



**Murray City Planning Commission Meeting
Notice of Meeting and Agenda**

Thursday, July 3rd, 2025

Pre-Meeting: 6:00 p.m. (Poplar Room #151, Public Welcome)

The premeeting is to briefly review the agenda items and ask any questions to staff.

Meeting Time: 6:30 p.m.

Murray City Hall, 10 East 4800 South, Council Chambers

The public may view the Murray Planning Commission meeting via live stream at www.murraycitylive.com or <https://www.facebook.com/Murraycityutah/>. You may submit comments via email at pc@murray.utah.gov. Comments are limited to 3 minutes or less, and written comments will be entered into the meeting record. Please include your name and contact information.

Supporting materials are available at <https://www.murray.utah.gov/779/Agendas-Attachment>.

CALL MEETING TO ORDER

BUSINESS ITEMS:

1. Approval of Minutes
 - a. June 5, 2025
2. Conflict(s) of Interest
3. Approval of Findings of Fact
 - a. Gold Wheels – Conditional Use Permit
 - b. Aloha Tattoos – Conditional Use Permit

CONDITIONAL USE PERMIT(S) – ADMINISTRATIVE ACTION

- | | |
|---|------------------|
| 4. Seyed Auto
525 West 5300 South, Suite 125
Auto sales business in the C-D, Commercial Development Zone | Project # 25-057 |
| 5. La Rana Auto Sales
4195 South 500 West, #30
Auto sales business in the M-G, Manufacturing General Zone | Project # 25-062 |

SITE PLAN REVIEW(S) – ADMINISTRATIVE ACTION

- | | |
|--|------------------|
| 6. Holy Protection Orthodox Church
Site plan approval for construction of a new church building in the G-O, General Office Zone | Project #25-050 |
| 7. Murray Tower Plaza
Design review and Master Site Plan approval for the development of a mixed-use project. | Project # 25-015 |

LAND USE ORDINANCE TEXT AMENDMENT(S) – LEGISLATIVE ACTION

8. Chapter 17.24.050 Major Home Occupation & all chapters pertaining to Residential zoning districts.
Project # 25-031
Amendment to the Murray City Land Use Ordinance to increase the amount of children allowed in residential daycare facilities from twelve (12) to sixteen (16)

ANNOUNCEMENTS AND QUESTIONS

ADJOURNMENT

The next scheduled meeting will be held on Thursday, July 17th, 2025, at 6:30 p.m. MST in the Murray City Council Chambers, 10 East 4800 South, Murray, Utah.

Those wishing to have their comments read into the record may send an email by 5:00 p.m. the day prior to the meeting date to pc@murray.utah.gov. Comments are limited to three minutes or less (approximately 300 words for emails) and must include your name and address.

Special Accommodations for the hearing or visually impaired will be made upon a request to the office of Murray City Recorder (801-264-2662). We would appreciate notification two working days prior to the meeting. TTY is Relay Utah at #711.

Committee members may participate in the meeting via telephonic communication. If a Committee member does participate via telephonic communication, the Committee member will be on speakerphone. The speakerphone will be amplified so that the other Committee members and all other persons present will be able to hear all discussions.

No agenda item will begin after 10:00 p.m. without a unanimous vote of the Commission.

At least 24 hours prior to the meeting, a copy of the foregoing notice was sent to the City Recorder to post in conspicuous view in the front foyer of the Murray City Center, Murray, Utah. A copy of this notice was also posted on Murray City's internet website www.murray.utah.gov and the state noticing website at <http://pmn.utah.gov>.



MURRAY CITY PLANNING COMMISSION

MEETING MINUTES

June 5, 2025

6:30 P.M. MDT

Murray City Council Chambers, 10 East 4800 South, Murray, Utah

CALL MEETING TO ORDER

MEMBERS PRESENT

Present: Michael Richards, Chair
Ned Hacker
Aaron Hildreth
Peter Klinge
Jake Pehrson
Katie Rogers
Chad Wilkinson, CED Director
Zachary Smallwood, Planning Division Manager
Members of the Public (per sign-in sheet)

Excused: Pete Hristou, Vice Chair

Chair Richards called the meeting to order at 6:00 p.m.

STAFF REVIEW MEETING

The Staff Review meeting was held from 6:00 p.m. to 6:30 p.m. The Planning Commission members briefly reviewed the applications on the agenda. An audio recording is available at the Murray City Community and Economic Development Department Office.

BUSINESS ITEM(S)

APPROVAL OF MINUTES

Commissioner Klinge made a motion to approve the minutes for May 1, 2025. Seconded by Commissioner Pehrson. A voice vote was made, with all in favor.

Commissioner Rogers made a motion to approve the minutes for May 15, 2025. Seconded by Commissioner Klinge. A voice vote was made, with all in favor.

CONFLICT(S) OF INTEREST

There were no conflicts of interest for this meeting.

APPROVAL OF FINDINGS OF FACT

Commissioner Klinge made a motion to approve the findings of facts for Gold Wheels conditional use permit and Aloha Tattoos conditional use permit. Seconded by Commissioner Pehrson. A voice vote was made, with all in favor.

SUBDIVISION REVIEW(S) – ADMINISTRATIVE ACTION

49th Street Galleria Subdivision - Project # 25-052 - 4998 South Galleria Drive Preliminary and Final Subdivision review for a six (6) lot subdivision in the MCMU Zoning District

Tyler Morris was present to represent this request. Zachary Smallwood presented the application for subdivision approval, to divide the project into six individual lots, located in the MCMU zone. He provided some details regarding the property. He said a portion of the property may end up for sale once the lots are divided. He showed a map of the proposed lots, providing some details regarding how they were divided and the size of each one. Notices were sent to property owners and affected entities. One phone call was received with questions. Staff recommends that the Planning Commission grant the preliminary and final subdivision approval.

A discussion was had regarding the applicant's intent to sell the townhomes once developed. Commissioner Pehrson said that a decision can't be made based on their intent to sell.

Commissioner Klinge and Mr. Smallwood had a discussion regarding the approval process for each of the projects that fall under the master site plan approval. Mr. Smallwood said, unless something about one of the projects changes, they will not need to come before the Planning Commission for additional review.

Tyler Morris approached the podium. Chair Richards asked if he had read and could comply with the conditions. He said he could. He elaborated on the overall plan for development. He provided a brief summary on what would be done on each lot. He said he intends for the commercial building to be owned by someone else. He also intends to sell the townhome components, with possibly a few for rent.

Chair Richards opened this agenda item for public comment.

Michael Todd said that he owns an adjacent parcel of land. He said he's tried to negotiate a sale with someone from the development company with no success. He said that's worked hard to clean up the site to sell it. He really wants to incorporate it into this project. He asked the planning commission to decide what should be done with his parcel.

Chair Richards closed the public comment period for this agenda item.

Chair Richards responded to Mr. Todd's comment saying that he can only encourage more discussion between the two parties. He said the city is open to any discussion Mr. Todd would like to have regarding the development of the parcel.

Commissioner Klinge asked what type of development is allowed on Mr. Todd's property. Mr. Smallwood said it allows for residential or mixed-use. He said because it's not a principal frontage, it doesn't require commercial on that frontage.

Commissioner Pehrson made a motion that The Planning Commission grant Preliminary and Final Subdivision Approval for the 49th Street Galleria Subdivision on the properties addressed 4998 South Galleria Drive subject to the following conditions:

1. The project shall meet Murray City Engineering requirements including the following:
 - a. Meet City subdivision requirements and standards – City Code Title 16.
 - b. Provide Galleria Drive dedication – City Code 17.76.120
 - c. Address all engineering and survey review comments prior to printing the plat to mylar.
2. The project shall meet all applicable fire code standards and provide adequate numbers and placement of hydrants.
3. The subdivision shall include the installation of street lighting in accordance with Murray City Power Department standards.
4. All lots within the subdivision shall comply with the standards for lots in the MCMU Zone as outlined in Chapter 17.146 of the Murray City Land Use Ordinance.
5. The applicant shall prepare a Final Subdivision Plat which complies with all requirements of Title 16, Murray City Subdivision Ordinance.
6. The applicant shall meet all Water and Wastewater Department requirements.
7. The subdivision plat shall be recorded within one year of the final approval by the Planning Commission or the subdivision plat approval shall be null and void.

Seconded by Commissioner Rogers. Roll call vote:

<u>A</u>	Hacker
<u>A</u>	Hildreth
<u>A</u>	Klinge
<u>A</u>	Pehrson
<u>A</u>	Richards
<u>A</u>	Rogers

Motion passes: 6-0

LAND USE ORDINANCE TEXT AMENDMENT(S) – LEGISLATIVE ACTION

Chapter 17.08 Definitions & 17.68 Landscape Requirements - Project # 25-055 - Amendments to the landscape requirements to allow residents to qualify for the Utah Water Savers rebate program and minor clarification items

Zachary Smallwood presented this agenda item. He said that this is a text amendment to the landscape requirements allowing residents to qualify for the Utah Water Savers rebate program, as well as some minor modifications of sections that have been needing cleaned up in the code. He discussed adding three definitions to the amendment – active recreation areas, activity zones and turf grass. He said that the requirement for applicants to provide hard copies needs to be removed, since the Building Division only accepts electronic applications now. Mr. Smallwood said they are amending the process to allow for staff to make minor modifications without having to go through the formal process of modifying code. He said they need to remove the exemption for single-family and two-family dwellings; however, staff needs to see landscaping plans when a building permit is applied for. He said they are requesting a modification to the requirement for landscaping to cover 50% at the time of planting to be covered 50% at maturity. He said that staff updated the language used in the code for the landscape setback. He also said the language in the code referring to the MU zone was removed, and the terms for CC-FBC, MCMU, Centers Mixed Use, and Village Mixed Use were added. Mr. Smallwood discussed an addition to the residential section of the code regarding lawn restrictions. He said that lawn shall not be located in areas smaller than eight feet wide. It shall not be installed in park strips, paths or slopes greater than 25% grade. Also, the language stating that lawn shall not exceed 20% of the landscaped area outside of active recreation areas has been increased to 35% on residential in the front and side yards of new residential construction. Notices were sent to affected entities and posted on the city and state public meeting website. One phone call was received from Granite School District with questions regarding grass at Cottonwood High School. Staff recommends that the Planning Commission forward a recommendation of approval to the City Council for the proposed amendments.

Commissioner Hacker asked if only residents can apply for the Utah Water Savers rebate program. Mr. Smallwood said that commercial properties may apply for it as well.

Commissioner Klinge clarified that the landscaping requirements apply moving forward. Mr. Smallwood said yes, this applies to new or remodeled construction.

Commissioner Pehrson asked if these amendments aren't approved, is the only ramification that residents won't be able to apply for the program. Mr. Smallwood said that's correct. Commissioner Pehrson asked if the eight-foot requirement is something that the city decided. Mr. Smallwood said it's a state standard.

Commissioner Pehrson and Mr. Smallwood had a discussion about what would trigger an existing resident or commercial property to have to comply with the new requirements. Mr. Smallwood said for residential it would be new construction or complete rebuild and for commercial it would be an application for conditional use permit, a 50% improvement or a site plan.

Commissioner Pehrson asked if parking strips are required in Murray City. Mr. Smallwood said they are. Mr. Pehrson asked if the city code could be changed so that they aren't required. Mr. Smallwood said it could, but he would not be in favor of it, as the provide pedestrian safety.

A discussion was had regarding the need to change landscaping requirements so a few residents could take advantage of the program. Mr. Smallwood said that, as water issues across the state increase, more residents are looking to take advantage of the program. Residents haven't been able to apply because Murray City has previously not met the landscaping standards. Adopting the proposed standards will allow Murray City to participate in the program. He said that most other cities have adopted these standards.

Commissioner Hacker and Mr. Smallwood had a discussion regarding the standards as they relate to commercial properties. Commissioner Hacker asked how the standards apply when an applicant is applying for a conditional use permit and needs to meet those landscaping requirements. Mr. Smallwood said that the city still wants to see planted material, they just want to reduce the amount of lawn.

Commissioner Pehrson wanted to confirm that the program is not just applicable to the park strip. Mr. Smallwood said the rebate applies to a park strip as well as landscaping a front lawn. A discussion was had regarding the difference between the Flip Your Strip and Utah Water Saver's programs.

Chair Richards opened the agenda item for public comment.

Rachel Palmer spoke in favor of the proposed amendments to the landscaping code. She is pleased that she'll be able to apply for the Utah Water Saver's program. She added that the standards may seem arbitrary, but they are supported by scientific evidence.

Chair Richards closed the public comment period for this agenda item.

Commissioner Rogers made a motion that the Planning Commission forward a recommendation of approval to the City Council for the proposed amendments to Chapters 17.08 Definitions and 17.68 Landscaping Requirements as reviewed in the Staff Report.

Seconded by Commissioner Klinge.

Commissioner Rogers amended her motion to include the definition of lawn to include turfgrass.
Roll call vote:

<u>A</u>	Hacker
<u>A</u>	Hildreth
<u>A</u>	Klinge
<u>N</u>	Pehrson
<u>A</u>	Richards
<u>A</u>	Rogers

Motion passes: 6-0

Residential Yard Exceptions Amendments - Project # 25-056 - Amendments to the residential yard exception standards in all residential zoning districts allowing roof extensions into the front and rear setback areas

Zachary Smallwood presented this agenda item. He said this is an amendment for all residential zones allowing roof extensions into the front and rear setback areas. He showed images to illustrate the proposed changes. His example included a scenario where a resident wants to add a patio cover or porch extension. The extension could be up to half of the width of the dwelling but may not be closer than ten feet from the rear property line. In the front, it can encroach up to seven feet but may not be any closer than twenty feet from the property line. The roof or canopy must be open on all three sides, except for supporting columns and footings. Public notices were sent to surrounding properties. Staff recommends that the Planning Commission forward a recommendation of approval to the City Council.

Commissioner Hildreth clarified with Mr. Smallwood how the encroachment will work.

A discussion was had regarding the old code versus the new code. Mr. Smallwood said that the old code was much more restrictive.

Chair Richards opened the agenda item for public comment. Seeing no comments, the public comment period was closed.

Commissioner Hildreth made a motion that the Planning Commission forward a recommendation of approval to the City Council for the proposed amendments to 17.92: Agricultural A-1; 17.96 Single-Family Medium Density Residential District R-1-6; 17.100 Single-Family Low Density Residential District R-1-8; 17.104 Single-Family Low Density Residential District R-1-10; 17.108 Single-Family Low Density Residential District R-1-12; 17.112 Medium Density Residential District R-2-10; 17.116 Multiple-Family Low Density Residential District R-M-10; 17.120 Multiple-Family Medium Density Residential District R-M-15; 17.124 Multiple-Family High Density Residential District R-M-20; and 17.128 Multiple-Family High Density Residential District R-M-25 as reviewed in the Staff Report.

Seconded by Commissioner Klinge. Roll call vote:

A Hacker
A Hildreth
A Klinge
A Pehrson
A Richards
A Rogers

Motion passes: 6-0

ANNOUNCEMENTS AND QUESTIONS

The next scheduled meeting will be held on July 3, 2025, at 6:30 p.m. MDT in the Murray City Council Chambers, 10 East 4800 South, Murray, Utah.

ADJOURNMENT

Chair Richards adjourned the meeting at 7:28 p.m.

A recording of this meeting is available for viewing at <http://www.murray.utah.gov> or in the Community and Economic Development office located at 10 East 4800 South, Suite 260.

The public was able to view the meeting via the live stream at <http://www.murraycitylive.com> or <https://www.facebook.com/Murraycityutah/>. Anyone who wanted to make a comment on an agenda item was able to submit comments via email at planningcommission@murray.utah.gov.

Zachary Smallwood, Planning Division Manager
Community & Economic Development Department

DRAFT



AGENDA ITEM #4 – Seyed Auto

ITEM TYPE:	Conditional Use Permit to allow an auto sales business		
ADDRESS:	525 West 5300 South Suite 125	MEETING DATE:	July 3 rd , 2025
APPLICANT:	Seyed Amir Adabkhah	STAFF:	Ruth Ruach, Planner 1
PARCEL ID:	21-12-356-003	PROJECT NUMBER:	#25-057
ZONE:	C-D, Commercial Development		
SIZE:	0.74-acre site 330 ft ² unit		
REQUEST:	The applicant is requesting Conditional Use Permit approval to allow an auto sales business within the C-D Zone on the property located 525 West 5300 South.		



I. LAND USE ORDINANCE

Section 17.160.030 of the Murray City Land Use Ordinance allows auto sales businesses (LU #5511) within the C-D zoning district subject to Conditional Use Permit approval.

II. BACKGROUND

Project Location

The subject property is located on 5300 South and north of the Hidden Village Park.

