIGN BUILD

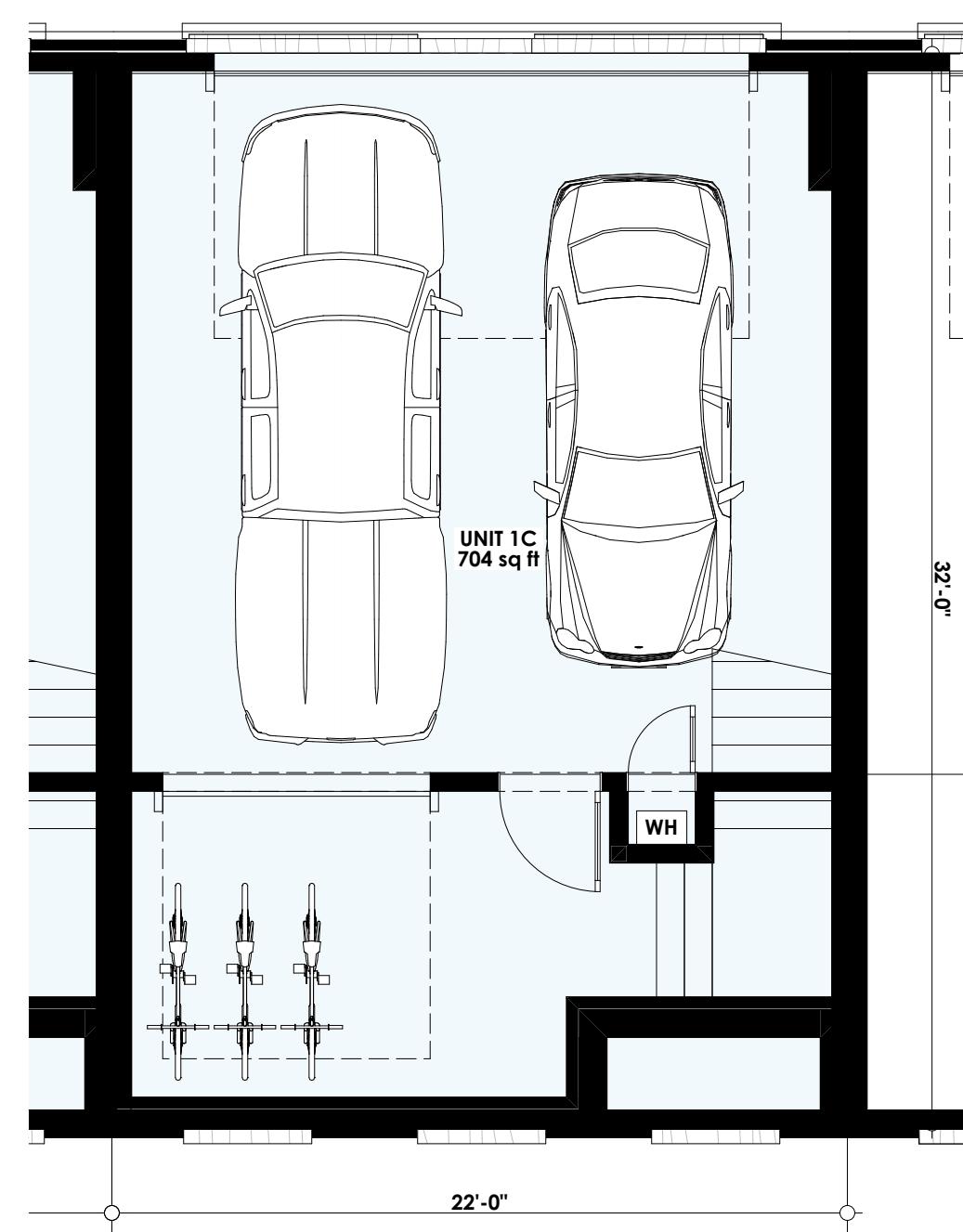
SALT LAKE CITY
5151 S 900 E, SUITE 250
84117, UTAH
T: 801 269 1508 E: projects@arcflo.com



EAST ELEVATION: 7 UNIT TOWNHOME

Scale: 1/16" = 1'-0"

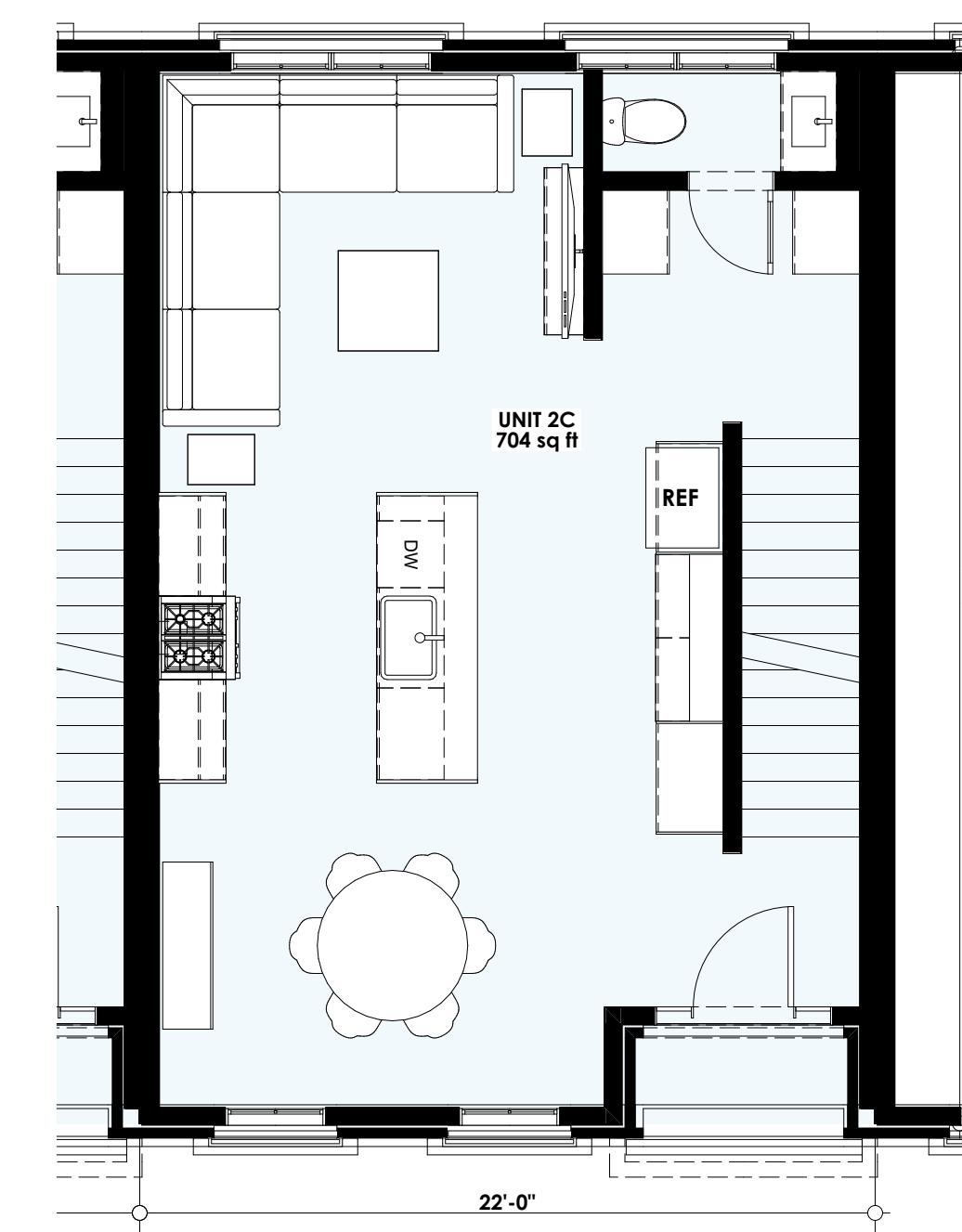
4A



FLOOR PLATE - LEVEL 1

Scale: 3/16" = 1'-0"

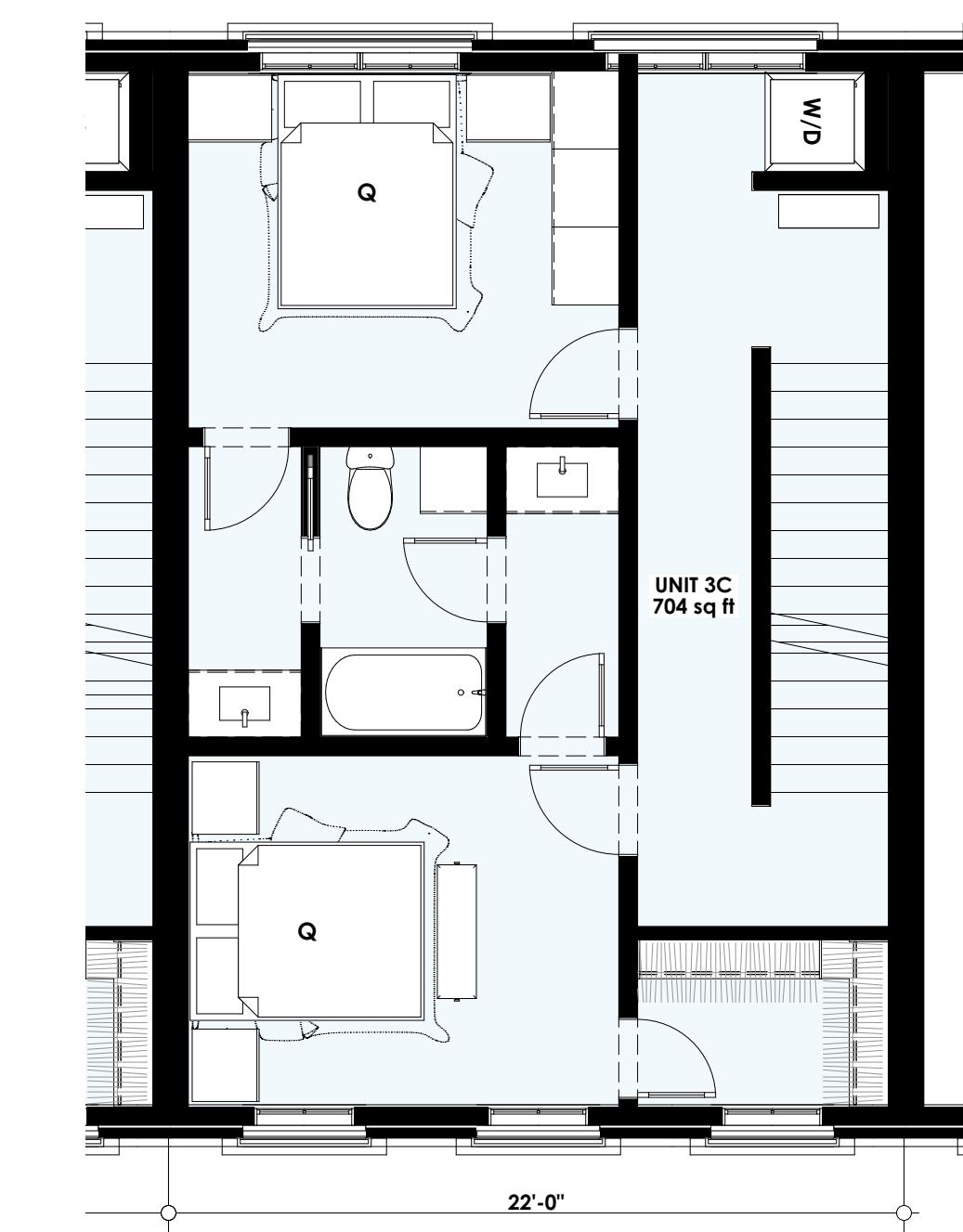
1D



FLOOR PLATE - LEVEL 2

Scale: 3/16" = 1'-0"