Surrounding Land Use and Zoning

<u>Direction</u>	<u>Land Use</u>	<u>Zoning</u>
North	Residential	R-N-B
South	Parks and Open Space	R-1-8
East	Professional Services	C-D
West	Parks and Open Space	C-D

Project Description

The applicant is requesting a Conditional Use Permit to establish an auto sales office within an existing office building. The applicant emphasizes that the office suite will accommodate administrative functions and sales activities for the auto business and that no vehicle storage will occur on the property.

Landscaping

Per Murray City Code sections 17.68.040 and 17.160.100, to meet minimum code requirements, the applicant will be required to work with the property owner to install additional landscaping along 5300 South as shown below:

Frontage	Trees	5-gallon Shrubs	1-gallon Shrubs
5300 South, 134 Feet	4	7	13

Access and Parking

The subject property has one twenty-eight (28') foot wide access point from 5300 south. According to 17.160.090, office uses require four (4) parking stalls for every 1000 square feet of net usable floor area. The applicant will provide five (5) parking stalls, which exceeds the number of required stalls.

III. LAND USE ORDINANCE STANDARDS REVIEW

Murray City Code Section 17.56.060 outlines the following standards of review for conditional uses.

- A. That the proposed use of the particular location is necessary or desirable to provide a service or facility which will contribute to the general well-being of the community and the neighborhood.**

With compliance to city regulations, the proposed use will provide a service that will contribute to the success of the entire area.

- B. That such use will not, under the circumstances of the particular case, be detrimental to the health, safety or general welfare of person residing or working in the vicinity, or injurious to property or improvements in the vicinity.**

The proposed use will not be detrimental to the health, safety, or general welfare of persons working in the vicinity.

- C. That the proposed use will stress quality development with emphasis towards adequate buffering, landscaping, proper parking, and traffic circulation, use of appropriate gradation of building height away from single family districts and density to create privacy and compatibility with surrounding uses, use of building materials which are in harmony with the area, impact on schools, utilities, and streets.**

With conditions, the proposed use will integrate well into the area. Staff does not anticipate a significant impact on the surrounding area and businesses.

- D. That the applicant may be required to provide such reports and studies which will provide information relating to adequate utilities, traffic impacts, school impacts, soil and water target studies, engineering reports, financing availability, market considerations, neighborhood support and any other information which may be needed in order to render a proper decision.**

Murray City Planning Division Staff has determined that the applicant has submitted sufficient information for an adequate review of this Conditional Use Permit application by Murray City Staff and the Murray City Planning Commission. Additional materials may be required after the Planning Commission's review or as stated in the Staff Report.

IV. CITY DEPARTMENT REVIEW

The application materials for the auto sales business were made available to Murray City department staff for review and comment on June 19th, 2025. Reviewing personnel included the Engineering and Building Divisions, and the Water, Sewer, Power, and Fire Departments. All reviewing departments recommended approval without conditions or concerns.

V. PUBLIC INPUT

Sixteen (16) notices of the public meeting were sent to all property owners for parcels located within 300 feet of the subject property. As of the date of this report, staff has not received any public comments.

VI. FINDINGS

Based on the analysis of the Conditional Use Permit application to allow an automobile sales business, staff concludes the following:

1. The proposed use for an auto sales business (LU #5511), is allowed in the C-D Commercial Development Zoning District subject to Conditional Use Permit approval.
2. With conditions as outlined in the staff report, the proposed use and property will comply with the standards of the Murray City Land Use Ordinance.
3. The proposed use is not contrary to the goals and objectives of the Murray City General Plan in this area.

VII. CONCLUSION/RECOMMENDATION

Based on the information presented in this report, application materials submitted and a site review, staff recommends that the **Planning Commission APPROVE a Conditional Use Permit to allow an auto sales business at the property addressed 525 West 5300 South Suite #125,** subject to the following conditions:

1. The applicant shall obtain a Murray City Business License prior to beginning operations at this location.
2. Prior to business license approval, the applicant and the property owner shall install additional landscaping along 5300 South so that the property is in compliance with Chapter 17.68 Landscape Requirements.
3. The applicant shall obtain a building permit prior to any remodeling that may occur.
4. The project shall comply with all applicable building and fire code standards.
5. The applicant shall obtain permits for any new attached or detached signs proposed for the business.

CONDITIONAL USE PERMIT APPLICATION

Type of Application(check one): ☐ New Construction ☐ Remodel ☐ Amendment to existing CUP
☒ Land Use Change ☐ Addition

Application Information

Project Name: For: Seyed Amir Adabkhah
Project Address: 525 W 5300 S Ste 125 Murray, UT 84123
Parcel Identification (Sidwell) Number: 2112356003
Parcel Area(acres): .74 Current Use: OFFICE Proposed: Auto Sales
Floor Area(square feet): 330 Zoning District: CD Land Use Code: SS10

Applicant Information

Name: Seyed Amir Adabkhah
Mailing Address: 525 W 5300 S Ste 125 City: Murray State: UT ZIP: 84123
Phone #: 801-381-3443 Fax #: _____ Email Address: Amir881881@gmail.com

Property Owner's Information (If different)

Name: Wager and Wager LLC/Property Owner: Susan L Wager
Mailing Address: 91 Twin Waters Ln City: Ellensburg State: WA ZIP: 98926
Phone #: 801-455-9800 Fax #: _____ Email Address: SUZwager@gmail.com

Describe the request in detail (use additional pages, or attach narrative if necessary):

Seyed Amir Adabkhah applied for a Automobile
dealers license. Has office at property
525 W 5300 S Ste 125 Murray UT 84123. No Vehicles
will be kept at office location

Authorized Signature: _____ Date: _____

For Office Use Only

Project Number: _____ Date Accepted: _____
Planner Assigned: _____

Property Owners Affidavit

I (we) Susan Wager, being first duly sworn, depose and say that I (we) am (are) the current owner of the property involved in this application; that I (we) have read the application and attached plans and other exhibits and are familiar with its contents; and that said contents are in all respects true and correct based upon my personal knowledge.

Susan L Wager

Owner's Signature

Owner's Signature (co-owner if any)

State of ~~Utah~~ Washington

County of ~~Salt Lake~~ Kittitas

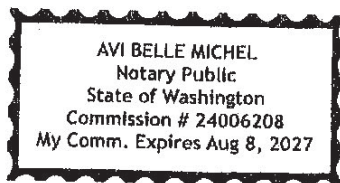
Subscribed and sworn to before me this 2nd day of May, 2025.

Avi Belle Michel

Notary Public

Residing in Kittitas, WA

My commission expires: August 8th, 2027



Agent Authorization

I (we), _____, the owner(s) of the real property located at _____ in Murray City, Utah, do hereby appoint _____ as my (our) agent to represent me (us) with regard to this application affecting the above described real property, and authorize _____ to appear on my (our) behalf before any City board or commission considering this application.

Owner's Signature

Owner's Signature (co-owner if any)

State of Utah

County of Salt Lake

On the _____ day of _____, 20____, personally appeared before me _____ the signer(s) of the above Agent Authorization who duly acknowledge to me that they executed the same.

Notary public

Residing in: _____

My commission expires: _____

Jurat Certificate

State of Washington

County of KittitasSigned and sworn to (or affirmed) before me on March 19th, 2024 (date)by Susan Wager (name of person making statement).

Notary Signature

Title Notary PublicMy appointment expires 02/18/2025

Place Seal Here

SARA M HANKS
Notary Public
State of Washington
Commission # 187089
My Comm. Expires Feb 18, 2025

Description of attached document

Type or Title of Document

Property Owners Affidavit & Agent Authorization

Document Date

March 19th, 2024

Number of Pages

3 pages (including this page)

Signer(s) Other Than Named Above

N/A

Property Owners Affidavit

I (we) Susan Wager, being first duly sworn, depose and say that I (we) am (are) the current owner of the property involved in this application; that I (we) have read the application and attached plans and other exhibits and are familiar with its contents; and that said contents are in all respects true and correct based upon my personal knowledge.

Susan R Wager _____
Owner's Signature Owner's Signature (co-owner if any)

State of Utah

County of Salt Lake §

Subscribed and sworn to before me this _____ day of _____, 20____.

Residing in _____ Notary Public
My commission expires: _____

Agent Authorization

I (we), Susan Wager, the owner(s) of the real property located at 525 W. 5300 S., in Murray City, Utah, do hereby appoint Parley Turnbow, as my (our) agent to represent me (us) with regard to this application affecting the above described real property, and authorize

Parley Turnbow to appear on my (our) behalf before any City board or commission considering this application.

Susan R Wager _____
Owner's Signature Owner's Signature (co-owner if any)

State of Utah

County of Salt Lake §

On the _____ day of _____, 20____, personally appeared before me _____ the signer(s) of the above Agent

Authorization who duly acknowledge to me that they executed the same.

Residing in _____ Notary public
My commission expires: _____

Project # _____

OWNERS CERTIFICATION FORM
(To Be Complete and Signed by Property Owner)

Property Owner Name: Wager & Wager LLC Phone: 801-455-9800

Property Address: 525 W 5300 S Murray, UT 84107

Name of Organization/Business: _____

Contact Person: Parley Turnbow Phone: 801-274-1200

Email address: email@pdtmgt.com

Address: 6589 S. 1300 E #120 City: Salt Lake ^{City} UT Zip 84121

Project Description: _____

Additional information or comments:

Per City Code Section 17.76.180: Multi Warehouse Facilities:

A. Owners Certification: Upon application for planning and zoning commission or community development division approval for each tenant of a multiuse warehouse facility, the owner's affidavit must reflect in addition to other required information:

1. Certification that the Owners property complies in all respects to all applicable zoning ordinances; and
2. Where applicable, further certification that the Owner's property will comply with any further conditions imposed as a result of each tenant's application for approval.

B. Parking Stalls: Each tenant shall have designated parking stalls meeting all city, state and federal requirements, including signage clearly assigning the required number of stalls to each tenant's business.

As owner of the property being considered for site plan review/conditional use permit, I will comply with Section 17.76.180 as specified above.

Signature: Susan L Wager Date: 3/19/24

Murray City Corporation
Community & Economic Development Division
4646 South 500 West
Murray UT 84123
(801) 270-2420





NOTICE OF PUBLIC HEARING

July 3rd, 2025, 6:30 PM

The Murray City Planning Commission will hold a public meeting in the Murray City Council Chambers, located at 10 East 4800 South to receive public comment on an application submitted by **Sayed Adabkhah** for the property located at **525 West 5300 South, Suite 125**. The applicant is requesting Conditional Use Permit approval to allow for the operation of an auto sales dealership.

To make comments regarding this application, the public may speak at the meeting, call the Murray City Planning Division at (801) 270-2430, or email pc@murray.utah.gov. You have received this notice because you own property within 300 feet of the subject property.

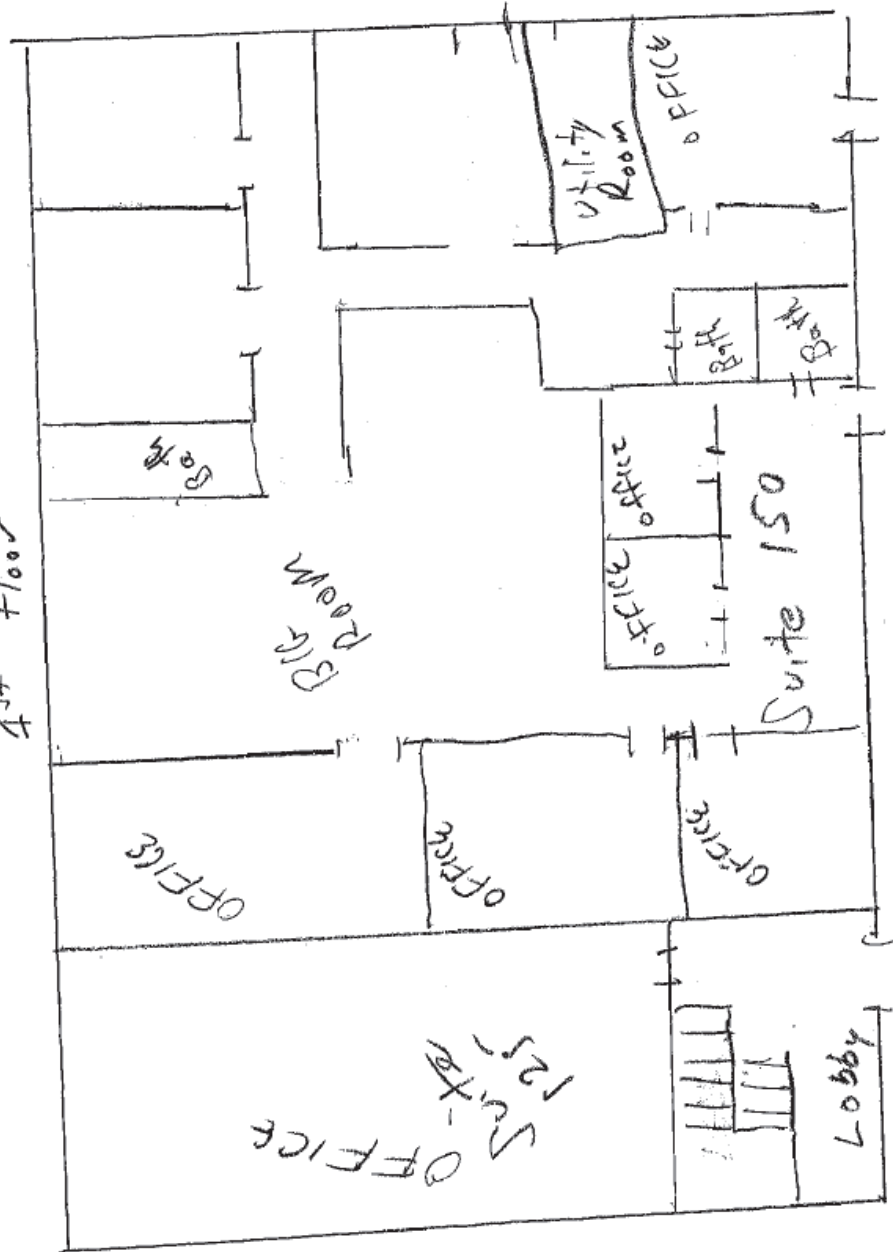
The meeting will be streamed online at www.murraycitylive.com or www.facebook.com/MurrayCityUtah/.



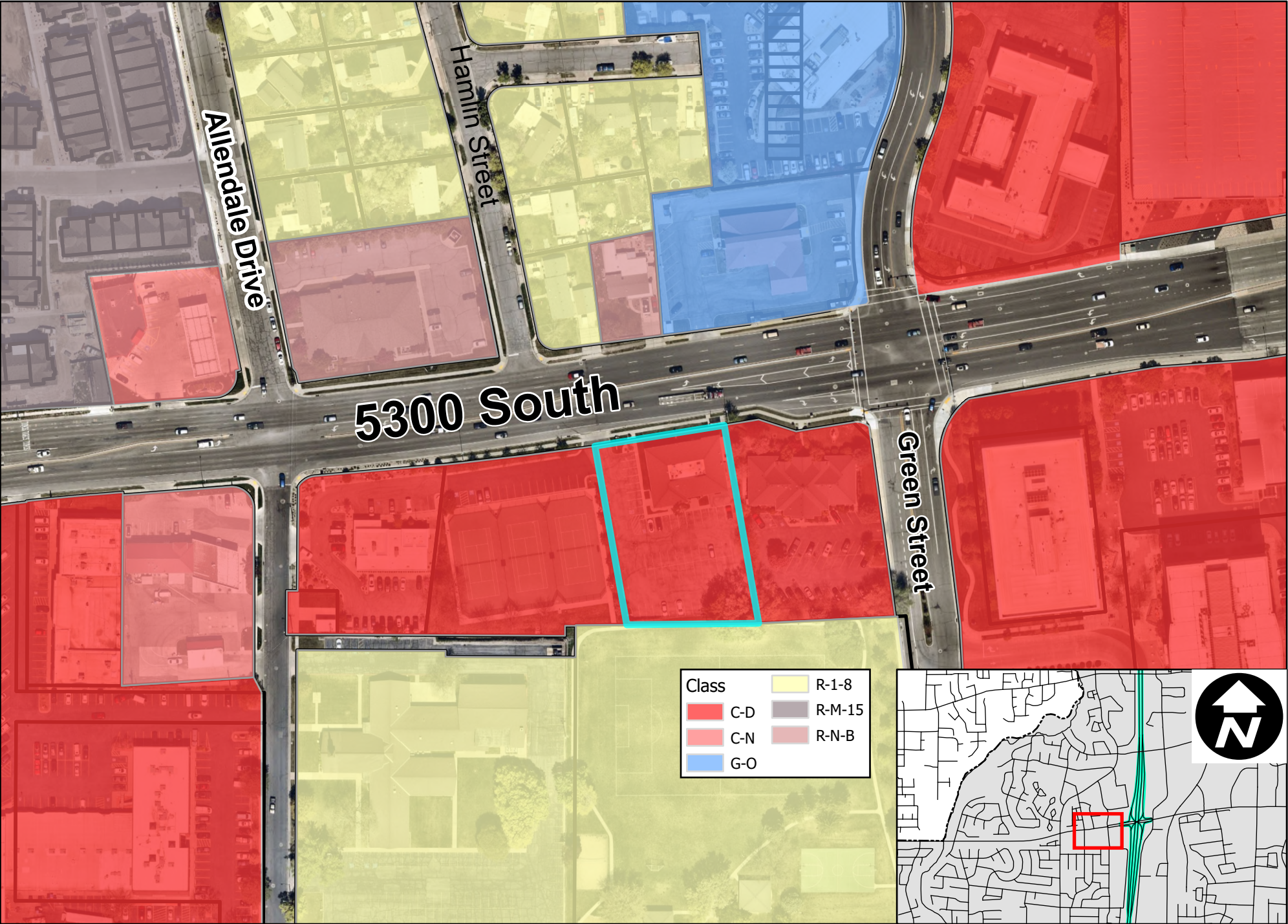
Special accommodations for the hearing or visually impaired will be upon a request to the office of the Murray City Recorder (801-264-2660). We would appreciate notification two working days prior to the meeting. TTY is Relay Utah at #711.

5300 South

4th Floor



525 West 5300 South Suite 125





AGENDA ITEM #5 – La Rana Auto Sales

ITEM TYPE:	Conditional Use Permit to allow an auto sales business		
ADDRESS:	4195 South 500 West, #30	MEETING DATE:	July 3 rd , 2025
APPLICANT:	Jose Rojas	STAFF:	Ruth Ruach, Planner 1
PARCEL ID:	21-01-126-007	PROJECT NUMBER:	#25-062
ZONE:	M-G, Manufacturing General		
SIZE:	5.37-acre site 847 ft ² unit		
REQUEST:	The applicant is requesting Conditional Use Permit approval to allow an auto sales business within the M-G Zone on the property located 4195 South 500 West, #30.		



I. LAND USE ORDINANCE

Section 17.152.030 of the Murray City Land Use Ordinance allows auto sales businesses (LU #5511) within the M-G zoning district subject to Conditional Use Permit approval.

II. BACKGROUND

Project Location

The subject property is located east of I-15 and north of Big Cottonwood Creek. The subject property is located within an area referred to as “Garco”, an area characterized by large warehouse buildings and a history of industrial and auto related uses. The proposed auto sales business will occupy an existing unit on the site. All surrounding properties are located within the M-G, Manufacturing General zoning district.

Project Description

The proposed operation aims to provide a retail outlet for vehicle sales, utilizing a portion of the existing warehouse structure, unit #30. The applicant wishes to provide a convenient location for auto sales that is compatible with the industrial character of the area and complement auto services nearby.

Landscaping

The landscaping currently on the property meets the standards outlined in the code.

Access & Parking

Based on the requirement of one space for each 250 square feet of net office space, staff calculated that three (3) parking spaces are required. Utah state licensing regulations generally require auto sales businesses to have at least three (3) spaces for display vehicles. The applicant will provide three (3) parking spaces which can be accessed via three (3) access points from 500 West.

III. LAND USE ORDINANCE STANDARDS REVIEW

Murray City Code Section 17.56.060 outlines the following standards of review for conditional uses.

- A. That the proposed use of the particular location is necessary or desirable to provide a service or facility which will contribute to the general well- being of the community and the neighborhood.**

With compliance to city regulations, the proposed use will provide a service that will contribute to the operations of an industrial and manufacturing complex.

- B. That such use will not, under the circumstances of the particular case, be detrimental to**

the health, safety or general welfare of person residing or working in the vicinity, or injurious to property or improvements in the vicinity.

The proposed use will not be detrimental to the health, safety, or general welfare of persons working in the vicinity.

- C. That the proposed use will stress quality development with emphasis towards adequate buffering, landscaping, proper parking, and traffic circulation, use of appropriate gradation of building height away from single family districts and density to create privacy and compatibility with surrounding uses, use of building materials which are in harmony with the area, impact on schools, utilities, and streets.**

Several auto businesses are located on the subject property, which shows the proposed use is compatible with other uses in the area. Staff is anticipating very little impact on the surrounding area.

- D. That the applicant may be required to provide such reports and studies which will provide information relating to adequate utilities, traffic impacts, school impacts, soil and water target studies, engineering reports, financing availability, market considerations, neighborhood support and any other information which may be needed in order to render a proper decision.**

Murray City Planning Division Staff has determined that the applicant has submitted sufficient information for an adequate review of this Conditional Use Permit application by Murray City Staff and the Murray City Planning Commission. Additional materials may be required after the Planning Commission's review or as stated in the Staff Report.

IV. CITY DEPARTMENT REVIEW

The application materials for the auto sales business were made available to Murray City department staff for review and comment on June 19th, 2025. Reviewing personnel included the Engineering and Building Divisions, and the Water, Sewer, Power, and Fire Departments. All reviewing departments recommended approval without conditions or concerns.

V. PUBLIC INPUT

Eight (8) notices of the public meeting were sent to all property owners for parcels located within 300 feet of the subject property. As of the date of this report, staff has not received any public comments.

VI. FINDINGS

Based on the analysis of the Conditional Use Permit application to allow an automobile sales business, staff concludes the following:

1. The proposed use for an auto sales business (LU #5511), is allowed in the M-G Manufacturing General Zoning District subject to Conditional Use Permit approval.
2. With conditions as outlined in the staff report, the proposed use and property will comply

with the standards of the Murray City Land Use Ordinance.

3. The proposed use is not contrary to the goals and objectives of the Murray City General Plan in this area.

VII. CONCLUSION/RECOMMENDATION

Based on the information presented in this report, application materials submitted and a site review, staff recommends that the **Planning Commission APPROVE a Conditional Use Permit to allow an auto sales business at the property addressed 4195 South 500 West #30,** subject to the following conditions:

1. The applicant shall obtain a Murray City Business License prior to beginning operations at this location.
2. The applicant shall obtain a building permit prior to any remodeling that may occur.
3. Prior to approval of the business license, the applicant and/or property owner must stripe parking.
4. The project shall comply with all applicable building and fire code standards.
5. The applicant shall obtain permits for any new attached or detached signs proposed for the business.

CONDITIONAL USE PERMIT APPLICATION

Type of Application(check one): ☐ New Construction ☐ Remodel ☐ Amendment to existing CUP
☐ Land Use Change ☐ Addition

Application Information

Project Name: La Rana Auto Sales and motor services

Project Address: 4195 S. 500 W #30 Murray City Utah 84123

Parcel Identification (Sidwell) Number: _____

Parcel Area(acres): _____ Current Use: _____ Proposed: _____

Floor Area(square feet): _____ Zoning District: _____ Land Use Code: _____

Applicant Information

Name: Maira Peña / Jose Rojas

Mailing Address: 4391 W Short leaf dr. City: West Jordan State: UT ZIP: 84088

Phone #: 801-347-6726 Fax #: _____ Email Address: larana.dealer@gmail.com

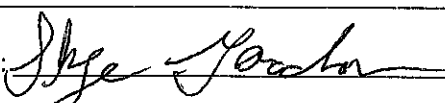
Property Owner's Information (If different)

Name: Skye Gordon

Mailing Address: PO Box 571367 City: SLC State: UT ZIP: 84157

Phone #: 801-688-3325 Fax #: _____ Email Address: _____

Describe the request in detail (use additional pages, or attach narrative if necessary):

Authorized Signature:  Date: 6-10-2025

For Office Use Only

Project Number: PZ-25-062 Date Accepted: 06/11/2025

Planner Assigned: RWH

OWNERS CERTIFICATION FORM
(To Be Complete and Signed by Property Owner)

Property Owner Name: Skye Gordon Phone: 801-688-3305

Property Address: 4195 S. 500 W. Murray, UT 84123

Name of Organization/Business: S.C.W. Development

Contact Person: _____ Phone: _____

Address: _____ City: _____ UT Zip _____

Email address: SCWUtah@outlook.com

Project Description: _____

Additional information or comments:

Per City Code Section 17.76.180: Multi Warehouse Facilities:

A. Owners Certification: Upon application for planning and zoning commission or community development division approval for each tenant of a multiuse warehouse facility, the owner's affidavit must reflect in addition to other required information:

1. Certification that the Owners property complies in all respects to all applicable zoning ordinances; and
2. Where applicable, further certification that the Owner's property will comply with any further conditions imposed as a result of each tenant's application for approval.

B. Parking Stalls: Each tenant shall have designated parking stalls meeting all city, state and federal requirements, including signage clearly assigning the required number of stalls to each tenant's business.

As owner of the property being considered for site plan review/conditional use permit, I will comply with Section 17.76.180 as specified above.

Signature:  Date: 6-10-2025

Murray City Corporation
Community & Economic Development
10 East 4800 South, Suite 260
Murray, UT 84107
(801) 270-2430

Property Owners Affidavit

I (we) Skye Gordon, being first duly sworn, depose and say that I (we) am (are) the current owner of the property involved in this application: that I (we) have read the application and attached plans and other exhibits and are familiar with its contents; and that said contents are in all respects true and correct based upon my personal knowledge.

Skye Gordon
Owner's Signature

Owner's Signature (co-owner if any)

State of Utah

§

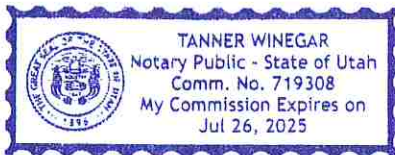
County of Salt Lake

Subscribed and sworn to before me this 10 day of June, 2025.

[Signature]
Notary Public

Residing in Murray, Utah

My commission expires: July 26, 2025



Agent Authorization

I (we), Skye Gordon, the owner(s) of the real property located at 4195 S. 500 W. in Murray City, Utah, do hereby appoint _____, as my (our) agent to represent me (us) with regard to this application affecting the above described real property, and authorize _____ to appear on my (our) behalf before any City board or commission considering this application.

Skye Gordon
Owner's Signature

Owner's Signature (co-owner if any)

State of Utah

§

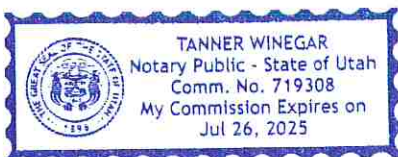
County of Salt Lake

On the 10 day of June, 2025, personally appeared before me Tanner Winegar the signer(s) of the above Agent Authorization who duly acknowledge to me that they executed the same.

[Signature]
Notary public

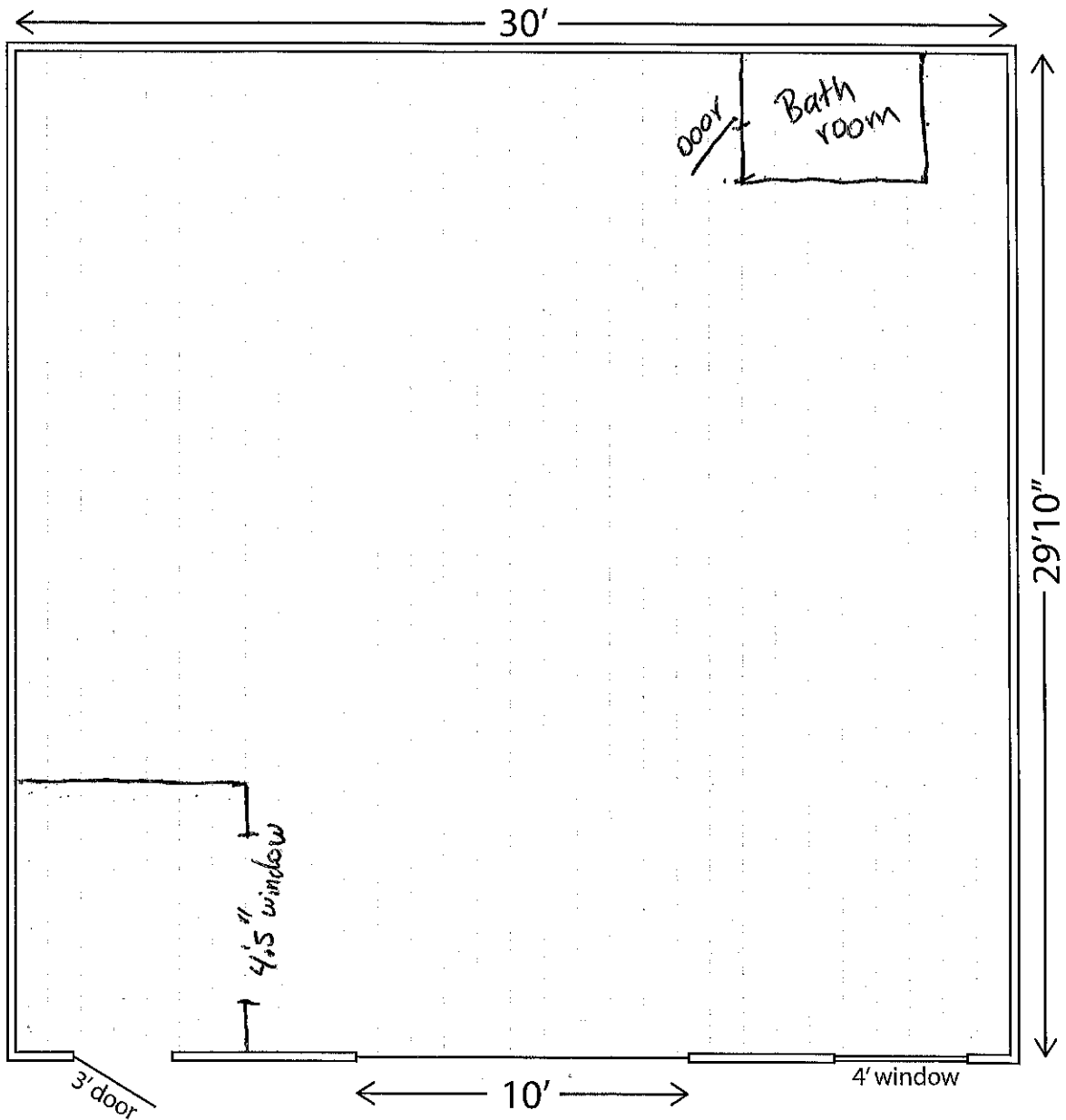
Residing in: Murray, Utah

My commission expires: July 26, 2025



4195 South 500 West
Unit 30

Standard Unit
Floorplan



1 inch = 5 feet

3 Parking stalls
— ADA stalls

- ☒ Fire Sprinklers
- ☐ Spray Booth
- ☐ Grease Trap

Garco Unit Numbers 4195 South 500 West





NOTICE OF PUBLIC HEARING

July 3rd, 2025, 6:30 PM

The Murray City Planning Commission will hold a public meeting in the Murray City Council Chambers, located at 10 East 4800 South to receive public comment on an application submitted by **Jose Rojas** for the property located at **4195 South 500 West, #30**. The applicant is requesting Conditional Use Permit approval to allow for the operation of an auto sales dealership.

To make comments regarding this application, the public may speak at the meeting, call the Murray City Planning Division at (801) 270-2430, or email pc@murray.utah.gov. You have received this notice because you own property within 300 feet of the subject property.

The meeting will be streamed online at www.murraycitylive.com or www.facebook.com/MurrayCityUtah/.



Special accommodations for the hearing or visually impaired will be upon a request to the office of the Murray City Recorder (801-264-2660). We would appreciate notification two working days prior to the meeting. TTY is Relay Utah at #711.

4195 South 500 West #30





AGENDA ITEM #5 Holy Protection Orthodox Church

ITEM TYPE:	Site Plan Approval for a Church		
ADDRESS:	6109 South 900 E	MEETING DATE:	July 3 rd , 2025
APPLICANT:	Travis Sheppard, GSBS Architects	STAFF:	David Rodgers, Senior Planner
PARCEL ID:	22-17-319-032-4001 & 22-17-379-032-4002	PROJECT NUMBER:	25-050
ZONE:	G-O, General Office		
SIZE:	8,076 sq. ft. building, .53-acre site		
REQUEST:	The applicant is requesting site plan approval for construction of a new 8,076 sq. ft. church building.		



I. LAND USE ORDINANCE

Sections 17.54.020 and 17.144.040 of the Murray City Land Use Ordinance require new construction and significant modifications of existing buildings and sites in the G-O Zone to be reviewed and approved by the Planning Commission.

II. BACKGROUND

Project Location

The proposed building will be located on the east side of 900 East and south of 5900 South/Vine Street. The Site is currently vacant and adjacent to an office space and single-family neighborhoods.