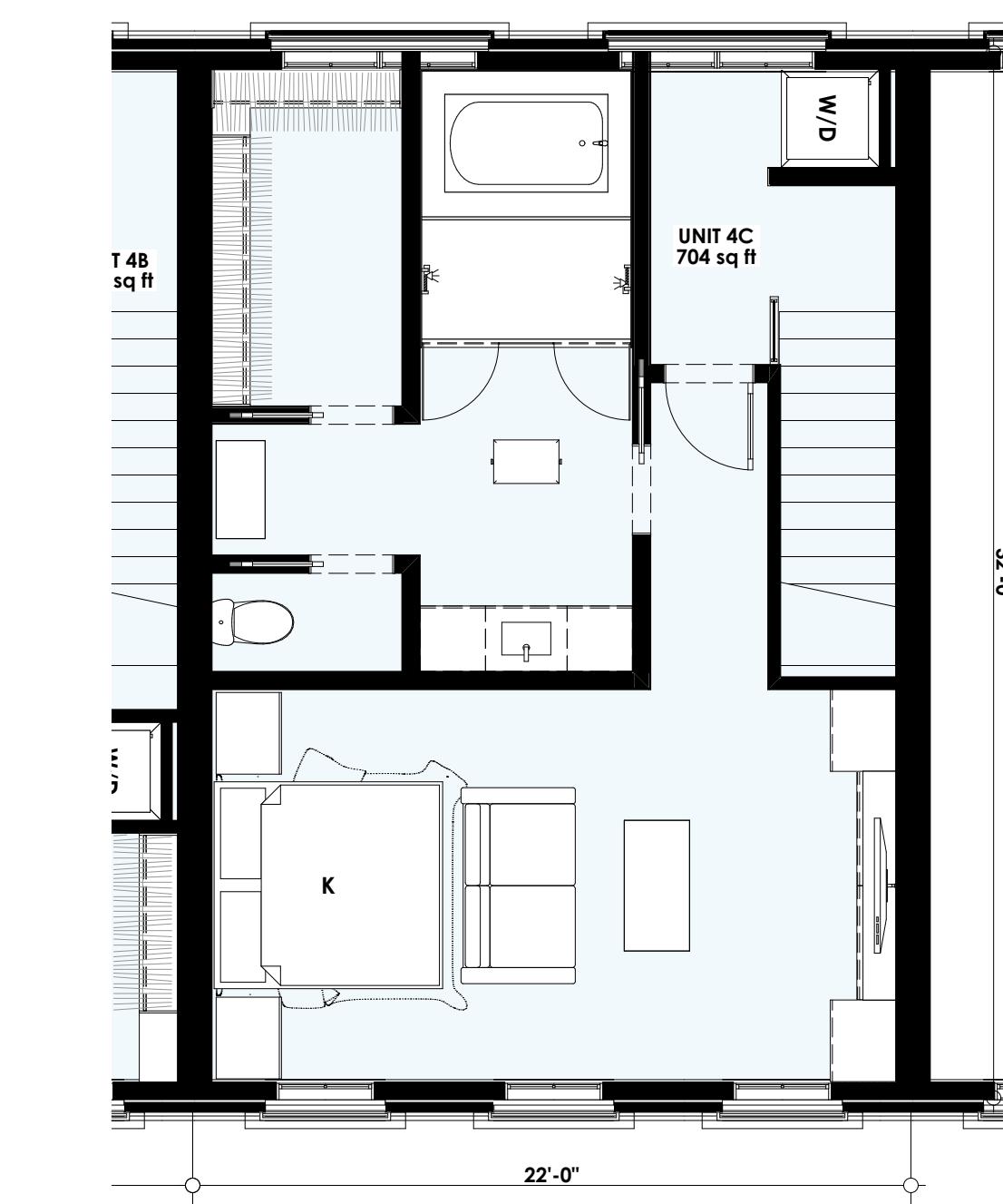
1C



FLOOR PLATE - LEVEL 3

Scale: 3/16" = 1'-0"

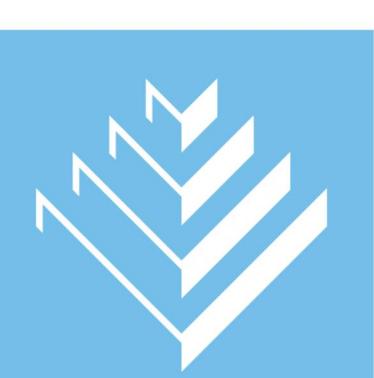
1B



FLOOR PLATE - LEVEL 4

Scale: 3/16" = 1'-0"

1A



TRIUMPH
DESIGN BUILD

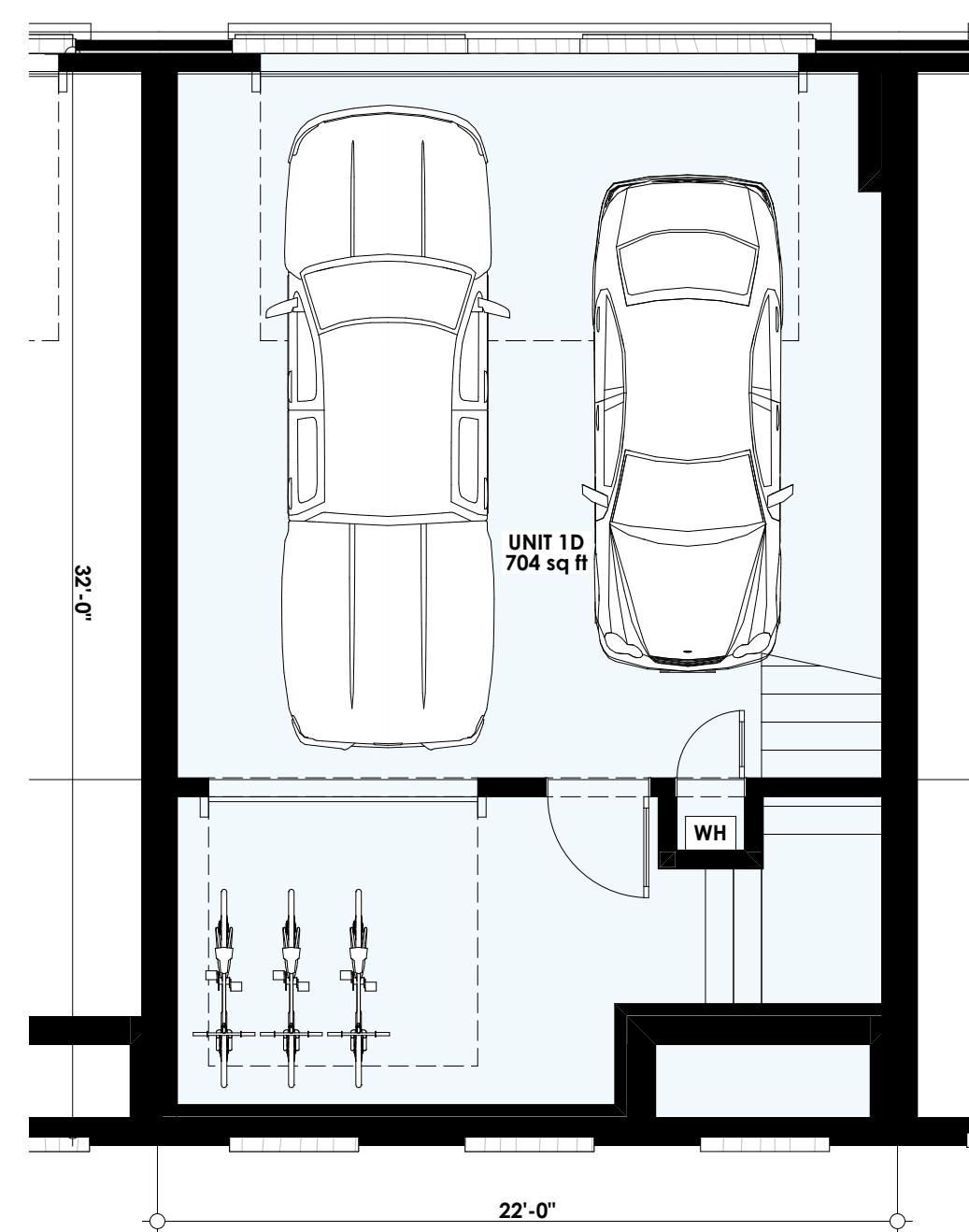
SALT LAKE CITY
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84117, UTAH
T: 801 269 1508 E: projects@arcflo.com



EAST ELEVATION: 7 UNIT TOWNHOME

Scale: 1/16" = 1'-0"

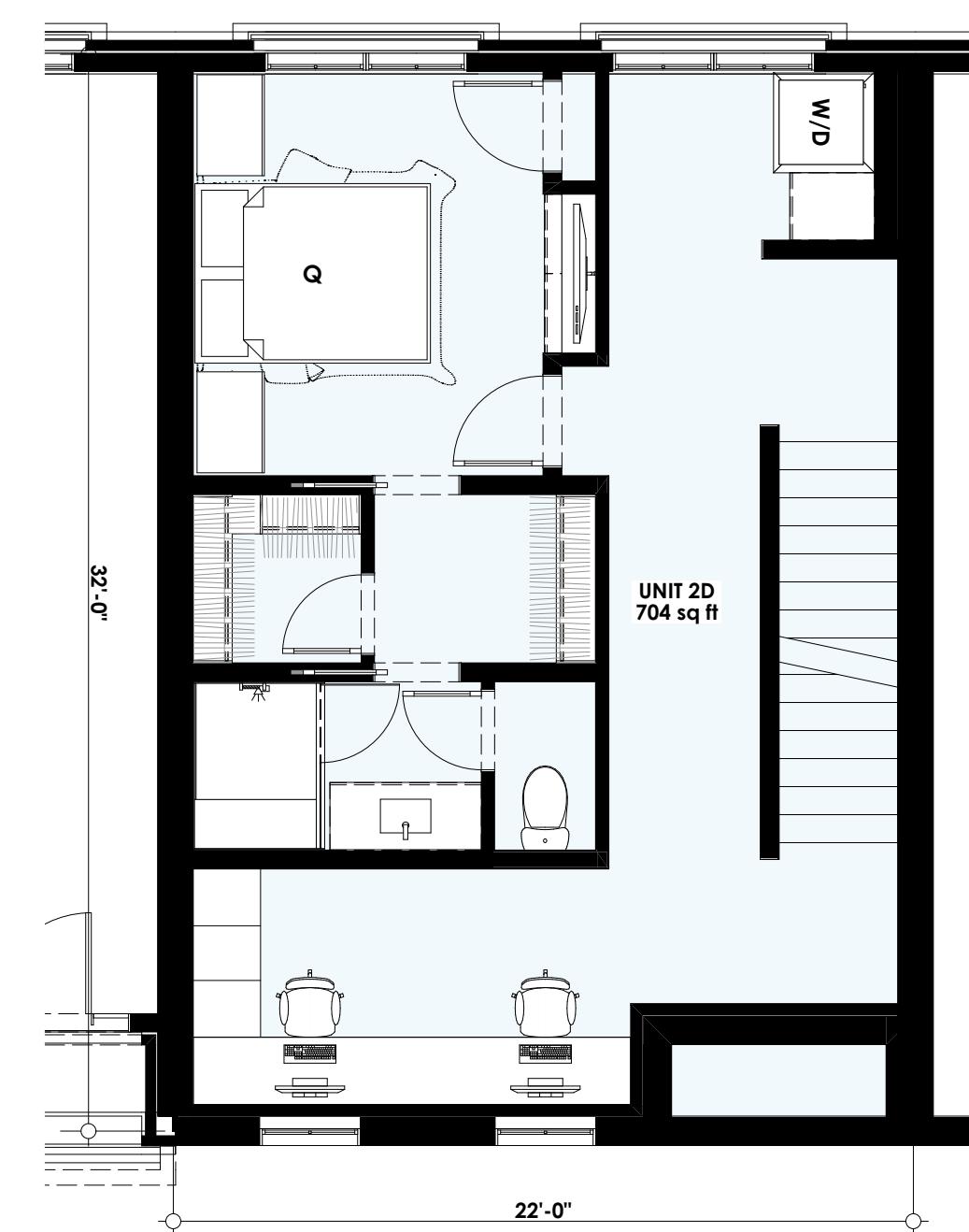
4A



FLOOR PLATE - LEVEL 1

Scale: 3/16" = 1'-0"