Surrounding Land Use and Zoning

<u>Direction</u>	<u>Land Use</u>	<u>Zoning</u>
North	Office	G-O
South	Vacant	A-1
East	Low Density Residential	A-1
West	Low Density Residential	R-1-8

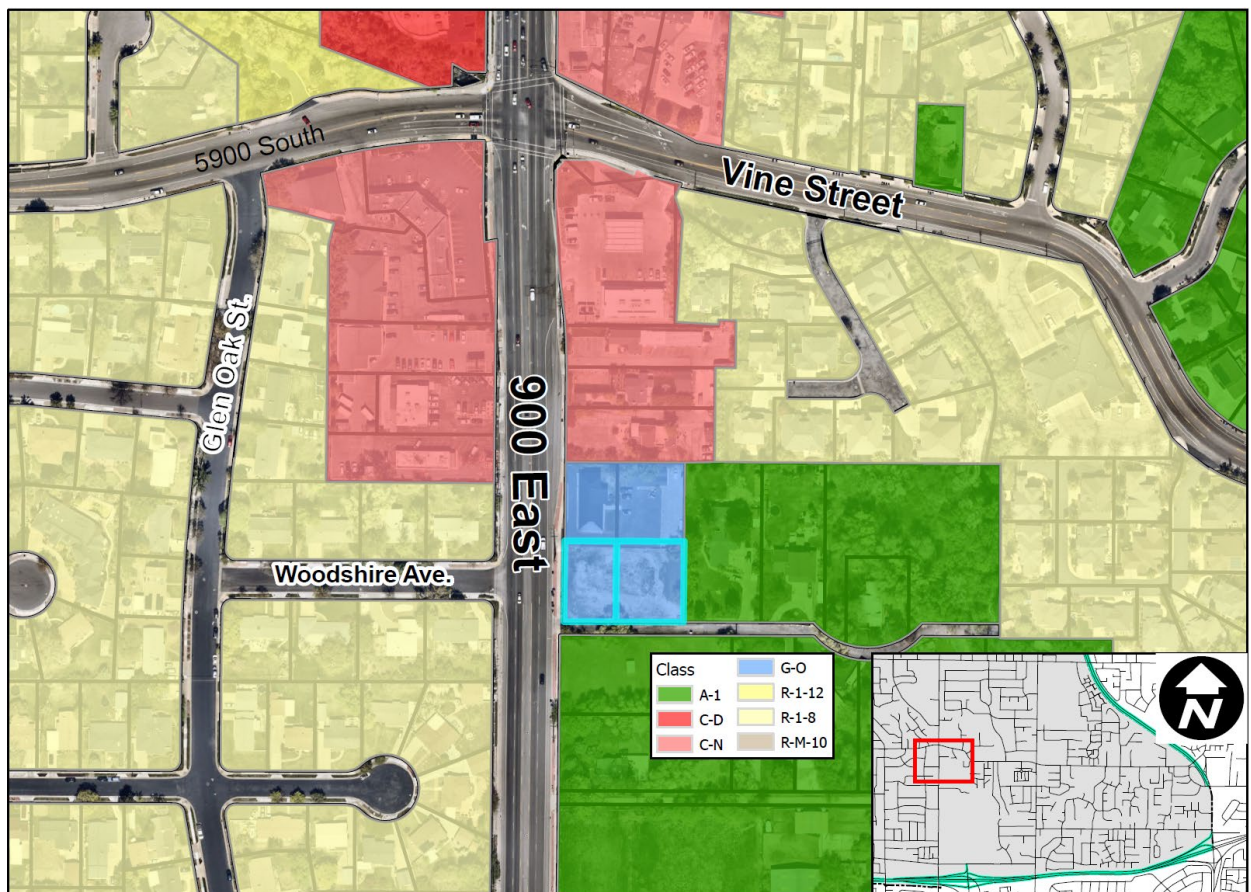


Figure 1: Zoning Map

Project Description & Review

Access & Circulation

This site faces 900 East and will be accessed via a private road to the south of the property. There is an existing right of way easement that allows them access to the private road which has been included in your packet for you to review. Murray City Engineering and Fire are requesting that the private land adjacent to the proposed building be paved to 20' to accommodate two-way traffic and will be a condition of approval. Staff will work with the applicant to ensure that the paving occurs prior to the issuing of the building permit.

Height

Code Section 17.144.100 states that the height of a structure located within one hundred feet (100') of the nearest boundary of a residential zone district may not exceed thirty feet (30'). Beyond one hundred feet (100'), the building height may increase one foot (1') of height for each additional four feet (4') of setback from the residential zone district. The height of the church building is shown to be twenty-three feet (23') excluding the dome, which is exempt from height requirements per Code Section 17.76.080. Staff finds the height complies with the standards of the G-O zone.

Fencing

Code Section 17.144.140 states that where the site abuts a residential zone, a six foot (6') high solid masonry wall shall be located on the property line. The proposed plans do not show a six-foot (6') wall between the site and the adjacent residential property. This requirement will be added as a condition of approval and must be shown prior to the issuance of a building permit.

Parking

The parking standard for churches in the G-O Zone is as follows: 1 parking space for each 3 1/2 seats, 1 parking space for each 7 feet of linear pew, or 1 space for every 25 square feet of floor space area where temporary seating can be located. The applicant has indicated that there will be 19 seven-foot (7') pews and has provided 19 on-site parking stalls. This meets code requirements. Due to the church being accessed via a private lane, all parking for attendees must be located on site and cannot spill over onto the street.

Though the applicant meets the required spaces, staff encourages the applicant to obtain additional parking from the property owner to the north for any special events, or large gatherings so that there is a lessened impact to the neighboring single-family dwellings to the east.

Use	Required	Provided
Church & Office	1 parking space for each 3 1/2 seats, 1 parking space for each 7 feet of linear pew, or 1 space for every 25 square feet of floor space area where temporary seating can be located.	19

III. CITY DEPARTMENT REVIEW

A Planning Review meeting was held on June 17th, 2025, where the proposed Church was reviewed and discussed by Murray City department staff. The following comments have been provided by the departments that were in attendance:

- The Murray City Engineer provided the following comments:
 1. Meet City storm drain requirements, on-site detention and water quality treatment is required. Implement Low Impact Development practices where applicable.
 2. Provide a formal drainage and LID report.
 3. Provide site geotechnical report.
 4. Replace any damaged sidewalk along the 900 East frontage.
 5. Avoid parking on 900 East.
 6. Increase the private lane paved width to 20' min. to accommodate two-way traffic. The width should be increase on the north side of the lane/right-of-way.
 7. Locate and protect the existing private water service located on the north side of the property.
 8. Obtain UDOT encroachment permit for work in the 900 East right-of-way.
 9. Develop a site erosion control plan and implement prior to beginning any site work.
- The Murray City Fire Department provided the following comments:
 - Occupancy type and load sprinklers and alarm, if alarmed or sprinklered will need knox box and locking caps.
 - Type-I hood if cooking with grease laden product.
 - Per International Fire Code at minimum need 20' for fire department access road (Ch5).
 - If roof surface exceeds 30', aerial fire apparatus access roads shall have unobstructed 26' width if in the immediate vicinity of the building or portion thereof (Appendix D).
- The Murray City Water Division provided the following comments:
 - Water service provider is Jordan Valley Water Conservancy District.
 - Project is with within a ground water source protection zone (4) of one of Murray's water sources. Store chemicals properly (On impervious surfaces, indoors, shelves) Use secondary containment for tanks larger than 55 gallons. Notify the city in the event of a leak or spills.
- The Murray City Wastewater Division provided the following comments:

- New building will tie into Cottonwood Improvement District System (CID). All sewer work must meet Cottonwood Improvement District specification and be approved by CID
- Utility sheet comments on C4.01 refer to Mt. Olympus Improvement district standards, should be Cottonwood Improvement District.

The preceding comments are addressed as conditions of approval in the final section of this report.

IV. PUBLIC INPUT

Twenty-seven (27) notices were mailed to property owners within a 300' radius and to affected entities. As of the writing of this report, staff has had in-person discussion with two residents at the counter and told them they are welcome to attend the Planning Commission meeting.

V. FINDINGS

Based on the analysis of the application, materials submitted, site visits, and a survey of the surrounding area, Staff concludes the following:

1. The proposed use is consistent with the goals and objectives of the Murray City General Plan.
2. With conditions, the proposed plan meet the requirements of the Murray City Land Use Ordinance.
3. With conditions, the proposed plan will enhance the visual and physical appearance of one of Murray's most important connectivity centers per the Murray City General Plan.
4. With conditions, the proposed plan will promote the continuance of making 900 East a more vibrant area of Murray City.

VI. CONCLUSION/RECOMMENDATION

Based on the information presented in this report, application materials submitted and a site review, staff recommends that the **Planning Commission GRANT Site Plan approval for the proposed Holy Protection Orthodox Church for the property addressed 6109 South 900 East** subject to the following conditions:

1. The applicant shall meet all Murray City Engineering requirements.
2. The applicant shall meet all Fire Department requirements.
3. The applicant shall meet all Water Division requirements.
4. The applicant shall meet all Wastewater Division requirements.
5. The applicant shall obtain a building permit prior to any construction occurring on the site.
6. The applicant shall work with Murray City staff to locate a twenty-foot (20') paved access drive.

7. The applicant must show a six-foot masonry wall on the property line that is adjacent to the residential zone prior to the issuance of the building permit.
8. The applicant shall meet all landscaping requirements of Chapter 17.68 of the Murray City Land Use Ordinance including the additional street frontage landscaping prior to Planning approval of a building permit.
9. Meet all parking requirements of Chapter 17.72, including ADA stall regulations.
10. The applicant shall meet all sign requirements of Chapter 17.48 and obtain separate building permits for all signage.



Application for a Site Plan Review

Overview:

A site plan is an illustration from a “birds-eye view” of a development plan for one or more lots on which is shown the existing and proposed conditions of the lot, including, vegetation, drainage, flood plain, wetlands and waterways; landscaping and open space; walkways; means of ingress and egress; circulation; utility services; structures and buildings; signs and lighting; buffers, and screening devices; surrounding development; and any other information that reasonably may be acquired in order that an informed decision can be made by the City.

The site plan review process is designed to ensure that any proposed development or land use will comply with current city ordinances as well as the goals and objectives stated within the Murray City General Plan.

Application Submittal:

Applications for a site plan review may be submitted to the Murray City Community & Economic Development Department, located at 10 East 4800 South Suite 260. Planning staff will review the application and obtain payment after the application has been deemed complete. Planning staff has up to fifteen (15) business days to determine if the application is complete. Applicants will be notified in writing of an incomplete application with information required to correct any deficiencies. This may delay processing of the application and, if required, subsequent scheduling of public hearings.

- ☐ **Take Note.** If there is an existing building on the property that is proposed to be demolished or remodeled, and the building is over 50 years old, it may require review by the Historic Preservation Board. Please contact Lori Edmunds at (801) 264-2620 for additional information.

Application Fee (non-refundable):

- Site Plan Review fee: \$200.00

Application Process:

Step 1. Contact the Planning Division: Meet informally with a member of the planning staff to discuss your proposal and review the issues, procedures and fees associated with the application.

Step 2. Submit Application: For all site plan applications, please submit the following information, ensuring each item is either checked off or marked ‘NA’ if not applicable. For each ‘plan’ submitted, include at least one (1) 11x17 copy (or larger if requested by staff) and a digital PDF.

Required for all applications:

- ☒ 1. Completed site plan review application form.
- ☒ 2. Property Owner’s Affidavit (i.e. a written statement made before a notary).
- ☒ 3. If the property owner is to be represented by an “agent” during meetings with the City, please complete and submit the Agent Authorization form.
- ☒ 4. Payment of application fee.
- ☒ 5. Site Plan. The site plan should include the following information:
 - ☒ a. Include the project name and exact street address.

- X b. Accurate dimensions of the subject property, drawn to scale (i.e. 1"=10', 1"=30', etc.), with north arrow and date of drawing.
 - X c. Property lines, adjoining streets, right-of ways, waterways, easements, etc. with dimensions.
 - X d. Location and dimension of existing and proposed buildings, entries and exits, driveways, parking areas, landscape areas, sidewalks, retaining walls, fences, exterior lighting, dumpster enclosures, etc.
 - X e. Location of existing property features such as streets, canals, ditches, waterways, hillsides, wetlands, flood plain, etc.
- X 6. Floorplans. Include both existing and proposed floor plans. Indicate the scale (i.e. 1/8"=1', 1/4"=1', etc.) used on the plans.

Required for new buildings and site improvements:

- X 1. Grading and Drainage Plan. A preliminary grading and drainage plan is required showing the road and lot layout; topography at two-foot contour intervals; north arrow; subdivision name; areas of substantial earth moving with erosion control plan; location of existing water courses, canals, ditches, springs, culverts, and storm drains; location of any 100-year flood plain designated by FEMA; show water flow directions, inlets, outlets, catch basins, waterways, culverts, detention basins, orifice plates, outlets to off-site facilities; existing wetlands;
- X 2. Utility Plan. A preliminary utility plan may be required showing the road and lot layout; north arrow; subdivision name; show all existing and proposed utilities including sewer, water, fire hydrants, storm drains; subsurface drains, gas lines, power lines (existing only); street lights, location and dimensions of all utility easements;
- X 3. Building elevations. These must be dimensioned to show an accurate representation of the proposed building. Provide a summary of the type of building materials which will be used for all structures. Indicate the scale (i.e. 1/8"=1', 1/4"=1', etc.) used on the elevation.
- X 4. Preliminary Landscape Plan. This must include:
- X a. Areas to be planted in lawn;
 - X b. Specific locations for each existing and proposed shade, evergreen, ornamental or fruit tree;
 - X c. Areas to be planted in shrubs;
 - X d. Areas to be planted as flower beds or with living ground covers;
 - X e. Areas for non-living landscape materials (i.e. boulders, cobblestones, bark, etc.);
 - X f. Ten (10) feet of landscaping is required along all frontage areas not occupied by drive access.

Additional Information:

The applicant may be required to provide such reports and studies which will provide information relating to adequate utilities, traffic impacts, school impacts, soil and water target studies, engineering reports, financing availability, market considerations, neighborhood support and any other information which may be needed in order to render a proper decision.

All plans submitted with the application will not be returned to the applicant and are the property of Murray City.

Step 3. Murray City Department Review: The application is routed to various departments and divisions within Murray City who provide insight or information to the Planning Commission and/or staff to help make an informed decision. If there are unique circumstances that require additional information, a meeting may be requested by the City to be held in person on Tuesday's at 9 am. The applicant will be notified ahead of time if attendance is required.

Step 4. Planning Staff Decision: Approximately fifteen (15) business days after the application is sent to be reviewed by Murray City Departments (Step 3) planning staff will issue a decision to approve, approve with conditions or deny the site plan. Please be advised that this decision does not grant permission to proceed without full review, appropriate approvals, and compliance with all city codes.

Step 5. Attend Planning Commission Meeting (if required): The applicant will be sent a copy of the planning commission agenda and staff recommendation in advance of the meeting date. The agenda will give the date, time, and location of the meeting. The applicant or an authorized representative must be in attendance at the meeting. If the applicant or the representative is not present, the Planning Commission may move on to the next agenda item. It is the applicant's responsibility to reschedule another hearing date. The applicant should be prepared to present the proposal in detail and answer questions from the Planning Commission members and other interested parties. The Planning Commission will then make a motion to approve or deny the request.

Appeal of Decision:

The City, an applicant, or an adversely affected party may appeal a final written decision made by the Planning Commission or staff to the Hearing Officer. Appeals must be in writing and received by the Planning Division within ten (10) calendar days of the Commission's written decision. Appeals must contain all pertinent documents and state the reason(s) for the appeal. Payment of a fee is required at the time of filing.

SITE PLAN REVIEW APPLICATION

Type of Application(check one): ☒ New Construction ☐ Remodel
☒ Land Use Change ☐ Addition

Application Information

Project Name: Holy Protection Orthodox Church

Project Address: 6109 S 900 E

Parcel Identification (Sidwell) Number: 22-17-379-032-4001 & 22-17-379-032-4002

Parcel Area(acres): .53 Current Use: Vacant Proposed: Church

Floor Area(square feet): 8,076 Zoning District: G-O Land Use Code: 6911

Applicant Information

Name: Travis Sheppard

Mailing Address: GSBS Architects, 375 W 200 S City: Salt Lake City State: Utah ZIP: 84101

Phone #: 801-521-8600 Fax #: _____ Email Address: tsheppard@gsbsarchitects.com

Property Owner's Information (If different)

Name: Greg Adondakis

Mailing Address: 2457 E Walker Lane City: Murray State: Utah ZIP: 84117

Phone #: (801) 949-4924 Fax #: _____ Email Address: gadondakis@vfi.net

Describe the request in detail (use additional pages, or attach narrative if necessary):

We are submitting this Site Plan Review application for a new building located within the G-O (General Office) zoning district of Murray City. Per our correspondence with Planning Staff, we understand that both church services and associated office space are permitted uses in this zone. This application is being submitted in compliance with the requirement for Planning Commission review of new buildings in the G-O zone. We appreciate the opportunity to move forward and look forward to working with the City throughout the review process.