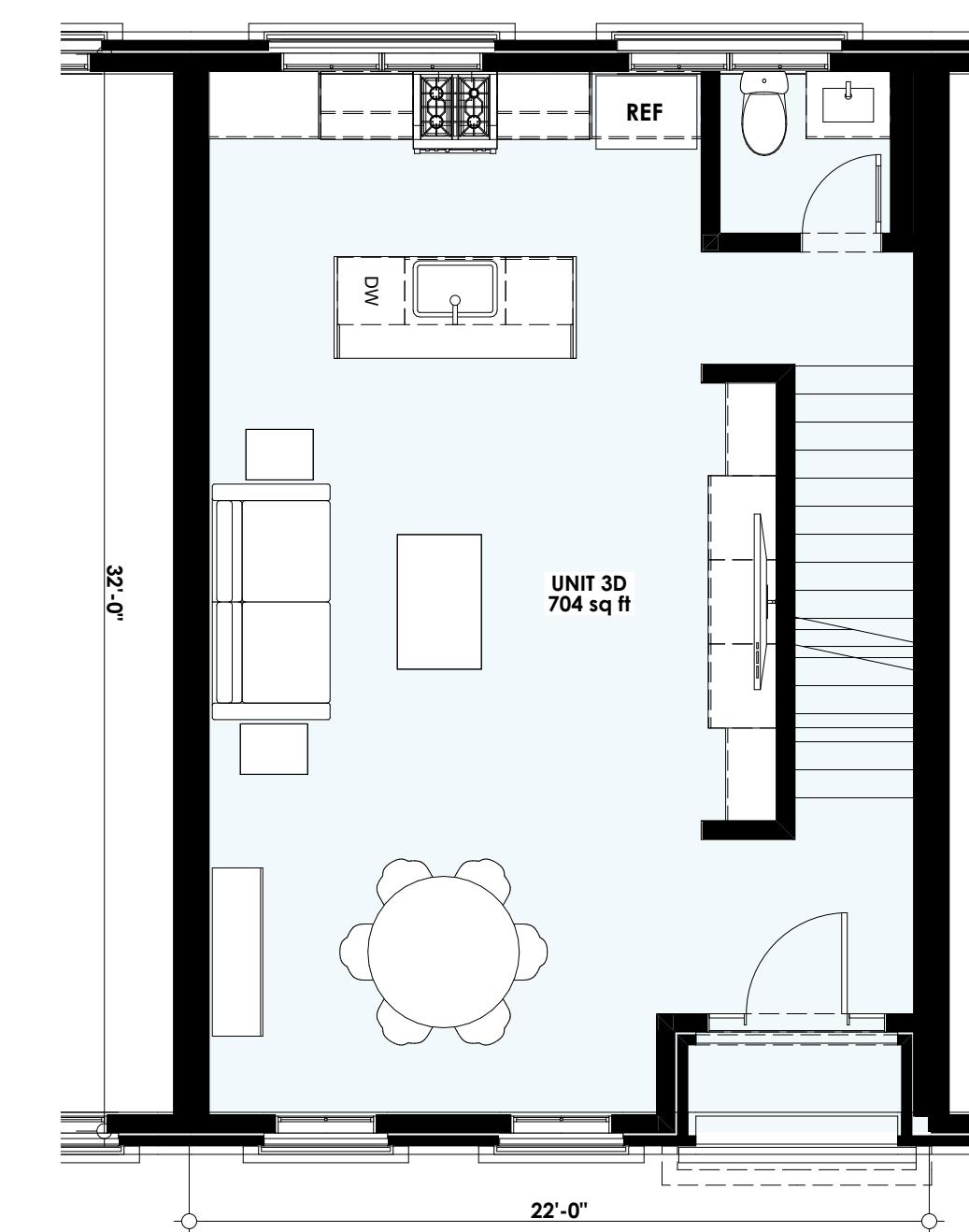
1D



FLOOR PLATE - LEVEL 2

Scale: 3/16" = 1'-0"

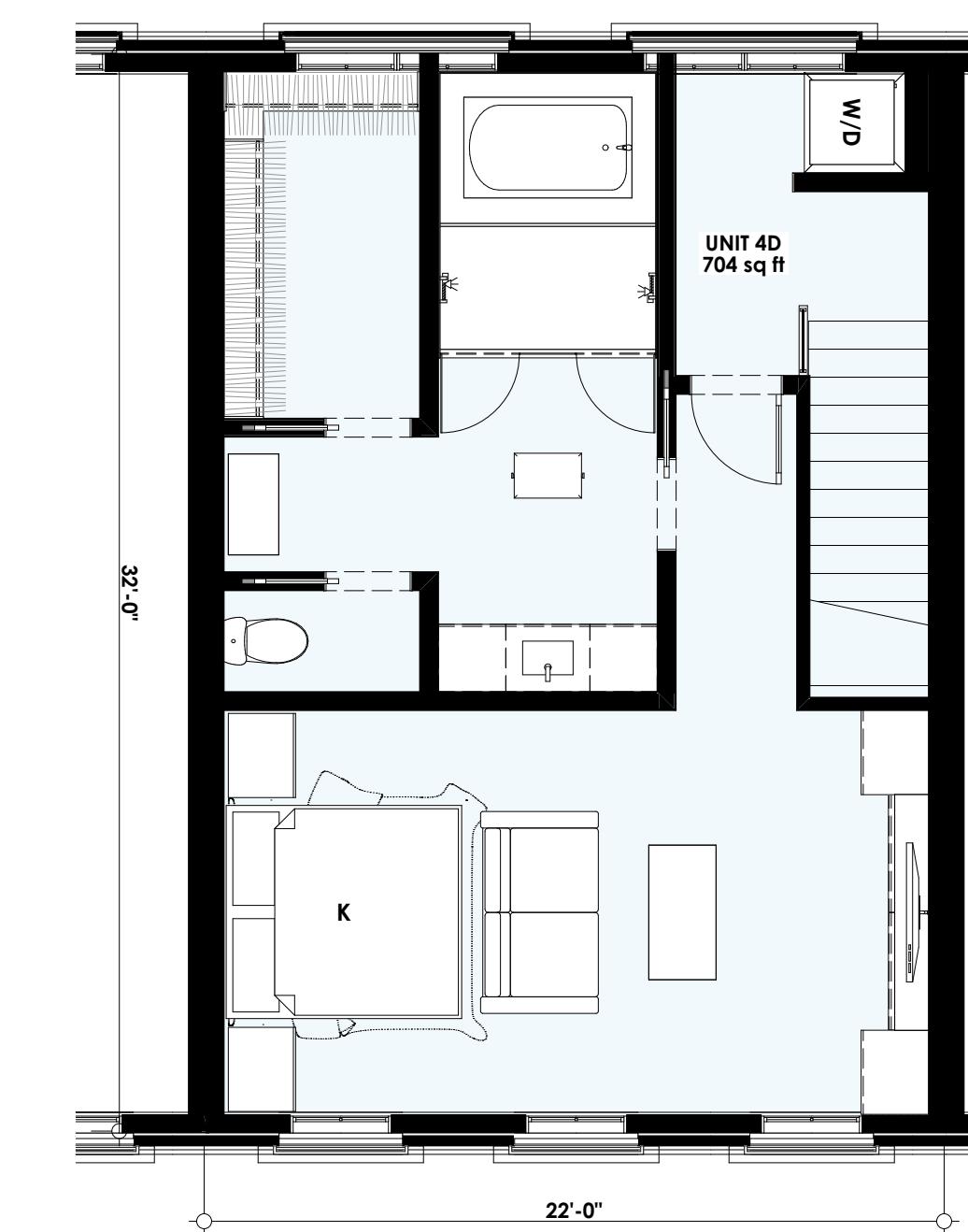
1C



FLOOR PLATE - LEVEL 3

Scale: 3/16" = 1'-0"

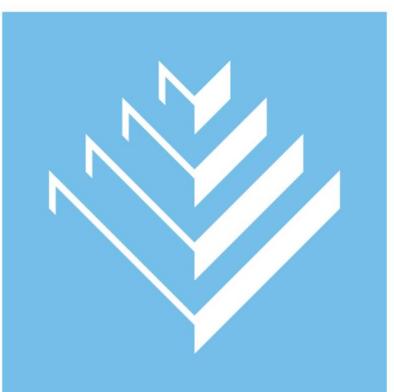
1B



FLOOR PLATE - LEVEL 4

Scale: 3/16" = 1'-0"

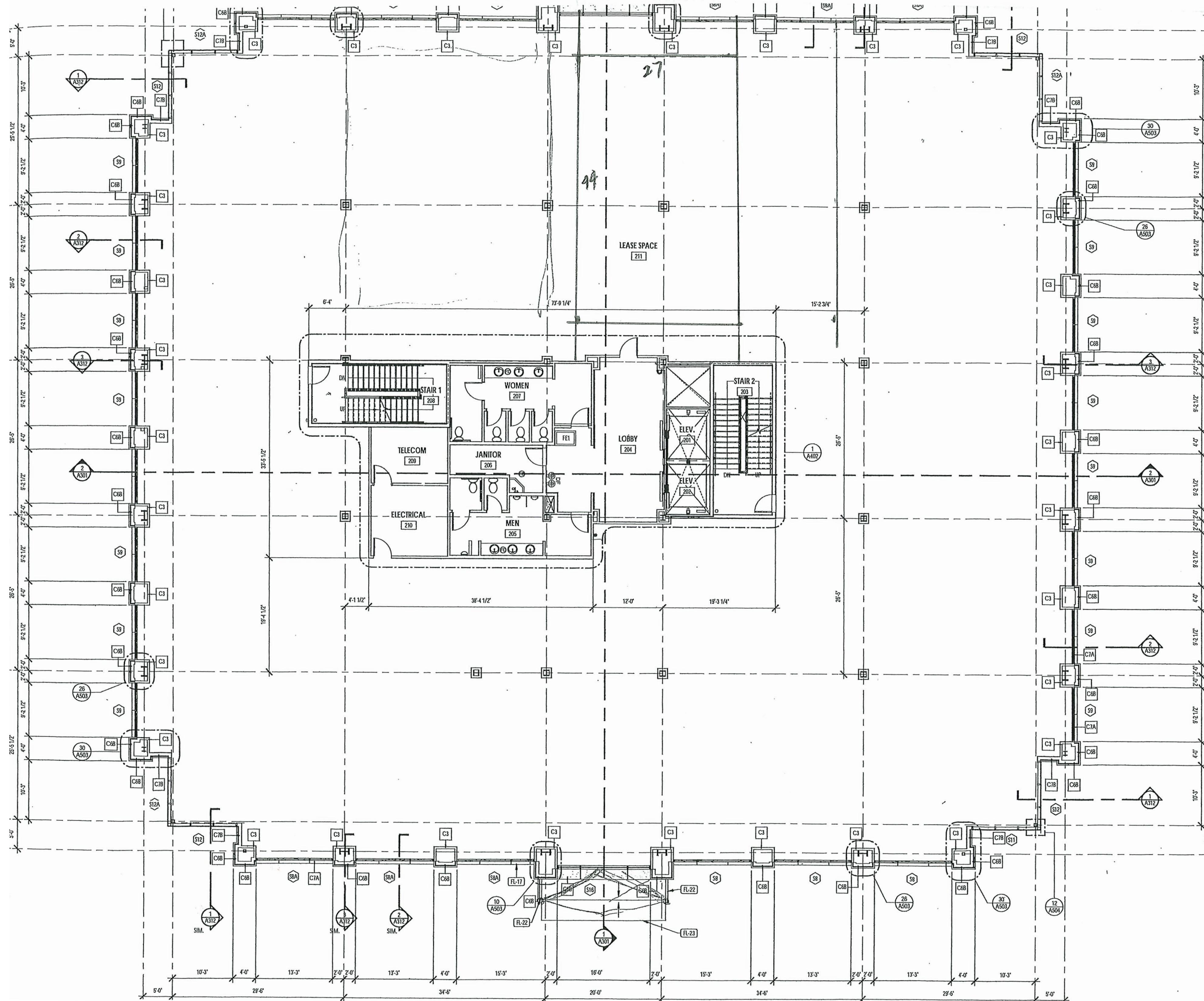
1A



TRIUMPH

DESIGN BUILD

SALT LAKE CITY



TYPICAL MEDICAL OFFICE FLOOR PLAN

Scale: 3/32" = 1'

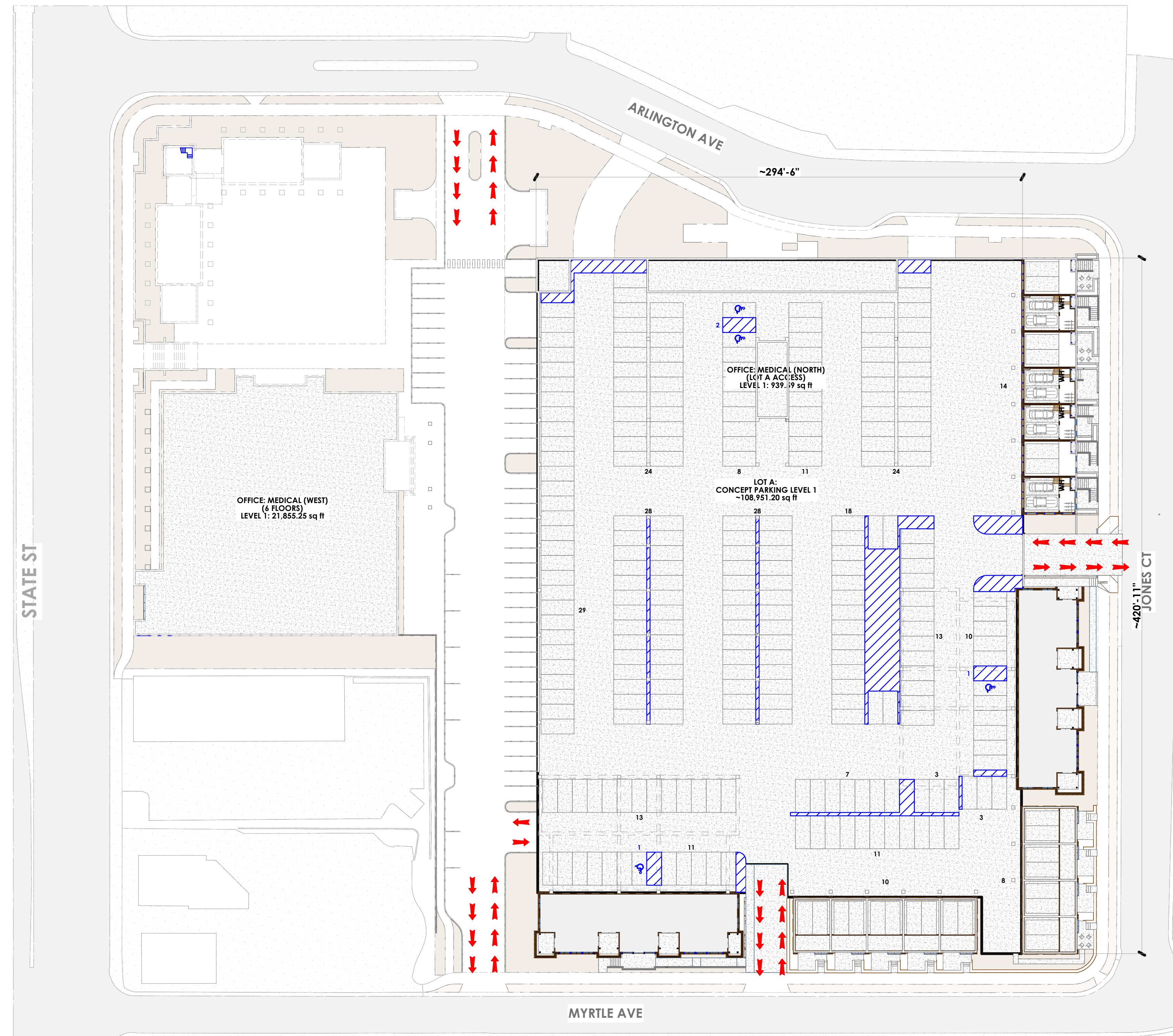
E 1

TYPICAL MEDICAL OFFICE CORE AND SHELL FLOOR PLAN

TYPICAL MEDICAL OFFICE FLOOR PLATE

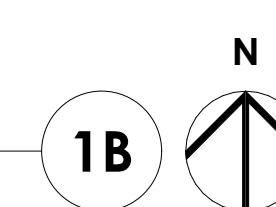
5/13/2025

A-38

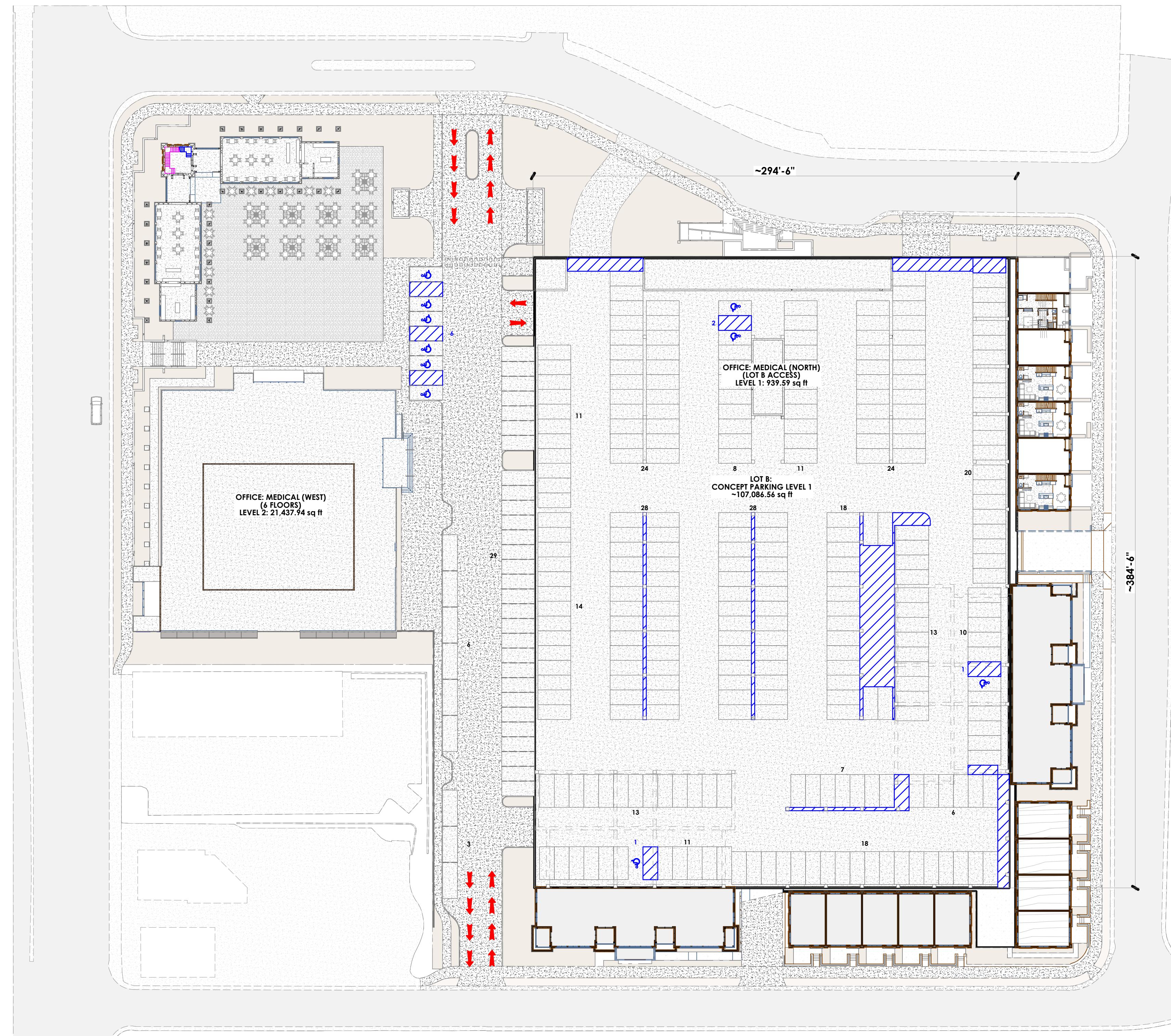


CONCEPT SITE - LEVEL 1 PARKING

Scale: 1" = 40'



LEVEL-1 BASEMENT LEVEL		REGULAR	ADA
LOT A		29	2
		24	1
		8	1
		11	0
		24	0
		18	0
		28	0
		28	0
		13	0
		11	0
		7	0
		11	3
		3	3
		10	13
		13	14
		14	8
		8	10
TOTAL (LEVEL 1):		273	4
TOTAL PROVIDED STALLS		277	
GRAND TOTAL:	822	18	840 stalls



CONCEPT SITE - LEVEL 2 PARKING

Scale: 1" = 40'

1B

PARKING DECK - Level 2			
LOT B	REGULAR	ADA	
	11	0	
	24	0	
	8	2	
	11	0	
	24	0	
	20	0	
	14	0	
	28	0	
	28	0	
	18	0	
	13	0	
	10	1	
	6		
	7		
	18		
	11		
	13	1	
TOTAL (LOT B):	264	4	268
<hr/>			
2ND LEVEL SPINE			
LOT E	REGULAR	ADA	
	29	0	
	6	0	
	3	0	
	0	0	
	0	0	
	0	0	
	0	0	
	0	0	
	0	0	
	0	0	
	0	0	
	0	0	
	0	0	
	0	0	
	0	0	
	0	0	
	0	0	
	0	0	
	0	0	
	0	0	
	0	0	
TOTAL (LOT E):	38	0	38
<hr/>			
2ND LEVEL RESTAURANT PLAZA			
LOT D	REGULAR	ADA	
	0	6	
	0	0	
	0	0	
	0	0	
	0	0	
	0	0	
	0	0	
	0	0	
	0	0	
	0	0	
	0	0	
	0	0	
	0	0	
	0	0	
	0	0	
	0	0	
TOTAL (LOT D):	0	6	6
<hr/>			
GRAND TOTAL:	REGULAR	ADA	TOTAL PROVIDED STALLS
	822	18	840 stalls