Authorized Signature:  Date: 6/27/2025

For Office Use Only

Project Number: _____ Date Accepted: _____

Planner Assigned: _____

Property Owners Affidavit

I (we) Greg Adondakis, being first duly sworn, depose and say that I (we) am (are) the current owner of the property involved in this application: that I (we) have read the application and attached plans and other exhibits and are familiar with its contents; and that said contents are in all respects true and correct based upon my personal knowledge.

[Signature]
Owner's Signature

Owner's Signature (co-owner if any)

State of ~~Utah~~ Arizona

County of ~~Salt Lake~~ Maricopa

Subscribed and sworn to before me this 29th day of April, 2025.

[Signature]
Notary Public

Residing in Arizona

My commission expires: 02/20/2029



Agent Authorization

I (we), Greg Adondakis, the owner(s) of the real property located at 6109 S 900 E in Murray City, Utah, do hereby appoint Travis Sheppard, as my (our) agent to represent me (us) with regard to this application affecting the above described real property, and authorize Travis Sheppard to appear on my (our) behalf before any City board or commission considering this application.

[Signature]
Owner's Signature

Owner's Signature (co-owner if any)

State of ~~Utah~~ Arizona

County of ~~Salt Lake~~ Maricopa

On the 29th day of April, 2025, personally appeared before me Greg Adondakis the signer(s) of the above *Agent Authorization* who duly acknowledge to me that they executed the same.

[Signature]
Notary public

Residing in: Arizona

My commission expires: 02/20/2029





NOTICE OF PUBLIC MEETING

July 3rd. 2025, 6:30 PM

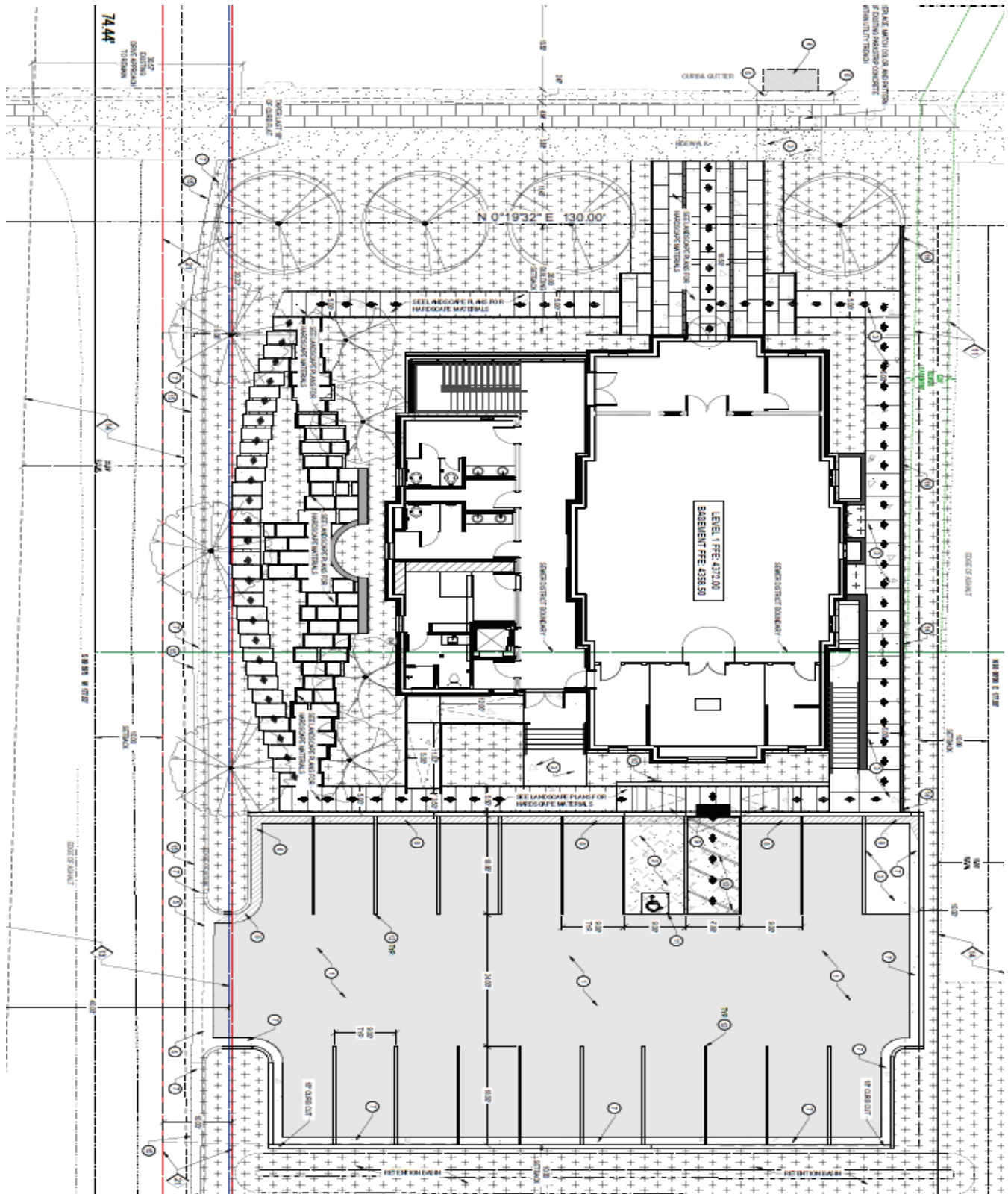
The Murray City Planning Commission will hold a public hearing in the Murray City Municipal Council Chambers, located at 10 East 4800 South to receive public comment on the following application:

Holy Protection Orthodox Church are requesting Site Plan Approval for the construction of a new building for church services and associated offices located at 6109 South 900 East.

To make comments regarding this proposal the public may do so at the meeting, by calling Murray City Planning Division at (801) 270-2430, or email pc@murray.utah.gov. You have received this notice because you own property within 500 feet of the subject properties.

The meeting will be streamed online, at www.murraycitylive.com or www.facebook.com/MurrayCityUtah/.

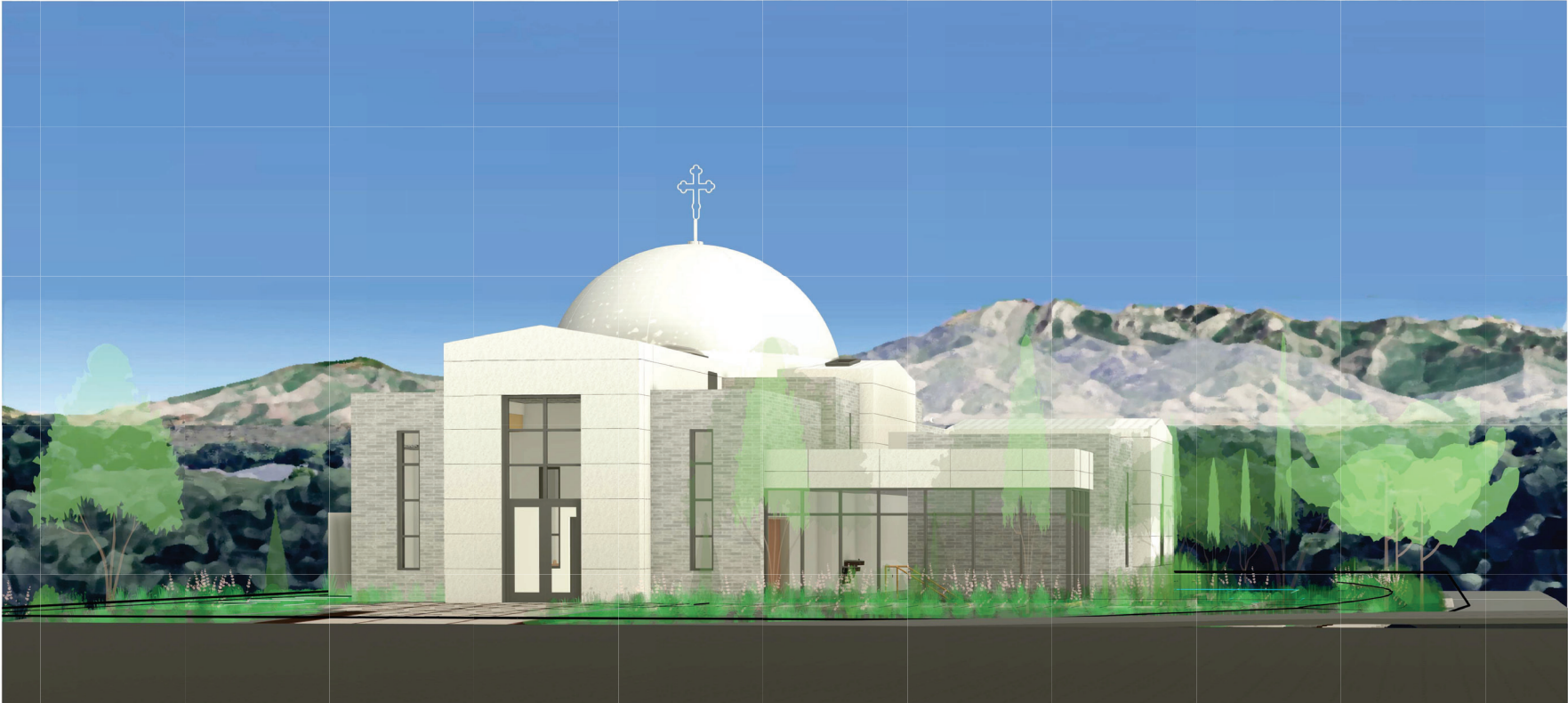




Special accommodations for the hearing or visually impaired will be upon a request to the office of the Murray City Recorder (801-264-2660). We would appreciate notification two working days prior to the meeting. TTY is Relay Utah at #711.

HOLY PROTECTION ORTHODOX CHURCH

SITE PLAN REVIEW



HOLY PROTECTION
ORTHODOX
CHURCH

6109 900 E. Murray, UT 84121

Greg & Tara Adondakis

2457 Walker Ln S.
Holladay, UT 84117
GSBS PROJECT NO.: 2024.012.00
ISSUED DATE: 05/09/2020



REVISIONS

GENERAL NOTES:
ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
SEE ARCHITECTURAL SITE PLAN FOR ADDITIONAL INFORMATION.
SEE LANDSCAPE PLANS FOR IRRIGATION AND PLANTING.
ALL WORK TO COMPLY WITH GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.

KEYED NOTES

KEYED NOTES:
 PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR
 REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:

<p>①</p> 	<p>STANDARD DUTY ASPHALT PAVEMENT WITH GRANULAR BASE PER DETAIL 'E', SHEET C8-01.</p>
<p>②</p> 	<p>CONCRETE PAVEMENT WITH GRANULAR BASE PER DETAIL 'D', SHEET C8-01.</p>
<p>③</p> 	<p>CONCRETE SIDEWALK, PER APCA PLAN NO. 231.</p>

ASPHALT PATCH, 12" OF GRANULAR BORROW, 6" UNTREATED BASE COURSE AND 1" OF PG GRADE

- ③ 36" WIDE CONCRETE WATERWAY. SEE DETAIL 14, SHEET C03.
- ④ BITE-ON AND REPLACE 36" CURB AND GUTTER IN UTILITY TRENCH FOR LOT 20. SEE Dwg. NO. 018-2A TYPE III.
- ⑤ 24" CONCRETE CURB AND GUTTER. SEE DETAIL 17, SHEET C03.
- ⑥ 24" CONCRETE RELEASE CURB AND GUTTER. SEE DETAIL 17, SHEET C03.
- ⑦ ADA-BAR WITH DETECTABLE WARNING SURFACE. SEE ASPHA PLAN NO. 236, FOR BAR/DET. AND ASPHA PLAN NO. 238 FOR DETECTABLE WARNING SURFACE DETAIL.
- ⑧ VMS ACCESSIBLE ADA PARKING SIGN. SEE DETAIL 17, SHEET C03.
- ⑨ PAVED ADA SYMBOL. SEE DETAIL 17, SHEET C03.
- ⑩ 4" WIDE SOLID WHITE PARKING STRIP, STRIP LINES.
- ⑪ 4" WIDE SOLID WHITE PEDESTRIAN STRIP LINES.
- ⑫ REPAIRING BUILT THE STRUCTURAL PLANS FOR DETAILS.
- ⑬ ASPHALT PAVEMENT SEE IN OTHER ASPHA PLAN 231.
- ⑭ ACCESSIBLE ROUTE WITH MAXIMUM 14 CROSS-SLOPE AND MAXIMUM 1:20 SIDEWALK SLOPE.

SCHEDULE B-2 EXCEPTIONS:
FROM ALTA SURVEY. SEE SURVEY FOR COMPLETE DETAILS.

As asserted on or before the Land for Water and Inland/Coastal projects, as granted to Caskey C. Middleby by Instrument recorded October 4, 1974 and Easement No. 205624-0 of Public Records 37th of Official Records (shown on survey).

As asserted on or before the Land for Water/Easement recorded August 1, 1975 and Survey No. 272032-1 of Public Records 37th of Official Records (shown on survey).

As asserted on or before the Land for Water/Easement recorded August 1, 1975 and Survey No. 272032-1 of Public Records 37th of Official Records (shown on survey).

As asserted on or before the Land for Water and Inland/Coastal Easement recorded August 1, 1975 and Survey No. 272032-1 of Public Records 37th of Official Records (shown on survey).

Terms, conditions and provisions contained within Maintenance Agreement dated February 1, 1980 recorded in Block 105, 1980 as Entry 4743237 in Block 1058 of Public Records 37th of Official Records (shown on survey).

(The following exception affects Northdry and Southdry portion of the property).

As a right of way as shown and declared by that certain Qu-Quam Deed recorded January 25, 1989 as Entry 10388323 in Block 1052 of Public Records 37th of Official Records (shown on survey).

As a right of way as shown and declared by that certain Warranty Deed recorded June 28, 1981 as Entry 1730023 in Block 1051 of Public Records 37th of Official Records (shown on survey).

As a right of way as shown and declared by that certain Warranty Deed recorded June 28, 1981 as Entry 1730023 in Block 1051 of Public Records 37th of Official Records (shown on survey).

SITE PLAN REVIEW

HOLY PROTECTION
ORTHODOX
CHURCH

6109 SOUTH 900 EAST
MURRAY, UTAH 84121

MCNEIL PROJECT NO.:	24746
GSBS PROJECT NO.:	2024.022.00
ISSUED DATE:	04/28/2025
CIVIL SITE PLAN	



C1.01 | REV



REVISIONS:

GENERAL NOTES:

1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS OF THE LOCAL AGENCIES. IF AVAILABLE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL ENCAUSTED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557 EXCEPT UNDER BUILDING FOUNDATION WHERE IT SHALL BE 98% MIN. OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 2% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER. VERIFYING THAT ALL FILLED AREAS AND UNDERGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS OF PAVED DRIVE AREAS ARE COMPACTED TO THE REQUIRED DENSITIES WITH THESE PLANS AND SPECIFICATIONS. RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.

THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. SPECIFIC DETAILS SHOWN ON SHEET C2-10 SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES.

EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT.

ALL ELEVATIONS SHOWN AT TOP AND BOTTOM OF WALL(S), IF ANY, ARE ELEVATIONS AT FINISH GRADE, UNLESS OTHERWISE NOTED.

KEYED NOTES:
 PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR
 REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS.