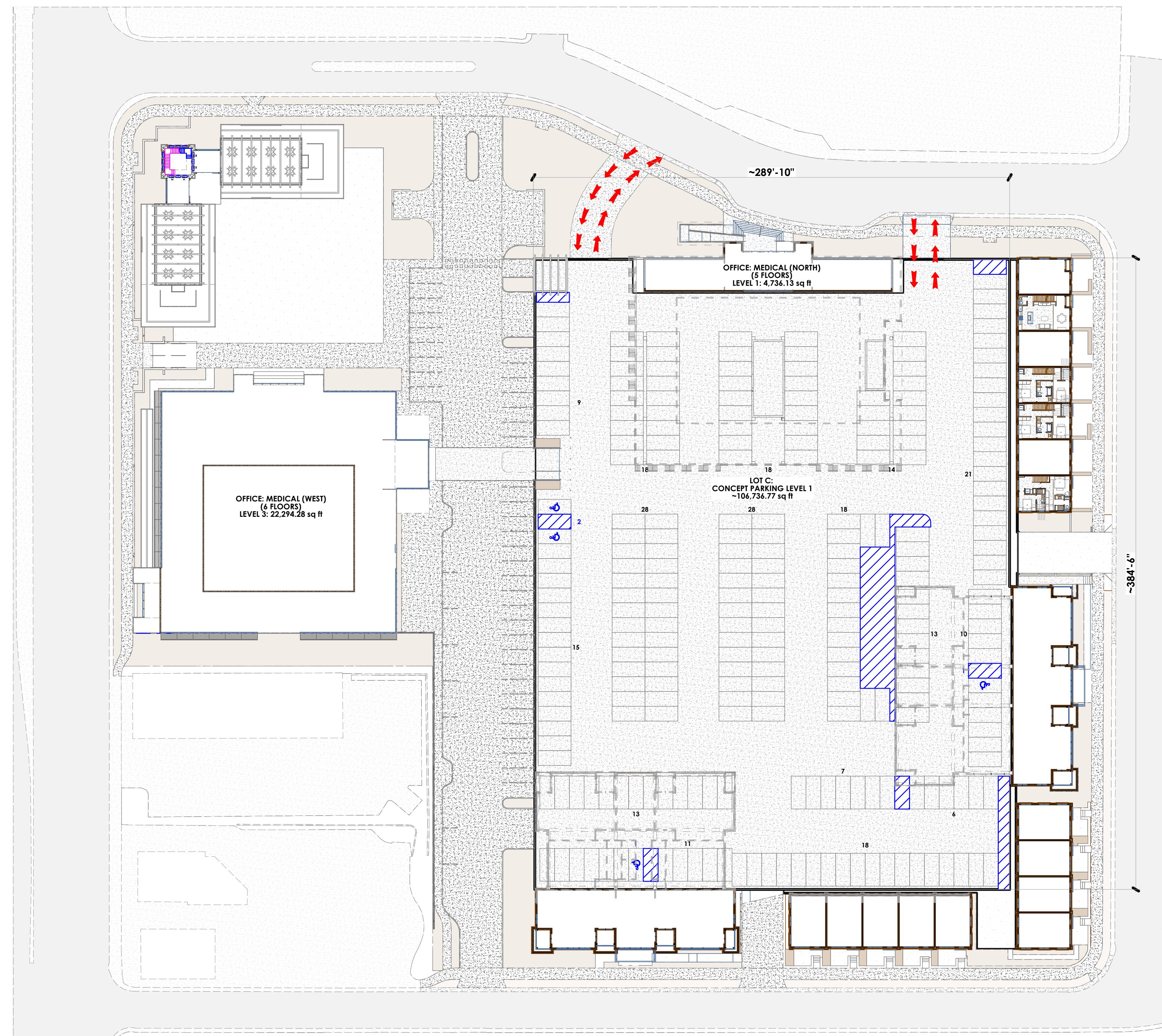
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84117, UTAH
T: 801.360.1500 E: projects@coreflect.com

© 2005 ABCN

CONCEPT PARKING STUDY - LEVEL 2

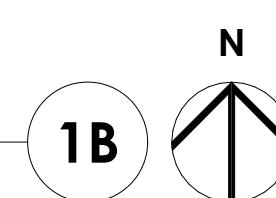
5 / 12 / 2005

142

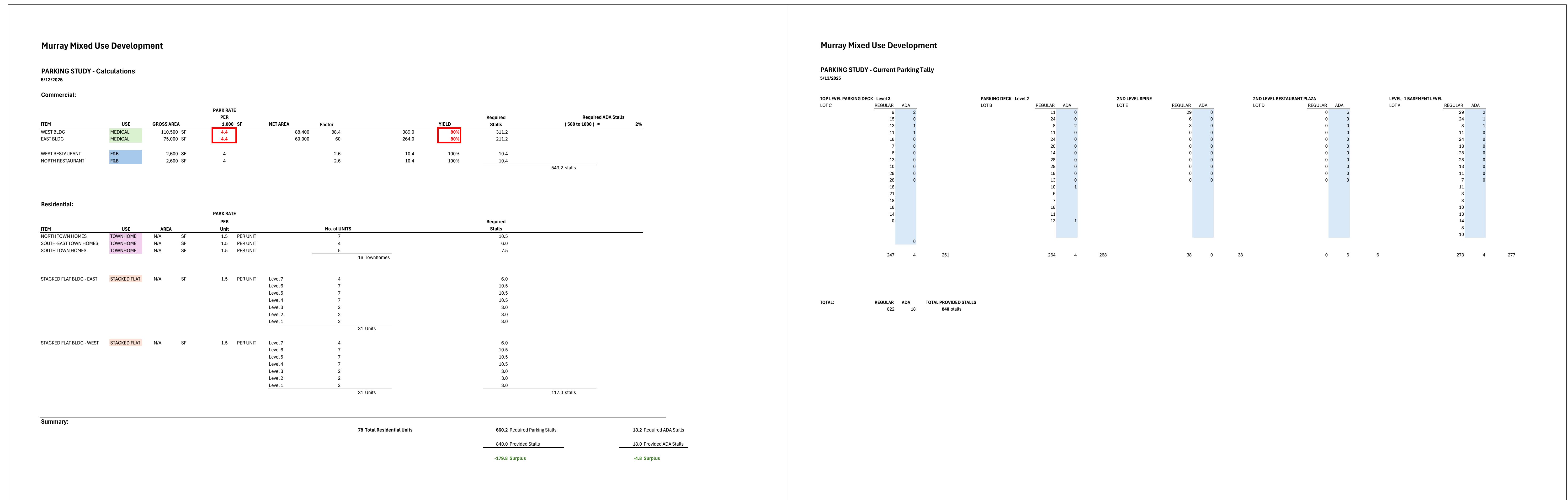


CONCEPT SITE - LEVEL 3 PARKING

Scale: 1" = 40'



LOT C	TOP LEVEL PARKING DECK - Level 3	
	REGULAR	ADA
9	2	
15	0	
13	1	
11	1	
18	0	
7	0	
6	0	
13	0	
10	0	
28	0	
28	0	
18	0	
21	0	
18	0	
18	0	
14	0	
		0
TOTAL (LOT C):	247	4
		251
GRAND TOTAL:	822	18
		840 stalls





AGENDA ITEM # 5 Amy Blackwell

ITEM TYPE:	Text Amendment		
ADDRESS:	Citywide	MEETING DATE:	July 3 rd , 2025
APPLICANT:	Amy Blackwell	STAFF:	David Rodgers, Senior Planner
PARCEL ID:	N/A	PROJECT NUMBER:	25-031
REQUEST:	Amy Blackwell is requesting an amendment to the Major Home Occupation Ordinance to allow up to 16 children at an in-home childcare.		

I. STAFF REVIEW & ANALYSIS

History & Background

Amy Blackwell, owner of Miss Amy's Daycare is requesting an amendment to the number of children which are permitted for an in-home childcare within Murray City. In November of 2023, the Utah Division of Licensing and Background Checks increased the number of children permitted at an in-home daycare within the state of the Utah from twelve (12) to sixteen (16). This request will bring Murray to the maximum number permitted per state law.

Staff discussed the appetite for this proposal with the Murray City Council at the Committee of the Whole meeting on June 3rd, 2025. The Council indicated a willingness to have the conversation and as such this application is being brought forward. Several of the updated provisions of this chapter are similar to those of surrounding cities, which staff used to draft code language that would fit the nature of Murray City. Several of these provisions have been addressed when a Conditional Use Permit is requested for an in-home childcare, but these amendments will allow staff to ensure that they are being met for all in-home childcare facilities.

Review of Proposed Changes

The applicant has worked with staff to propose an amendment that would add subsection C to Murray Code Section 17.24.050 Major Home Occupations. This language details the requirements to have up to sixteen (16) children at an in-home day care and is as follows:

C. Residential Child Day Care. Residential child day care may be allowed as a major home occupation in accordance with the standards in this Chapter 17.24, and the following:

- 1) Residential child day care means a home occupation that provides care for between nine and 16 qualified children at any given time, as defined in Utah State Code. The designated number of children includes the caregiver's own children that meet the state's definition of "qualified children," at the time the home occupation is conducted.
- 2) A secure outdoor play area is required for all residential child day care home occupations and shall comply with the following:
 - a. The play area shall be located in the rear and/or side yard of the dwelling.
 - b. The play area shall be secured by a well-maintained fence that is at least six feet in height with a self-latching gate.
 - c. The outdoor play area shall be maintained in good condition and landscaped.
 - d. The outdoor play area shall not be used by the residential child day care before 8:00 A.M. or after 8:00 P.M.
- 3) Notwithstanding the restrictions of section 17.24.040 daycare services shall be permitted to have the allowed number of employees as required by the state department of health.
- 4) One off street parking space for pick up and drop off when there are 1-8 children and two off street parking spaces when there are 9-16 children, and an additional off street parking space for each employee not residing in the dwelling.
- 5) Pickup and drop off of children shall be staggered to lessen neighborhood traffic.
- 6) One residential sign is allowed on the dwelling or lot.
- 7) The use shall comply with all local, state and federal laws and regulations.
- 8) Upon complaint that one or more of the requirements of this section or other city ordinance is being violated by a home daycare/preschool caregiver, the city shall review the complaint and, if substantiated, may initiate revocation proceedings in accordance with City Code.

Staff has also included for review updated use tables in all residential zones that allow in-home childcare and raised the maximum allowed number from twelve (12) to sixteen (16). This language is also included in the packet for review.

DEPARTMENT REVIEWS

The proposed addition to the permitted uses was provided to each department for their review. All departments recommended approval with no comments or concerns.

II. PUBLIC INPUT

Notices were sent to Affected Entities for this amendment. As of the date of this report, no comments have been received.

III. FINDINGS

Based on the analysis of the proposed amendment and review of the Murray City General

Plan, staff concludes the following:

1. The proposed text amendment promotes flexibility for small businesses to encourage more flexible activities as part of their business model.
2. The proposed text amendment has been reviewed to ensure that the health, safety, and general welfare of the community are maintained.
3. Staff finds that continuing to support Home Occupation businesses is supported by the General Plan.

IV. CONCLUSION/RECOMMENDATION

Based on the background, analysis, and the findings within this report, Staff recommends that the Planning Commission forward a recommendation of APPROVAL to the City Council for the proposed amendment to Section 17.24.050 adding subsection C and amending the Residential Zones to change the number of children permitted at an in-home childcare as reviewed in the Staff Report.

ZONING AMENDMENT APPLICATION

Type of Application(check one): Text Amendment: Map Amendment: _____

Applicant Information

Name: Amy M Blackwell DRA Miss Amy's Day Care
Mailing Address: 940 W Wadsworth Dr City: Murray State: UT ZIP: 84123
Phone #: 8012059658 Fax #: _____ Email Address: MissAmysDayCare1@gmail.com

Property Owner's Information (If different)

Name: Same
Mailing Address: _____ City: _____ State: _____ ZIP: _____
Phone #: _____ Fax #: _____ Email Address: _____

Application Information

For Map Amendments:

Property Address: Same
Parcel Identification (Sidwell) Number: _____
Parcel Area(acres): _____ Existing Zone: _____ Proposed: _____
Request Complies with General Plan: Yes: _____ No: _____

For Text Amendments:

Describe the request in detail (use additional pages, or attach narrative if necessary):

I run an in home licensed care since 2003
Currently Murray City's Maximum Child capacity is 12
children. we, the providers of Murray would like
Capacity to align with Child Care regulations DRC office
of licensing Child Care Guidelines R430-90.
Authorized Signature: Amber Jackson Date: 03-28-2025

For Office Use Only

Project Number: PZ-25-031 Date Accepted: 04/02/2024
Planner Assigned: Zac Smallwood

Property Owners Affidavit

Amy M Blackwell DBA

I (we) missamysdaycare, being first duly sworn, depose and say that I (we) am (are) the current owner of the property involved in this application: that I (we) have read the application and attached plans and other exhibits and are familiar with its contents; and that said contents are in all respects true and correct based upon my personal knowledge.

Amy M Blackwell
Owner's Signature

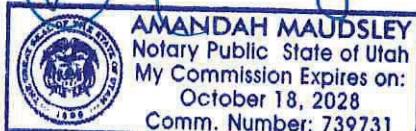
State of Utah

County of Salt Lake

Chad Blackwell
Owner's Signature (co-owner if any)

Subscribed and sworn to before me this 1 day of April, 20 25.

Maudsley
Notary Public



Residing in Murray City Hall
My commission expires: October 18, 2028

Agent Authorization

I (we), _____, the owner(s) of the real property located at _____, in Murray City, Utah, do hereby appoint _____, as my (our) agent to represent me (us) with regard to this application affecting the above described real property, and authorize _____ to appear on my (our) behalf before any City board or commission considering this application.

Owner's Signature

Owner's Signature (co-owner if any)

State of Utah

County of Salt Lake

On the _____ day of _____, 20 _____, personally appeared before me _____ the signer(s) of the above *Agent Authorization* who duly acknowledge to me that they executed the same.

Notary public

Residing in: _____

My commission expires: _____

Amy M. Blackwell dba
Miss Amys Day Care
940 West Walden Meadows Drive
Murray, Utah 84123

Murray City Planning Committee

Murray City Council
Murray City Hall
10 East 4800 South, Suite 260
Murray, Utah 84107-3724

It has been brought to our attention, the Daycare providers of Murray, Utah, that after being licensed for 3 years with the state of Utah DLBC Office of Licensing child care, with a ratio of 16 children with 2 providers, having established a strong loving relationship with families and children, we are now told we are to lower our ratio to 12 with 2 providers to comply with Murray, Utah code.

Understanding the state statute code which gives the DLBC office of Licensing Child Care authority to license programs, provider change to 16 was not clear, we were under the impression that all of Utah is now 16 children with 2 providers, providing however, 35sqft per child in the providers home. See rules: R430-90 Licensed Family Child Care, R430-90-9- Facility, R430-90-10 Ratios and group size.

It would be a hardship for parents who have been in our homes to find or look for another home for their child(ren)

It would also be devastatingly so sad for the children who have been with us the past 3 years to be sent to strangers, being taken from the one they know, love and trust to have to start over with new places and faces.

Once we have 9 children we are required to have a second care giver, which Murray City allows one employee.

It generally takes approx. 4 childcare children to cover the cost of an employee working 20 to 40 hours a week which in reality, puts our income as if we were caring for 8 children, providing we have 12 children in care or 5 children if we are caring for 9.

For us to generate more income, we would need 16 children plus one employee which puts our income at 12 children.

Murray City is allowing more multi family dwellings to be built, more people, more families, more children, these families will be looking for daycare, more daycares will be needed, children added to existing daycares, more people applying to start in home daycares if our current daycares are unable to care for more children.

The licensed in home daycares Murray has now are established, we have a name for ourselves, when our new families ask for good daycares we can proudly reference: Miss Amys Day Care has been in business for 23 years here in Murray, she is in good standing with the DLBC office of Licensing child care.

Five of my children that I have had in my care since birth are ready to move into Kindergarten this upcoming school year in our Murray school district.

I would love to be able to accept more children from our new Murray families, or my existing families who would like to grow their family. I am unable to do so with 12 children, I can keep your 3 year old, sadly your new born will need to go elsewhere, or I lose both children and lose income

we will have to turn families away to look in other cities for daycare, our new families will buy breakfast, coffees, dinners or go shopping in neighboring cities near their child's daycare before or after drop off or pick ups, our Murray businesses will lose money our Murray city sales tax will go to another city,

We want to keep Murray families in Murray spending money in our city a city we call home.

Murray Code 17.24 040 Home Occupation

C On site employee

One employee on site per residence at any one time.
Compliant

D off site employees

N/A

E Accessory use on property

% of home use
Compliant

F commodities and display for sale
N/A

G Group instruction/childcare
Compliant

H Multiple businesses at residence
N/A
Compliant

I Conformity with safety codes
Compliant

J Subject to inspections
Compliant

K Term of license
Compliant

L Vehicles
Compliant

M Trailers
N/A
Compliant

N Traffic – must be off street parking
My driveway may accommodate up to 6-8 vehicles, however, my property is adjacent to a field where there are no houses, where parking or traffic is not a hinderance, does not interfere with other houses/neighbors

O Approval Authority

P Neighborhood disruptions Not Permitted
Compliant

Q Storage of Dangerous Material
N/A
Compliant

17.24.050 Major Home Occupations

1. Hours of operation

Listed at 6:30am-5:30pm

2. Number of clients per day/hour

No more than 16 clients per day with staggering drop off and pick up times

6 of my clients are within walking distance

4 clients have multiple children

seldomly there may be a time where a few clients arrive at the same time

3. Provision of adequate off street parking

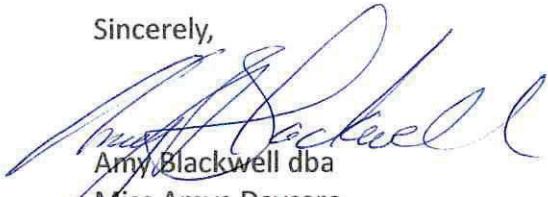
My driveway may accommodate parking for 6-8 clients

4. Other conditions reasonably related to mitigating adverse impacts resulting from the use

DLBC Office of Licensing Childcare, Utah is required to measure child used space in our homes to determine how many children our homes have space for. Not every licensed in home day care provider is allowed the same number of children. See Rule R430-90-9 Facility

We are pleading with the board to align Murray City, Utah with the same child to staff ratio guidelines of the DLBC office of Licensing Child Care, Utah

Sincerely,



Amy Blackwell
Amy Blackwell dba
Miss Amys Daycare
Missamysdaycare1@gmail.com



NOTICE OF PUBLIC HEARING

July 3rd, 2025, 6:30 PM

The Murray City Planning Commission will hold a public hearing in the Murray City Municipal Council Chambers, located at 10 East 4800 South, Murray, UT to receive public comment on the following application:

Amendments to Chapter 17.24.050 Major Home Occupation to increase the maximum number of children permitted at an in-home childcare from twelve (12) to sixteen (16) if certain requirements are met.

Amendments to chapters 17.96 Single-Family Medium Density Residential District R-1-6; 17.100 Single-Family Low Density Residential District R-1-8; 17.104 Single-Family Low Density Residential District R-1-10; 17.108 Single-Family Low Density Residential District R-1-12; 17.112 Medium Density Residential District R-2-10; 17.116 Multiple-Family Low Density Residential District R-M-10; 17.120 Multiple-Family Medium Density Residential District R-M-15; 17.124 Multiple-Family High Density Residential District R-M-20; and 17.128 Multiple-Family High Density Residential District R-M-25. The request would increase the number of permitted children at an in-home childcare as a conditional use from a maximum of twelve (12) to a maximum of sixteen (16).

To make comments regarding this proposal, the public may speak at the meeting, call the Murray City Planning Division at (801) 270-2430, or email pc@murray.utah.gov.

The meeting will be streamed online, at www.murraycitylive.com or www.facebook.com/MurrayCityUtah/.

Current Language

17.24.050: MAJOR HOME OCCUPATIONS:

A. The following home occupations, which either require a client to come to the home or which may result in neighborhood impacts if not properly managed, may be authorized as an accessory use through a major home occupation permit pursuant to the standards specified in this section:

Barbers, cosmetologists, manicurists.

Contractor, "handyperson," and landscape or yard maintenance contractor; subject to the special conditions that no construction materials or equipment will be stored on the premises.

Counseling, when clients come to the home.

Home instruction including musical instruments, voice, dance, acting and educational subjects, swimming, tennis and other athletic instruction.

Other similar personal or professional services where the client comes to the home, including, but not limited to:

1. Childcare;
2. Preschool;
3. Home instruction.

B. Uses classified as major home occupations must comply with the standards of section [17.24.030](#) of this chapter, which shall be considered minimum standards. The Community and Economic Development Director or Planning Commission may require additional reasonable conditions to mitigate reasonably potential adverse impacts of the use on adjacent properties. These conditions may include, but are not limited to:

1. Limits on hours of operation;
2. Limits on numbers of clients per day/hour;
3. Provision of adequate off-street parking;
4. Other conditions reasonably related to mitigating adverse impacts resulting from the use.

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C. Residential Child Day Care. Residential child day care may be allowed as a major home occupation in accordance with the standards in this Chapter 17.24, and the following:

Redlined

- 1) Residential child day care means a home occupation that provides care for between nine and 16 qualified children at any given time, as defined in Utah State Code. The designated number of children includes the caregiver's own children that meet the state's definition of "qualified children," at the time the home occupation is conducted.
- 2) A secure outdoor play area is required for all residential child day care home occupations and shall comply with the following:
 - a. The play area shall be located in the rear and/or side yard of the dwelling.
 - b. The play area shall be secured by a well-maintained fence that is at least six feet in height with a self-latching gate.
 - c. The outdoor play area shall be maintained in good condition and landscaped.
 - d. The outdoor play area shall not be used by the residential child day care before 8:00 A.M. or after 8:00 P.M.
- 3) Notwithstanding the restrictions of section 17.24.040 daycare services shall be permitted to have the allowed number of employees as required by the state department of health.
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- 7) The use shall comply with all local, state and federal laws and regulations.
- 8) Upon complaint that one or more of the requirements of this section or other city ordinance is being violated by a home daycare/preschool caregiver, the city shall review the complaint and, if substantiated, may initiate revocation proceedings in accordance with City Code.: 1) set a hearing before the planning commission to revoke the major home occupation permit.

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Current Language

Residential Zones:

Chapter 17.29 Single Family Medium Density Residential District R-1-6

6815 – Residential childcare facility (in single-family dwellings only with no more than 12 children other than those residing in the dwelling).

Chapter 17.29 Single Family Low Density Residential District R-1-8

6815 – Residential childcare facility (in single-family dwellings only with no more than 12 children other than those residing in the dwelling).

Chapter 17.29 Single Family Low Density Residential District R-1-10

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Chapter 17.29 Single Family Low Density Residential District R-1-12

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Chapter 17.29 Medium Density Residential District R-2-10

6815 – Residential childcare facility (in single-family dwellings only with no more than 12 children other than those residing in the dwelling).

Chapter 17.29 Multiple Family Low Density Residential District R-M-10

6815 – Residential childcare facility (in single-family dwellings only with no more than 12 children other than those residing in the dwelling).