- ① GRASS SITE TO ELEVATIONS AND CONTOURS SHOWN ON PLAN.
 - ② STORM DRAIN BANK WITH HEAVY DUTY BICYCLE GRADE SAFE FOR ASPHALT PLAN 375.1
 - ③ STORM DRAIN INLET WITH HEAVY DUTY BICYCLE GRADE SAFE. SEE DETAIL 10. SHEET C-3.
 - ④ 12" DRAINHOPE ROOF DRAIN LINE. SEE AREA PLAN NO. 38.1.30 FOR TRENCHING DETAIL.
 - ⑤ 4" DRAINHOPE ROOF DRAIN LINE COLLECTORS AT 12% MIN. SLOPE.
 - ⑥ FOUNDATION DRAIN AROUND THE PERIMETER ABSTRACT FOOTING. SEE GEOLOGICAL REPORT FOR FOOTING FOUNDATION DRAIN DETAIL.
 - ⑦ FOUNDATION DRAIN DUXIP SUMP WITH HIGHWATER ALARM, CONTROL PANEL, AND PUMP AS SHOWN ON PUMPS AND ELECTRICAL. FOR MANUFACTURER SPECIFICATIONS.
 - ⑧ ASSESS STRUCTURAL AND UNDERGROUND STOPPING CONDITIONS INCLUDING ALL ASSESSMENT ITEMS. SEE DETAILS ON SHEET C-3.5.
- | | |
|------------------|----------|
| TOP GRAVEL | 400.00 |
| TOP CHANGERS | 404.50 |
| BOTTOM CHANGERS | 401.75 |
| SECTION OF STONE | 402.00 |
| DESIGN VOLUME | 4,234 CF |
| PROPOSED VOLUME | 1,164 CF |

SEE SHEET CD.01 FOR ADDITIONAL ABBREVIATIONS

-BSE	BASEMENT FLOOR ELEVATION
-FNG	FINISH GRADE AT BOTTOM OF WALL
-EX or EXIST	EXISTING
-EDA	EDGE OF ASPHALT
-ECG	EDGE OF CONCRETE
-FFE	FINISH FLOOR ELEVATION
-FNG	FINISH GRADE
-FL	FLOW LINE
-GB	GRADE BREAK
-HP	HIGH POINT
-LWP	LOW POINT
-NG	NATURAL GROUND
-SDC	STORM DRAIN CATCH BASIN
-SDR	STORM DRAIN CLEANOUT BOX
-SDSB	STORM DRAIN BASK
-SDMB	STORM DRAIN MANHOLE
-TGB	TOP BACK OF CURB
-TGA	TOP OF ASPHALT
-TGC	TOP OF CONCRETE
-TGG	TOP OF GRADE
-TGW	TOP OF WALL
-FNG	FINISH GRADE AT TOP OF WALL
-WAT	WATERWAY

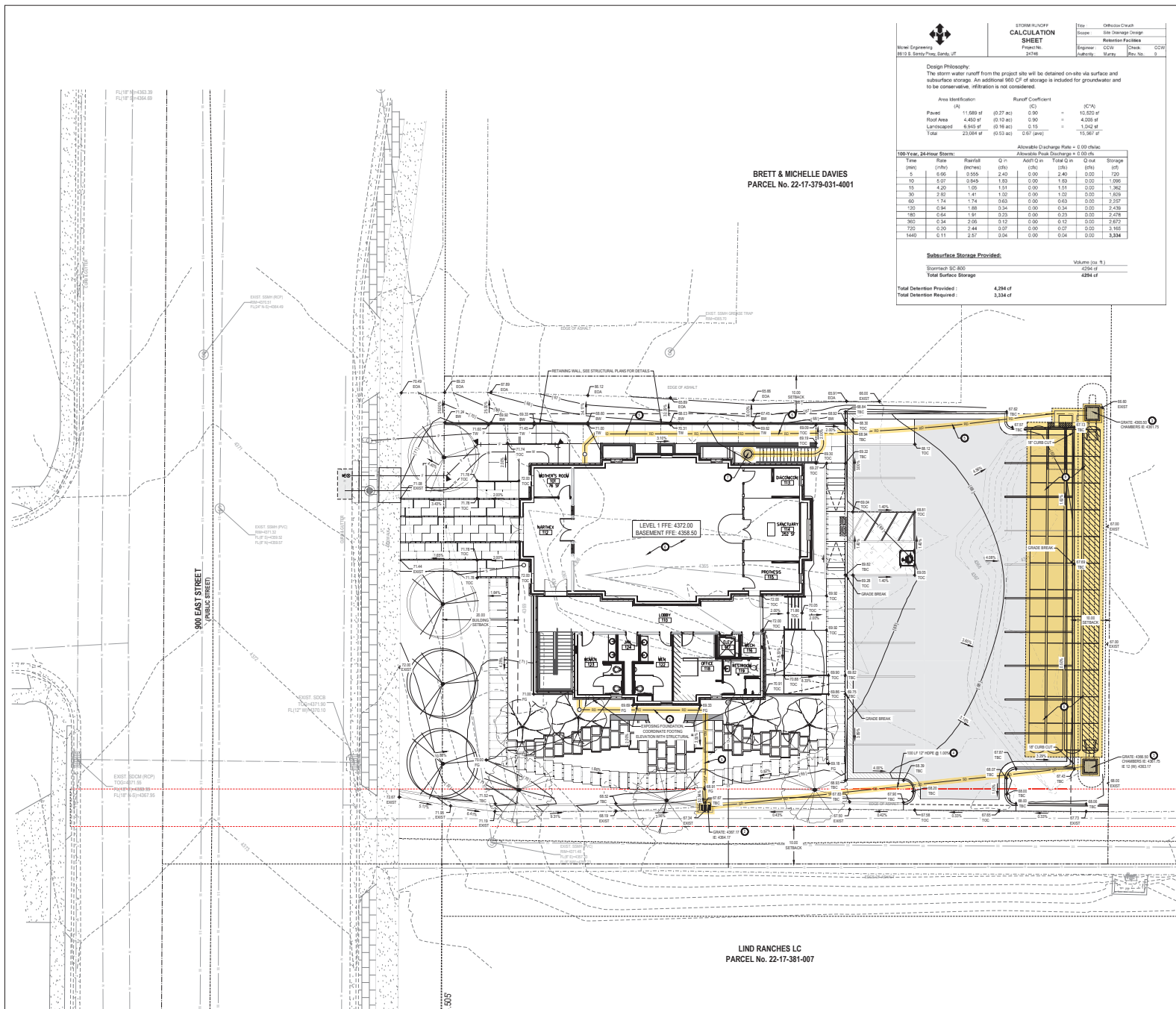
HOLY PROTECTION
ORTHODOX
CHURCH

6109 SOUTH 900 EAST
MURRAY, UTAH 84121

MCNEIL PROJECT NO.: 24746
GSBS PROJECT NO.: 2024.022.00
ISSUED DATE: 04/28/2025

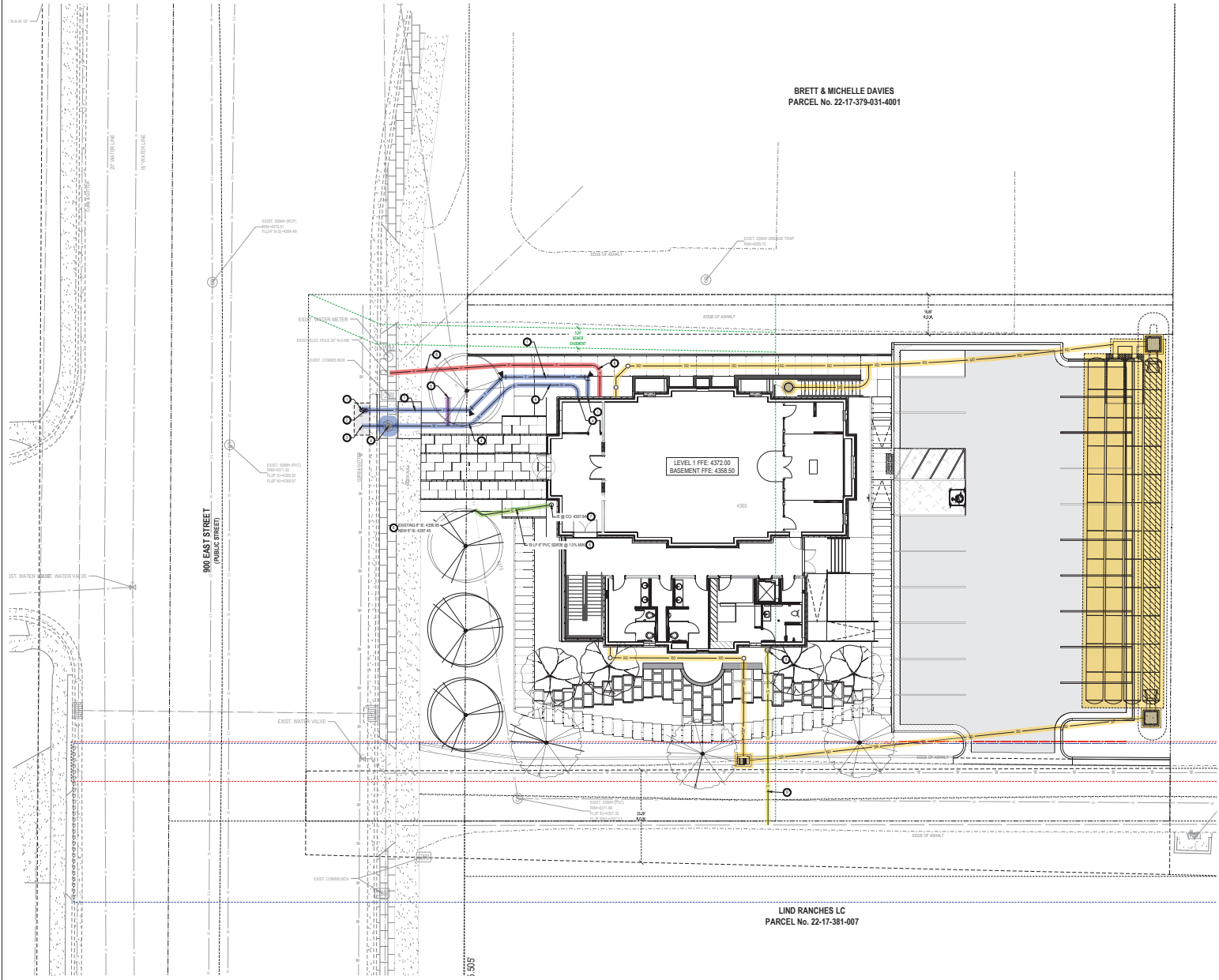
GRADING AND
DRAINAGE PLAN

C2.01 | REV



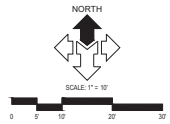
NOTICE!

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.



BRETT & MICHELLE DAVIES
PARCEL No. 22-17-379-031-4001

LIND RANCHES LC
PARCEL No. 22-17-381-007



GENERAL NOTES:

CONTRACTOR TO COORDINATE ALL UTILITIES WITH PLUMBING DRAWINGS.
ALL NEW WATER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.
ALL NEW SEWER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.
CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND EXISTING ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE EXCAVATING OR CONSTRUCTING ANY NEW LINES.
FOUR FEET OF COVER IS REQUIRED OVER ALL SEWER LINES.
MAINTAIN A MINIMUM OF 48 INCHES OF COVER ON ALL WATER LINES.
CONTRACTOR IS TO COORDINATE LOCATION AND DESIGN OF NEW COMMUNICATIONS DATA FACILITIES TO BUILDING WITH UTILITY PROVIDERS.
CONTRACTOR IS TO COORDINATE LOCATION AND DESIGN OF NEW NATURAL GAS FACILITIES TO BUILDING WITH COMMUNITY AND MECHANICAL PLANS.
LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. CONTRACTOR IS TO VERIFY CONNECTION POINTS WITH EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN.
UTILITY PROVIDERS:
WATER: JORDAN VALLEY WATER CONSERVANCY DISTRICT
SEWER: MT. OLYMPIA IMPROVEMENT DISTRICT
NATURAL GAS: EMERGENCY GAS
ELECTRICAL POWER: ROCKY MOUNTAIN POWER
TELEPHONE: CENTURY LINK COMMUNITY COUNCIL MEMBER

KEYED NOTES:

- PROVIDE, INSTALL AND CONSTRUCT THE FOLLOWING FOR THE SPECIFICATIONS SHOWN OR OTHERWISE NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- 1. 12" BLUE PVC 4000 DR-15 PIPE, INCLUDING ALL FITTINGS AND THROAT BULGING PER JORDAN VALLEY WATER CONSERVANCY DISTRICT STANDARDS AND SPECIFICATIONS.
 - 2. 12" GATED VALVE WITH TRAFFIC RATED VALVE BOX PER AWWA STANDARDS AND SPECS.
 - 3. CONNECT NEW 12" TYPE K COPPER WATER SERVICE LINE TO EXISTING 12" WATER MAIN PER JORDAN VALLEY WATER CONSERVANCY DISTRICT STANDARDS AND SPECIFICATIONS.
 - 4. 12" WATER SERVICE METER SET, JORDAN VALLEY WATER CONSERVANCY DISTRICT STANDARDS.
 - 5. 12" WATER SERVICE METER SET, 12" TYPE K COPPER WATER SERVICE LINE TO EXISTING 12" WATER MAIN PER JORDAN VALLEY WATER CONSERVANCY DISTRICT STANDARDS.
 - 6. 12" WATER SERVICE METER SET, 12" TYPE K COPPER WATER SERVICE LINE TO EXISTING 12" WATER MAIN PER JORDAN VALLEY WATER CONSERVANCY DISTRICT STANDARDS.
 - 7. 12" WATER SERVICE METER SET, 12" TYPE K COPPER WATER SERVICE LINE TO EXISTING 12" WATER MAIN PER JORDAN VALLEY WATER CONSERVANCY DISTRICT STANDARDS.
 - 8. APPROXIMATE LOCATION OF NEW UNDERGROUND POWER SERVICE LINE. CONTRACTOR TO COORDINATE SIZE, DESIGN AND INSTALLATION WITH ROCKY MOUNTAIN POWER AND COORDINATE WITH ELECTRICAL PLANS.
 - 9. APPROXIMATE LOCATION OF NEW NATURAL GAS FACILITIES. CONTRACTOR TO COORDINATE SIZE, DESIGN AND INSTALLATION WITH EMERGENCY GAS AND COORDINATE WITH MECHANICAL PLANS.



NOTICE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES SHOWN OR NOT SHOWN ON THE PLANS.



REVISIONS:

SITE PLAN REVIEW
HOLY PROTECTION
ORTHODOX
CHURCH

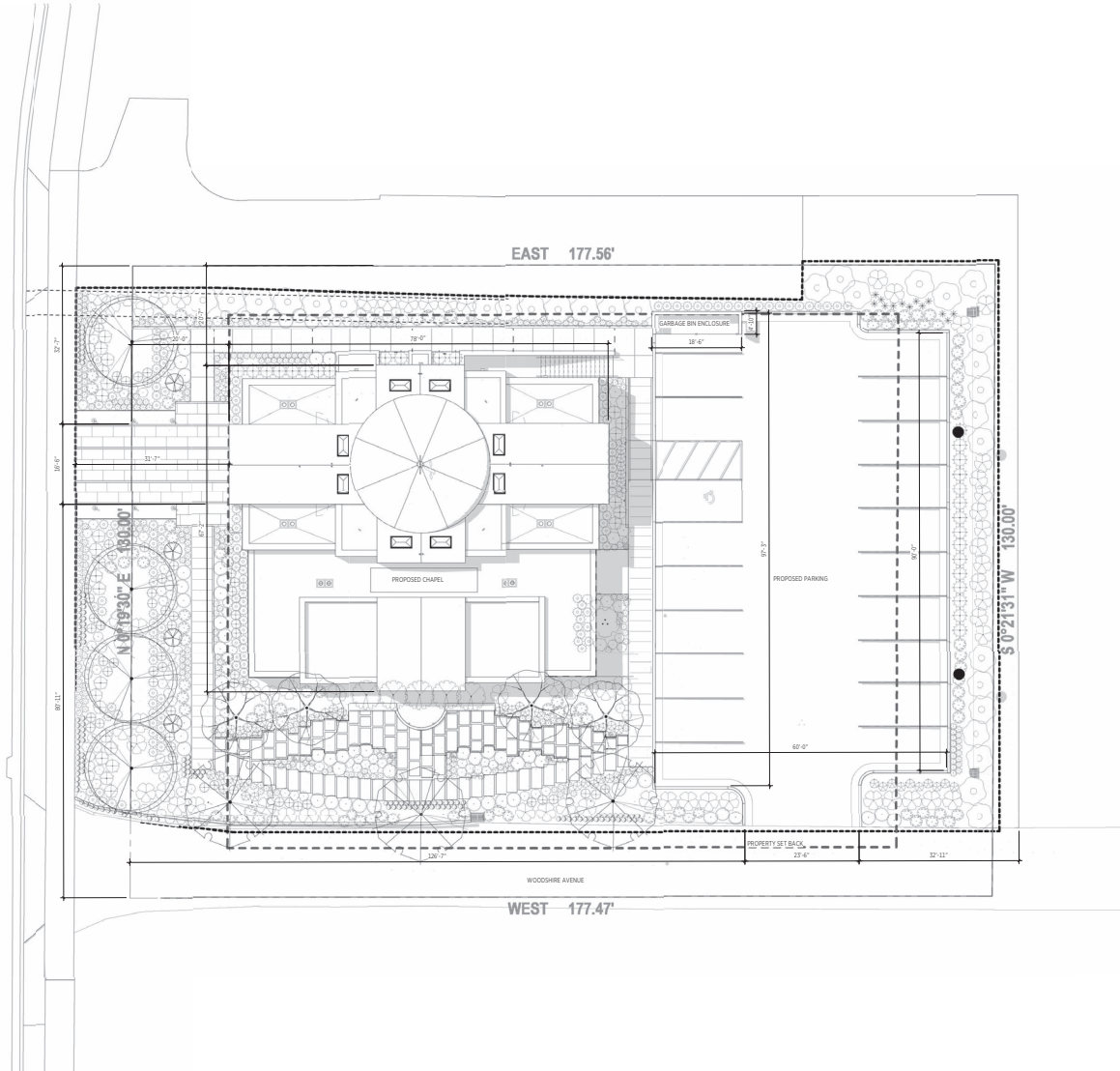
6109 SOUTH 900 EAST
MURRAY, UTAH 84121

MCNEIL PROJECT NO.: 24746
GSBS PROJECT NO.: 2024.022.00
ISSUED DATE: 04/28/2025

SITE UTILITY PLAN

BASIS OF BEARING N 0°19'30" E 1315.16'