Chapter 17.29 Multiple Family Medium Density Residential District R-M-15

Current Language

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Chapter 17.29 Multiple Family High Density Residential District R-M-20

6815 – Residential childcare facility (in single-family dwellings only with no more than 12 children other than those residing in the dwelling).

Chapter 17.29 Multiple Family High Density Residential District R-M-25

6815 – Residential childcare facility (in single-family dwellings only with no more than 12 children other than those residing in the dwelling).

Redlined

Residential Zones:

Chapter 17.29 Single Family Medium Density Residential District R-1-6

6815 – Residential childcare facility (in single-family dwellings only with no more than 12~~sixteen (16)~~ children other than those residing in the dwelling).

Chapter 17.29 Single Family Low Density Residential District R-1-8

6815 – Residential childcare facility (in single-family dwellings only with no more than 12~~sixteen (16)~~ children other than those residing in the dwelling).

Chapter 17.29 Single Family Low Density Residential District R-1-10

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Chapter 17.29 Medium Density Residential District R-2-10

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Chapter 17.29 Multiple Family Medium Density Residential District R-M-15

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Chapter 17.29 Single Family Low Density Residential District R-1-8

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Chapter 17.29 Medium Density Residential District R-2-10

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Chapter 17.29 Multiple Family Low Density Residential District R-M-10

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Petition to align Murray City, Utah with the same child to staff ratio guidelines of the DLBC office of Licensing Child Care, Utah.

We, the undersigned residents of Murray City, Utah, are writing to express our support for aligning local child care regulations with the Utah DLBC Office of Licensing Child Care guidelines regarding child-to-staff ratios. Currently, Murray City operates under a ratio of 12 children per licensed provider with one employee.

The purpose of this petition is to urge the Murray City Council and relevant authorities to adopt and implement child care regulations that align with DLBC office of Licensing Child Care, Utah state rules and compliance guidelines. R430-90 Licensed Family Child Care, R430-90-9 Facility, R430-90-10 Ratios and group size.

The Utah DLBC Office of Licensing Child Care has established specific child-to-staff ratio guidelines.

The Utah DLBC Office of Licensing Child Care regulates child-to-caregiver ratios for in home licensed daycares throughout the state to ensure that children receive adequate care and supervision. These guidelines are designed to promote optimal developmental outcomes and minimize risks in childcare environments.

In conclusion, we believe that adopting Utah DLBC Office of Licensing Child Care, child ratio to staff rules and guidelines will ensure that Murray City's in home license Daycares are in alignment with best practices and state regulations.

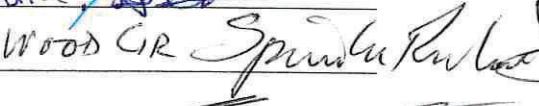
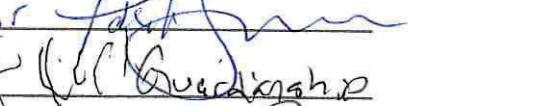
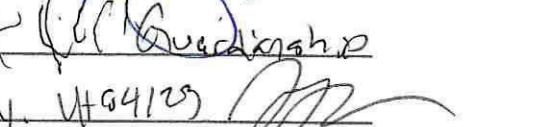
Thank you for considering this important matter. We pray that the Murray City Council will adopt the child to staff ratio rules and guidelines that align with the Utah DLBC Office of Licensing Child Care.

By signing this petition, we affirm our commitment to improving child care standards in Murray City.

Name

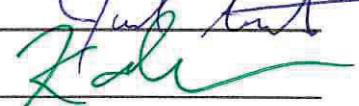
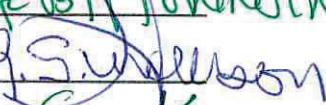
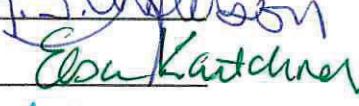
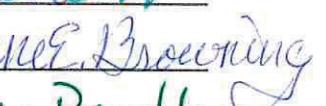
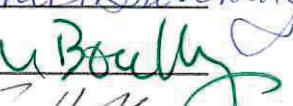
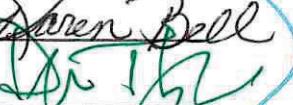
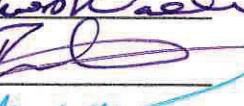
Address

Signature

Amy Blackwell 940 West Walden Meadow Dr. 
Ryver Blackwell 940 West Walden meadows Drive 
Spencer Richards 5503 S. Walden Wood Cir. 
Natalie James 5493 Walden Wood Cir. 
Patrick Spencer 5474 Walden Wood Cir. 
Olivia Spencer Ada 5474 Walden Wood Cir. & CC Guardianship 
Jennifer Spencer 5474 Walden wood Cir Murray, UT 84129 

Petition to align Murray City, Utah with the same child to staff ratio guidelines of the DLBC office of Licensing Child Care, Utah.

Pg2

Name	Address	Signature
JARED Ashton	5483 Walden Wood Cir	
Kalee Greenlaw	54715 Walden Wood Cir	
RUSTI TOWNSEND	54945 WALDEN WOOD CR.	RUSTI TOWNSEND
BOB ANDERSON	5495 S. SWEETWOOD CR.	
Elsa Kartchner	5475 Sweet wood cir	
Erin Adams	5472 S. Sweetwood cir	
Diane Browning	5468 S. Sweetwood cir	
JAN BOWLY	1040 W. Walden Meadows Dr.	
Tom Hoffmann	5479 S. Hallow Service	
Peter Shellen	6881 S. Walden Meadows Drive	
Karen Bell	1084 Walden Meadows Dr	
Don Thompson	1053 W WALDEN MEADOWS	
Allison Chavez	1015 Walden Meadows Dr	
MARK Lindstrom	977 Walden Meadows DR	
KATHLEEN LEDYARD	5528 WALDEN MEADOWS CR	
DONNA RILEY	5533 S Walden Meadows Cir	
LEWIS WALKER	9341 W. WALDEN MEADOWS DR	
Rebecca Wagner	5469 S. Walden Meadows Ct	
Michelle Funk	5503 S. Walden Meadows Pl.	
JOHN LEAVITT	5538 WALDEN MD	
MAY Geurts	5518 Walden Meadows Place	

Petition to Comply to DLBC Office of Licensing Child Care, Child to staff
Ratio Guidelines in Murray City, Utah

Pg 3

Name

Address

Signature

Tim Curtis Murray UT T
Robert Pyles 8625 S Green Way Robert Pyles
Brooke Prichard 5431 S. Spinnaker Row. Brooke Prich
Larry Huff 934 Walden Meadows Dr. Larry Huff
Michelle Colburn 8625 S Green Way Mic
Amy Relf-Janman 5982 S Murray Hollow Ln Amy Relf-Janm
Megan Freiburn 5990 Rio Grande Dr Megan
Dahl Colburn 5978 8680 S Sandy (daycare parent) Dahl
Marie Wilson 427 W 750 S. Syracuse, Utah 84075 MW
Kyle Cone 5235 S Glendon St Apt U2 Kyle Cone
Ben Albert 1834 N 120 W ~~84074~~ Ben
Tahnee Bray 4621 S 600 E Murray, UT 8407
Mary Cone 5235 S. Glendon St Apt U2 Mary Cone
Devin Palmer 6216 S 2585 W Devin Palmer
Amanda Curtis 6321 Maplewood Cir Murray UT 84121 Amanda
Berto Mates SLC UT Berto Mates
April Fullmer 975 River Run SLC UT April Fullmer
Dara Danner Kearns Utah Dara Danner
Hannah Rowland 6040 S Fontaine Bleu Drive 84121 Hannah
Camilla Wright 5510 Walden Meadows PL Murray Camilla
84123

**Petition to align Murray City, Utah with the same child to staff ratio
guidelines of the DLBC office of Licensing Child Care, Utah.**

Pg4

Name

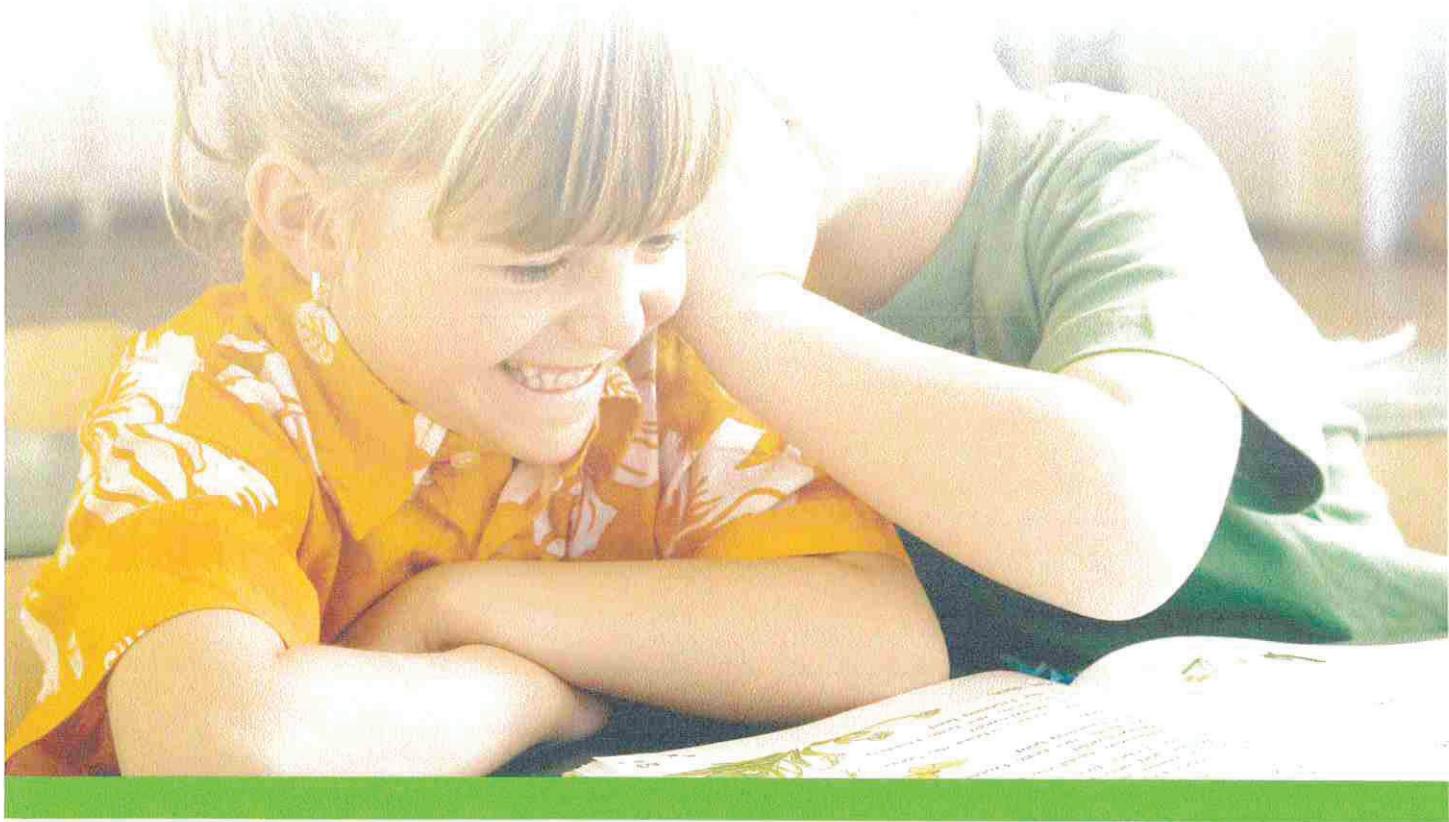
Address

Signature

Michelle Wright 5510 Walden Meadows Rd. Michelle Wright
Dennis Wright 5510 Walden Meadow SPL. Dennis Wright

CHILD CARE ACCESS IN UTAH

March 2020



WORKFORCE
SERVICES
CHILD CARE

An analysis of child care data, as well as survey data, show Utah is experiencing a significant gap between the need for child care and the capacity of Utah's child care system to meet that need. Although government, business leaders and economic development experts should work together to close this gap, the choices that families make selecting a child care program for their young children demonstrates that the entire gap does not need to be closed by regulated child care programs. •

• Utah has a 65 percent gap between the need for child care for children six years and younger and the capacity of regulated programs to fill that need.

• There is significant variation across the state regarding the size of the gap between child care need and child care capacity.

• Not all Utah families utilize regulated child care programs to meet their child care needs and many families rely on unpaid child care, or juggle work schedules with spouses to ensure one parent is at home caring for their young children.

• Utah needs to expand its early child care and education system to add approximately 274 licensed-center child care programs and 1,258 licensed-family child care programs to accommodate the preferences of Utah families.

These increasing demands on early child care and education providers—more need for child care and higher quality care—is limiting access to child care statewide. Throughout the state, these compounding pressures are an increasing concern for Utah employers who face challenges filling positions, as well as maintaining a stable workforce. Nationally, \$57 billion is lost each year in earnings, productivity and revenue due to the lack of affordable, reliable, high-quality child care.⁷

7 Belfield CR. The Economic Impacts of Insufficient Child Care on Working Families. Washington D.C.; 2018. Available at <https://strongnation.s3.amazonaws.com/documents/522/3c5cdb46-eda2-4723-9e8e-f20511cc9f0f.pdf?1542205790&inline;%20filename=%22The%20Economic%20Impacts%20of%20Insufficient%20Child%20Care%20on%20Working%20Families.pdf%22>.

Currently, 54 percent of Utah children under age six are living in families for which there is a child care need. This rate equates to 157,345 children.⁸ The child care need varies throughout the state, with the highest rate of need in Grand County and the lowest in Daggett County

8 U.S. Census, Age of Own Children Under 18 Years in Families and Subfamilies by Living Arrangements by Employment Status of Parents, 2018: ACS 5-Year Estimates.

County	Number of Children Under 6 w/Child Care Need	rate of children Under 6 w/Child Care Need
Grand	465	74%
Wasatch	1,904	69%
Summit	1,786	66%
Wayne	114	66%
Kane	331	62%
Weber	14,017	61%
Piute	65	58%
Salt Lake	58,834	57%
Garfield	184	54%
Morgan	636	53%
Sevier	929	53%
Carbon	803	52%
Sanpete	1,209	52%
Uintah	2,039	52%
Box Elder	2,931	51%
Juab	583	49%
Tooele	3,044	49%
Iron	2,271	48%
Millard	570	48%
Washington	6,735	48%
Davis	16,934	47%
Cache	5,962	46%
San Juan	627	45%
Emery	410	44%
Beaver	278	40%
Duchesne	952	40%
Utah	26,887	40%
Rich	67	34%
Daggett	13	32%

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The state of Utah defines child care as care of a child by a responsible person who is not the child's parent or legal guardian, for a portion of the day that is less than 24 hours in a qualified setting.⁹ Although a program may meet the definition of child care, the regulatory structure differs among types of child care programs. There are programs that are regulated and hold either a child care license or some other government certification, such as a residential care certificate or statutorily licensed-exempt status. In Utah, these types of child care programs are regulated by the state and subject to meeting specific health and safety requirements that are verified during unannounced, annual inspections. In addition, there are unregulated and informal child care settings families select for their young children

9 Utah Code §35A-3-102

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In Utah's licensing system, a licensed family child care program may be licensed to serve a maximum capacity of either eight or 16 children, depending on the licensing type. Among child care programs serving more than 16 children, the program is required to be licensed as a child care center. Utah's licensed-centers care for an average of 92 children in each child care program. Among the 45,292 estimated to utilize paid child care, approximately 20,130 will receive care in a licensed-family child care setting and 25,162 children will receive care in a licensed-center child care setting. In meeting the needs of these children, it is estimated that Utah will need to expand its early child care and education system to add approximately 274 licensed-center child care programs and 1,258 licensed family child care programs to accommodate the preferences of Utah families. APPENDIX 3. Estimated Child Care Programs Needed by County

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UTAH HAS AN EXISTING CHALLENGE regarding child care access that is impacting both the economics of the state and the economics of families. Its current early child care and education system lacks the capacity to meet the child care needs of families. Throughout Utah, the need is not uniform, with some counties having a greater need for child care than others. Although there is a significant gap between the need for care and the capacity of the existing child care system, not all families with a child care need are choosing regulated child care. However, this analysis establishes a need for Utah to increase the capacity of its regulated child care system.

Melanie Jenkins

6231 S Fashion Blvd
10 East 4800 South
Murray, Ut, 84107 385-424-6447

Murray City Council Murray, Utah

Subject: Request to Align Murray City Daycare Regulations with State Licensing Standards

Dear Murray City Council Members,

I am Melanie Jenkins, a licensed home daycare provider in Murray, Utah, writing on behalf of myself and fellow providers to express our serious concerns about a recent city directive that reduces the number of children we can care for, conflicting with the standards set by the Utah Department of Licensing and Background Checks (DLBC) Office of Licensing. For the past three years, we have operated in full compliance with state regulations, and this local restriction threatens the stability of our businesses and the families we serve.

As dedicated professionals, we prioritize creating a safe, loving environment for the children in our care, building strong relationships with them and their families. However, Murray City's more restrictive policy creates significant challenges that undermine our ability to meet these commitments.

Trusting Expert Standards

The Utah DLBC Office of Licensing establishes childcare regulations under R430-90, covering facility requirements, ratios, and group sizes. These rules, crafted by experts with access to the best research, ensure a balance between child safety and the practical needs of providers. We have relied on these standards as the statewide benchmark, making the city's conflicting policy both unexpected and disruptive. Aligning with the state's expertise would provide consistency and clarity for our operations.

Hardship on Families and Children

The city's reduced capacity limit forces us to turn away children, disrupting the lives of families who depend on us. Many of these children have been in our care for years, forming deep bonds that provide them with security. Uprooting them to unfamiliar settings would be emotionally challenging, while their parents face the daunting task of finding new care options. Additionally, this restriction cuts off after-school care for older children, leaving them unsupervised at home—a safety concern that burdens working families.

Financial and Economic Impacts

Operating a home daycare is a small business with tight margins. State rules allow us to hire additional staff as our enrollment grows, but the city's stricter cap limits our revenue, making it nearly impossible to sustain wages and overhead costs. Without alignment to state standards, some providers may be forced to close, shrinking childcare availability in Murray and pushing families to seek options elsewhere, taking their spending with them.

Supporting Murray's Growth

Murray is expanding, with new families moving into multi-family housing and needing reliable childcare. The city's restrictive policy hampers our ability to serve them, driving economic activity to neighboring cities instead. Aligning with state regulations would keep families—and their dollars—in Murray, supporting local businesses and community vitality.

Preserving Trusted Providers

Providers like Miss Amy's Daycare, with 23 years of service and a strong standing with the DLBC, are cornerstones of this community. We support families as their children grow, from infancy to kindergarten, and beyond. The city's limits force us into impossible choices—splitting siblings between providers or losing entire families—threatening our ability to continue this legacy of care.

After-School Care Needs

Our after-school programs provide school-age children with supervision, homework help, and social opportunities. The city's policy eliminates this critical service, leaving kids home alone and parents caught between work and safety. State standards would allow us to maintain this lifeline for working families.

Our Request

We respectfully urge the Murray City Council to align its childcare regulations fully with those of the Utah DLBC Office of Licensing, trusting the state's expertise over arbitrary local limits. This would:

- Keep children in familiar, nurturing environments.
- Ease the burden on families seeking care.
- Sustain our small businesses.
- Boost Murray's economy by retaining local families.
- Ensure safe after-school options for older children.

We are committed to Murray's well-being and eager to collaborate. Please consider this request and allow us to discuss it further at your convenience. Thank you for your time and attention.

Sincerely,

Melanie Jenkins

385-424-6447

Emily Johnston
1291 W Bullion
Murray, Ut, 84123 385-424-6447

Murray City Council
Murray, Utah

Subject: Request to Align Murray City Daycare Regulations with State Licensing Standards

Dear Murray City Council Members,

As a professional home daycare provider in Murray, Utah, I am writing to respectfully request that the city align its childcare regulations with the standards set by the Utah Department of Licensing and Background Checks (DLBC) Office of Licensing. Recently, Murray City introduced a local directive that limits the number of children I can care for, creating a conflict with the state's established licensing rules, which I have followed diligently for the past three years while maintaining full compliance.

My daycare is a professional operation dedicated to providing a safe, nurturing environment where I foster strong, trusting relationships with the children and families I serve. I am deeply committed to their well-being, which is why this discrepancy between city and state regulations raises significant concerns for my business and the community I support.

Trusting Expert Standards

The Utah DLBC Office of Licensing is staffed by childcare experts who rely on the latest research and best practices to establish regulations under R430-90, including facility requirements, ratios, and group sizes. These standards are carefully designed to ensure safety while supporting the practical needs of providers and families. As a licensed provider, I have operated confidently under these rules, believing they represent the most informed and balanced approach to childcare. Murray City's more restrictive local policy, however, deviates from this expertise, creating an unnecessary challenge without clear justification.

Challenges for Families

If forced to comply with the city's stricter limits, I would have to reduce the number of children in my care, disrupting the lives of families who depend on me. Many of these children have been with me for years, forming bonds that provide them with stability and security. Sending them to unfamiliar providers would be emotionally difficult for them and stressful for their parents, who may struggle to find comparable care. Additionally, this

restriction would prevent me from serving school-age children in my after-school program, leaving them without a safe, supervised environment and increasing risks to their well-being.

Financial Sustainability

Running a home daycare is a small business that requires careful financial balance. The state's licensing rules allow me to hire additional staff as needed while maintaining a sustainable income. Murray City's more restrictive cap undermines this balance, making it difficult to cover operational costs and remain viable. If this policy continues, I fear it could force me—and other providers—to close, reducing childcare options in our community.

Supporting Murray's Growth

Murray is a growing city, with new families settling into multi-family developments and seeking reliable childcare. When local regulations are more restrictive than state standards, I am forced to turn away families, pushing them to seek services outside Murray. This not only limits our ability to support new residents but also drives economic activity—such as spending at local businesses—elsewhere, weakening our community's vitality.

After-School Care Needs

One of my key contributions is providing structured after-school care for older children, offering homework help, social engagement, and supervision. The city's current limits prevent me from accommodating these children, leaving working parents without a critical resource and forcing kids into potentially unsafe situations, like being home alone. Aligning with state standards would allow me to continue this essential service.

My Request

I respectfully urge the Murray City Council to fully align its childcare regulations with those of the Utah DLBC Office of Licensing in every aspect. The state's experts have the research and experience to set appropriate limits, and matching their standards would:

- Keep children in a stable, loving daycare environment.
- Reduce stress on families who rely on my services.
- Ensure my small business remains sustainable.
- Retain economic activity within Murray by serving local families.
- Provide supervised after-school care for older children.

I am proud to serve Murray's families and want to continue doing so effectively. Rather than locking in specific numbers that may evolve over time, I ask for a policy that trusts the state's childcare experts to guide us. I'd welcome the opportunity to discuss this further and find a solution that benefits our community. Thank you for your consideration.

Sincerely,

Emily Johnston
Emily Johnstons Childcare
385-424-6447