900 EAST STREET
(PUBLIC STREET)



PROJECT BOUNDARIES			
—————	PROPERTY LINE		
-----	PROJECT LINE		
=====	PROPERTY SET BACKS		

GSBS
ARCHITECTS

375 WEST 200 SOUTH
SALT LAKE CITY, UT 84111
P: 801.522.8800
www.gsbsarchitects.com

REVISIONS:	

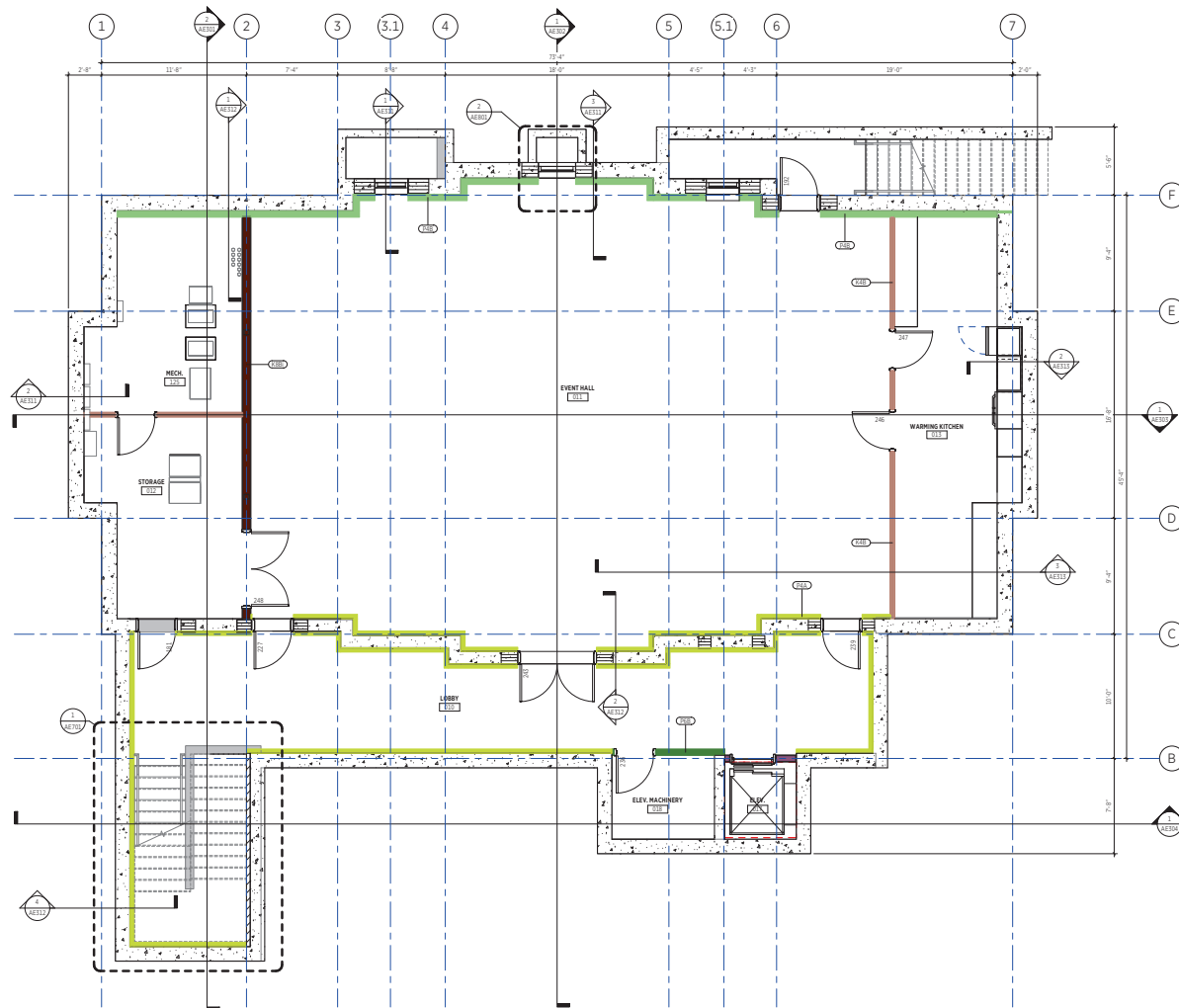
SITE PLAN REVIEW

HOLY PROTECTION
ORTHODOX
CHURCH

6100 900 E. Murray, UT 84121
Greg & Tara Adonakis

2457 Walker Ln S,
Provo, UT 84601
OWNER PROJECT NO.: 2024.022.00
GSBS PROJECT NO.: 05/05/2025
ISSUED DATE:
ARCHITECTURAL SITE
PLAN





2
AE110 FLOOR & WALL TYPES PLAN - BASEMENT
1/4" = 1'-0"

WALL TYPES SCHEDULE					
PLAN	TYPE	DESCRIPTION	ULR	STC	RATING
NON-RATED WOOD STUD WALLS					
	K4B	2x4 WOOD STUDS @ 16" O.C. W/ 5/8" GYPSUM BOARD, EACH SIDE, EXTENDING OVP. BD. TO DECK ABOVE.			
	K5B	2x6 WOOD STUDS @ 16" O.C. W/ 5/8" GYPSUM BOARD, EACH SIDE, EXTENDING OVP. RD. TO DECK ABOVE. FULL CAVITY W/ 1" FIBERGLASS SOUND ATTENUATION BLANKET.			
RATED WOOD STUD WALLS					
	R6B	2x6 WOOD STUDS @ 16" O.C. W/ 5/8" TYPE X GYPSUM BOARD, BACKSIDE EXTENDING OVP. RD. TO DECK ABOVE. FULL CAVITY W/ 1 1/2" FIBERGLASS SOUND ATTENUATION BLANKET. JOINTS FINISHED AND PERIMETER CALKED.			1 HR.
WOOD STUD FLOORING					
	F4A	2x4 WOOD STUDS @ 16" O.C. W/ 5/8" GYPSUM BOARD, ONE SIDE ONLY. EXTENDING OVP. RD. TO 0" ABOVE FINISHED CEILING.			
	F4B	2x4 WOOD STUDS @ 16" O.C. W/ 5/8" GYPSUM BOARD, ONE SIDE ONLY. EXTENDING OVP. RD. TO DECK ABOVE.			
	F6B	2x6 WOOD STUDS @ 16" O.C. W/ 5/8" GYPSUM BOARD, ONE SIDE ONLY. EXTENDING OVP. RD. TO DECK ABOVE.			
ROOM AREA SCHEDULE					
NUMBER	NAME		AREA		
000	GROSS		489 SF		
001	EVENT HALL		1,177 SF		
002	STORAGE		182 SF		
003	WARMING KITCHEN		294 SF		
004	ELEV. MACHINERY		96 SF		
005	LOBBY		147 SF		
006	MECH.		176 SF		
TOTAL		1,489 SF			
Gross Bldg Area					
Area Schedule (Gross Building)					
Name		Area			
BASEMENT	1,489 SF				
MAIN FLOOR	1,134 SF				
	2,623 SF				

REVISIONS:

1	
2	
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SITE PLAN REVIEW

**HOLY PROTECTION
ORTHODOX
CHURCH**

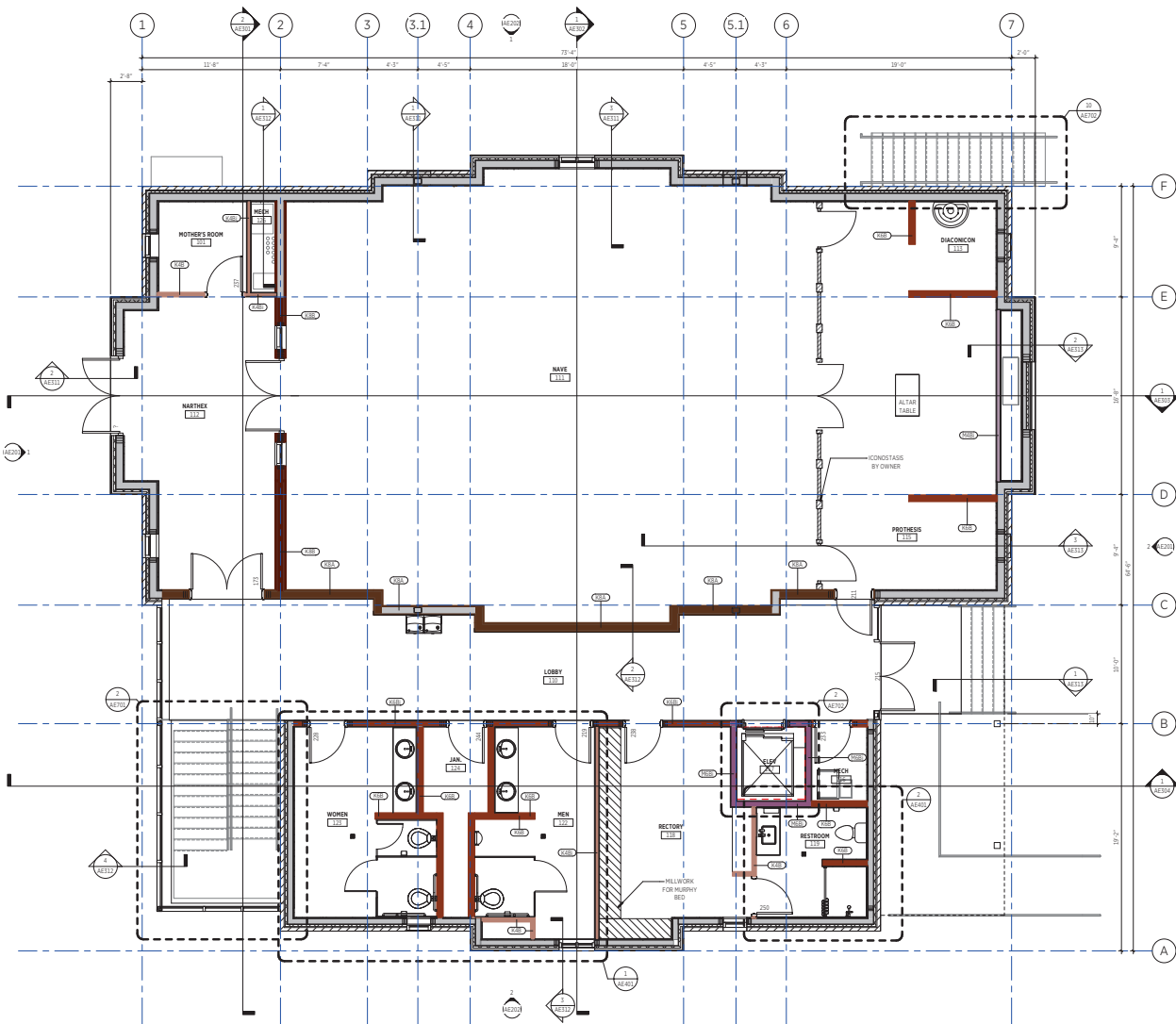
6109 900 E, Murray, UT 84123

Greg & Tara Adondakis

2457 Walker Ln S,
Holladay, UT 84117

OWNER PROJECT NO.:
GSBS PROJECT NO.: 2024.022.00
ISSUED DATE: 05/05/2025

**FLOOR & WALL TYPES -
BASEMENT**



FLOOR & WALL TYPES PLAN - LEVEL ONE
1/4" = 1'-0"

WALL TYPES SCHEDULE					
PLAN	TYPE	DESCRIPTION	UL*	STC	RATING
NON-RATED WOOD STUD WALLS					
K40B	2x4	WOOD STUDS @ 16" O.C. W/ 5/8" GYPSUM BOARD, EACH SIDE, EXTENDING 8" TO DECK ABOVE			
K40B	2x4	WOOD STUDS @ 16" O.C. W/ 5/8" GYPSUM BOARD, EACH SIDE, EXTENDING 8" TO DECK ABOVE, FULL CAVITY W/ 3-1/2" FIBERGLASS SOUND ATTENUATION BLANKET			
K60B	2x4	WOOD STUDS @ 16" O.C. W/ 5/8" GYPSUM BOARD, EACH SIDE, EXTENDING 8" TO DECK ABOVE			
K60B	2x4	WOOD STUDS @ 16" O.C. W/ 5/8" GYPSUM BOARD, EACH SIDE, EXTENDING 8" TO DECK ABOVE, FULL CAVITY W/ 6" FIBERGLASS SOUND ATTENUATION BLANKET			
K30A	2x4	WOOD STUDS @ 16" O.C. W/ 5/8" GYPSUM BOARD, EACH SIDE, 1/2" INTERIOR PLYWOOD SHEATHING 5/8" EXTERIOR PLYWOOD SHEATHING, EXTENDING 8" TO DECK ABOVE			
K40B	2x4	WOOD STUDS @ 16" O.C. W/ 5/8" GYPSUM BOARD, EACH SIDE, EXTENDING 8" TO DECK ABOVE			
RATED WOOD STUD WALLS					
K40B	2x4	WOOD STUDS @ 16" O.C. W/ 5/8" TYPE X GYPSUM BOARD, BACKSIDE EXTENDING 8" TO DECK ABOVE, FULL CAVITY W/ 3-1/2" FIBERGLASS SOUND ATTENUATION BLANKET, JOINTS PRIMERED AND REINFORCED			1 HR.
K60B	2x4	WOOD STUDS @ 16" O.C. W/ 5/8" TYPE X GYPSUM BOARD, BACKSIDE EXTENDING 8" TO DECK ABOVE, FULL CAVITY W/ 3-1/2" FIBERGLASS SOUND ATTENUATION BLANKET, JOINTS PRIMERED AND REINFORCED			1 HR.
ROOM AREA SCHEDULE					
NUMBER	NAME		AREA		
101	MOTHER'S ROOM		98 SF		
102	NARTEX		134 SF		
103	NAVE		1,088 SF		
104	SANCTUARY		285 SF		
105	DIACONICON		133 SF		
106	PROTHESIS		137 SF		
107	RECE		95 SF		
108	ELEV		95 SF		
109	RECEIVING		95 SF		
110	RESTROOM		95 SF		
111	MEN		126 SF		
112	WOMEN		126 SF		
113	JAN		95 SF		
114	RECE		95 SF		
115	RECE		95 SF		
116	RECE		95 SF		
117	RECE		95 SF		
118	RECE		95 SF		
119	RECE		95 SF		
120	RECE		95 SF		
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195	RECE		95 SF		
196	RECE		95 SF		
197	RECE		95 SF		
198	RECE		95 SF		
199	RECE		95 SF		
200	RECE		95 SF		

REVISIONS:

NO.	DESCRIPTION

SITE PLAN REVIEW
HOLY PROTECTION
ORTHODOX
CHURCH

6109 900 E. Murray, UT 84121
Greg & Tara Adondakis

2457 Walker Ln S.
Holladay, UT 84117
OWNER PROJECT NO.: 2024-022-00
GSBS PROJECT NO.: 05/05/2025
ISSUED DATE:
FLOOR & WALL TYPES -
FIRST FLOOR

REVISIONS:

SITE PLAN REVIEW

HOLY PROTECTION
ORTHODOX
CHURCH

6109 900 E. Murray, UT 84121

Greg & Tara Adondakis

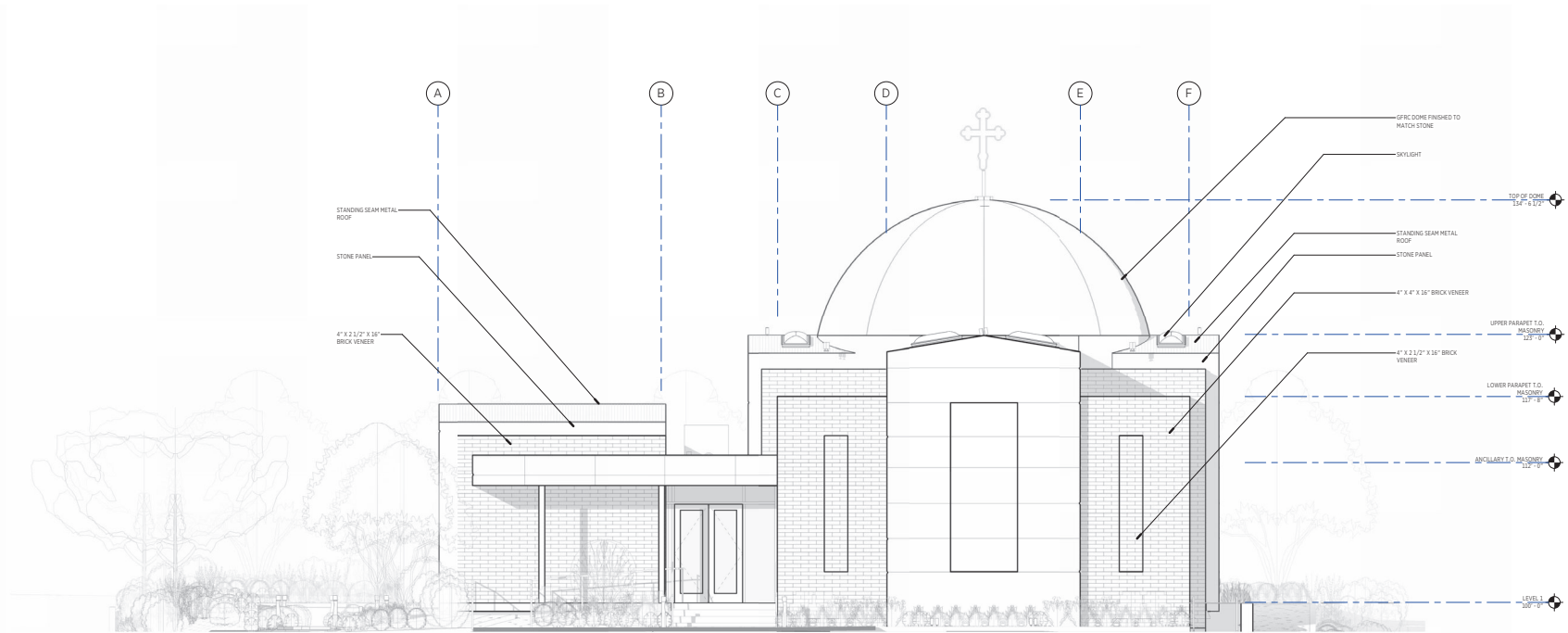
2457 Walker Ln S.
Holladay, UT 84117

OWNER PROJECT NO.:
GSBS PROJECT NO.:
ISSUED DATE:

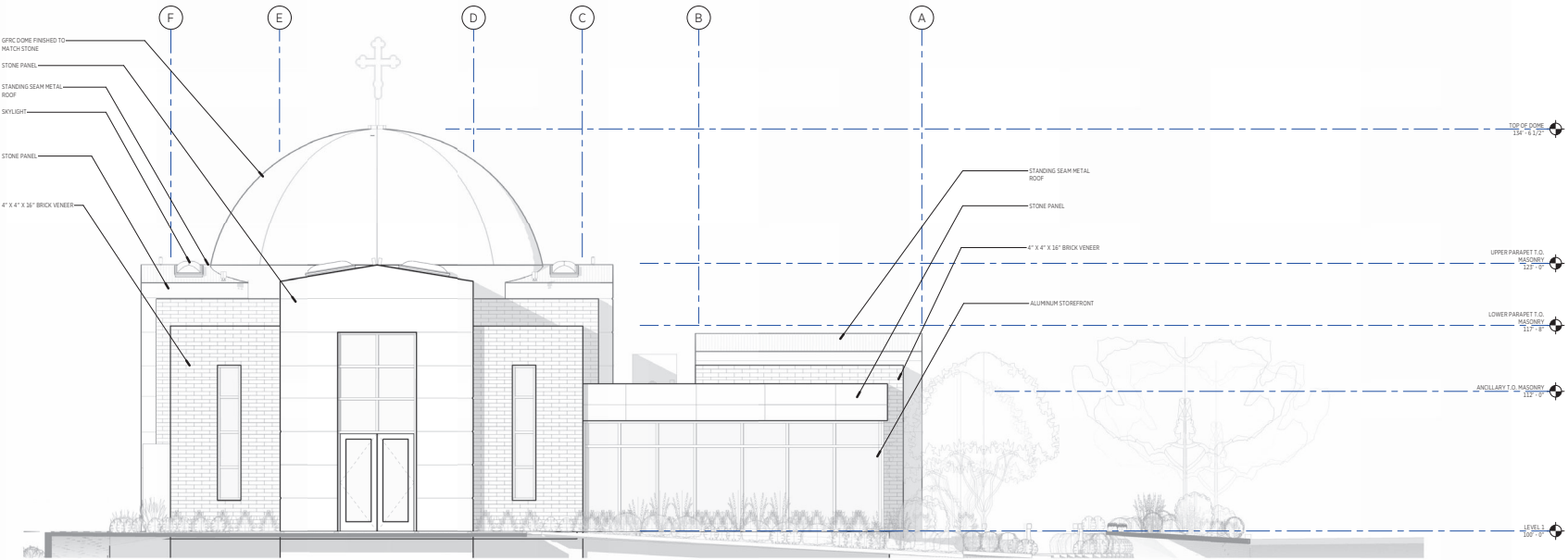
2024.02.01
05/05/2025

EXTERIOR ELEVATIONS

AE201 REV



2
AE201 1/4" = 1'-0"



1
AE201 1/4" = 1'-0"



Architectural elevation drawing of the dome and upper facade of the building. The drawing shows a central dome with a finial, flanked by two wings. The dome is labeled with callouts 1 through 7. The upper facade is labeled with callouts 8 through 11. The drawing includes a section cut through the dome and the upper facade. The dome is finished with GFRC (Glass Fiber Reinforced Concrete) to match the stone. The upper facade is made of stone panels. The lower facade is made of brick veneer. The drawing includes a section cut through the dome and the upper facade. The dome is finished with GFRC (Glass Fiber Reinforced Concrete) to match the stone. The upper facade is made of stone panels. The lower facade is made of brick veneer. The drawing includes a section cut through the dome and the upper facade. The dome is finished with GFRC (Glass Fiber Reinforced Concrete) to match the stone. The upper facade is made of stone panels. The lower facade is made of brick veneer.

SITE PLAN REVIEW

HOLY PROTECTION
ORTHODOX
CHURCH

6109 900 E, Murray, UT 84121

Greg & Tara Adondakis

2457 Walker Ln S,
Holladay, UT 84117

OWNER PROJECT N

GSBS PROJECT NO.: 2024.022.00
ISSUED DATE: 05/05/2025

ISSUED DATE: 05/05/2023

EXTERIOR ELEVATIONS

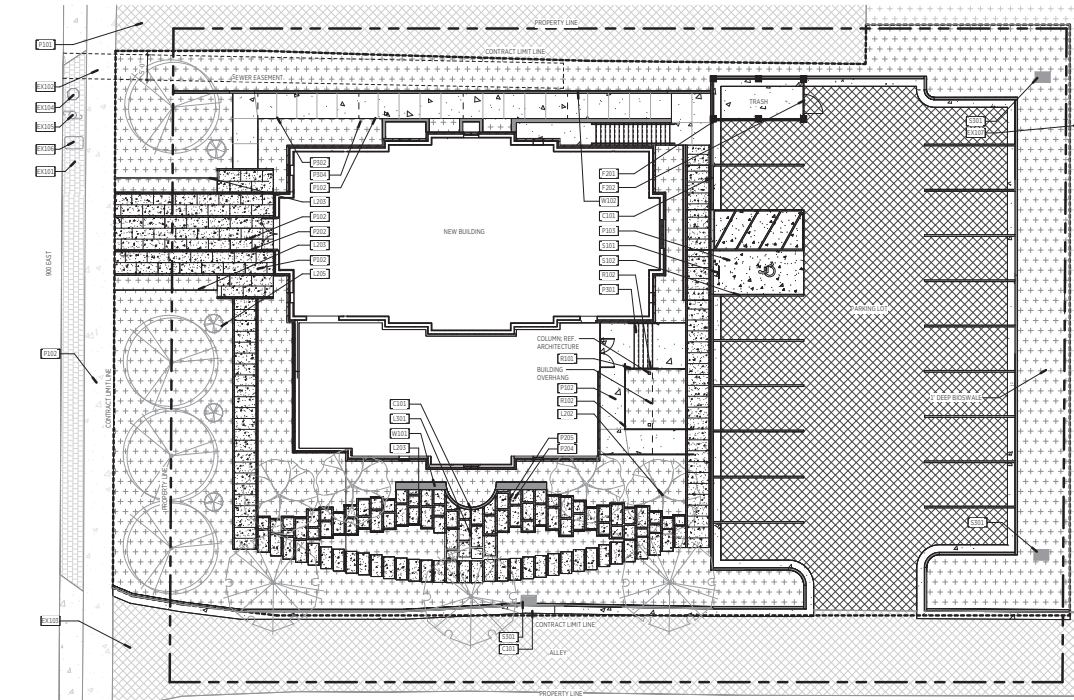
EXTERIOR ELEVATIONS

RESERVED FOR CONSULTANT LOGO

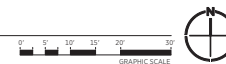
REVISIONS:

KEYNOTE LEGEND	
Key Value	Keynote Text
C101	CONCRETE CURB AND GUTTER; REF. CIVIL
EX101	EXISTING BRICK PAVERS TO REMAIN
EX102	EXISTING SIDEWALK TO REMAIN
EX103	EXISTING ASPHALT TO REMAIN
EX104	EXISTING WATER METER TO REMAIN
EX105	EXISTING LIGHT POLE TO REMAIN
EX106	EXISTING UTILITY TO REMAIN
EX107	EXISTING PLANTING AREA TO REMAIN
F201	6' HEIGHT FENCE - NEW EURO GJ/40
F202	6' HEIGHT PATHWAY GATE - NEW EURO/HDG/GJ
L202	ORNAMENTAL TREE; REF. PLANTING PLAN
L203	LANDSCAPE STEEL EDGING
L205	EVERGREEN TREE; REF. PLANTING PLAN
L301	PLANTING AREA; REF. PLANTING PLAN
P101	ASPHALT PAVING; REF. CIVIL
P102	CONCRETE PAVING; REF. CIVIL
P103	VEHICULAR CONCRETE; REF. CIVIL
P202	CAST IN PLACE CONCRETE PAVEMENT - 4'-4" X 2'-2"
P204	CAST IN PLACE CONCRETE PAVEMENT - 2'-2" X 2'-2" X 3'; 2'-2" X 4'
P205	DECOMPOSED GRANITE WITH STABILIZING AGENT
P301	CONCRETE STAIRS
P302	CONTROL JOINT; TYP.
P304	EXPANSION JOINT; TYP.
R101	HANDRAIL AT STAIRS; TYP.
R102	HANDRAIL AT RAMP; TYP.
S100	RAMP; REF. CIVIL
S101	ADA PARKING SIGN; REF. CIVIL
S102	PARKING LOT STRIPING; REF. CIVIL
S301	CATCH BASIN; REF. CIVIL
W101	18" CONCRETE SEAT WALL
W102	6" CONCRETE RETAINING WALL

SITE SCHEDULE		
PLAN	TYPE	DESCRIPTION
		ASPHALT
		DECOMPOSED GRANITE WITH STABILIZING AGENT
		EXISTING BRICK PAVERS
		4' PEDESTRIAN CONCRETE PAVING; REF. CIVIL
		6' VEHICULAR CONCRETE PAVING; REF. CIVIL
		CONCRETE PAVERS
		PLANTING AREA; REF. PLANTING PLAN
		AREA PAVEMENT - SHALE GREY, LARGE RECT. AGGREGATE



1 LS100 LANDSCAPE SITE PLAN
2" = 10'-0"



SITE PLAN REVIEW

HOLY PROTECTION
ORTHODOX
CHURCH

6109 900 E. Murray, UT 84121

Greg & Tara Adonakis

2457 Walker Ln S.

Holladay, UT 84117

OWNER PROJECT NO.:

GSBS PROJECT NO.:









ISSUED DATE:

2024.02.00

05/05/2025

LANDSCAPE SITE PLAN

IRRIGATION SCHEDULE

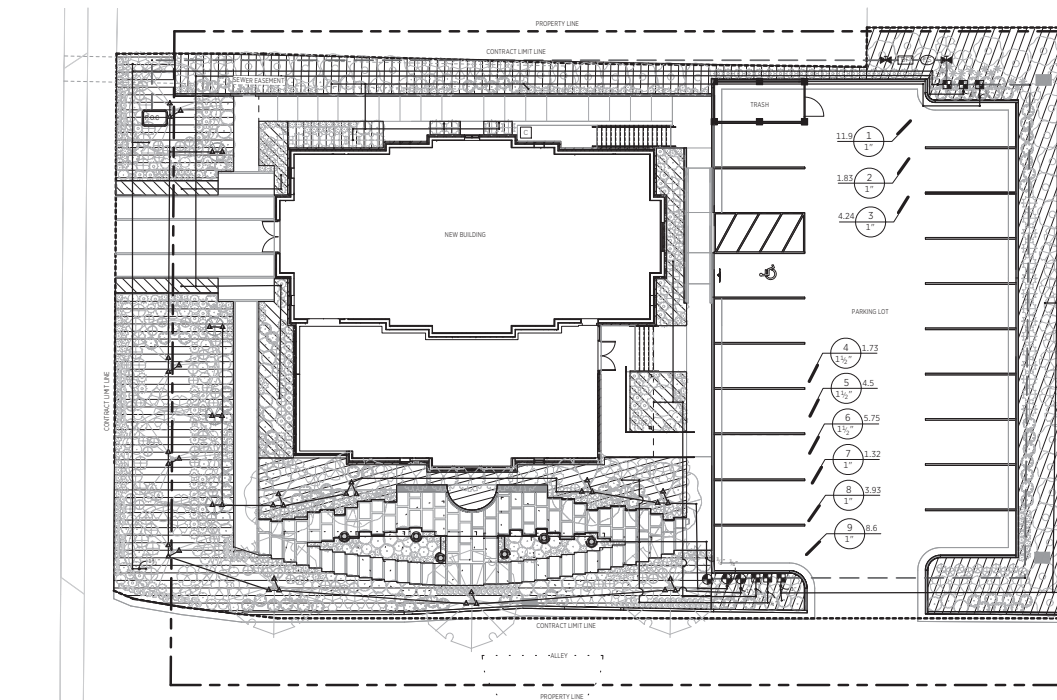
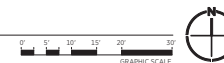
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	HUNTER PCB FLOOD BUBBLER, 1/2IN. FPT.
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	HUNTER ICZ 201-26 LF DIP CONTROL ZONE KIT, 1IN. ICV GLOBE VALVE WITH 3IN. RY200 FILTER SYSTEM, PRESSURE REGULATION, 25 PSI. FLOW RANGE: .5 GPM - 15 GPM, 150 MESH STAINLESS STEEL SCREEN.
	AREA TO RECEIVE DRIFLINE HUNTER IC2-58 CV HOL-06 58 CV HUNTER DRIFLINE W/ 0.6 GPM EMITTERS AT 18" C.C. CHECK VALVE, DARK BROWN TUBING, WITH GRAY STRIPING, DRIFLINE LATERALS SPACED AT 18" APART, WITH EMITTERS OFF SET FOR TRIANGULAR PATTERN, INSTALL WITH HUNTER F.O.D. BANNED OR P.O. LOC FITTINGS.
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	HUNTER ICV-G-BSP 1", 1-1/2", 2", 3" PLASTIC ELECTRIC REMOTE CONTROL VALVES, GLOBE CONFIGURATION, WITH BSP THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE.
	MATCO-NORCA 758 BRASS SHUT OFF BALL VALVE, 1/2" TO 4", TWO PIECE BODY, BLOW-OUT PROOF STEM, CHROME PLATED SOLID BRASS BALL, THREADED, WITH PTFE SEATS, SAME SIZE AS MAINLINE PIPE.
	ZURN 375 1" REDUCED PRESSURE PRINCIPLE ASSEMBLY, SIZES 1/2IN., 3/4IN., 1IN., 1-1/4IN., 1-1/2IN., 2IN.
	HUNTER IC2 800 8-STATION CONTROLLER, RESIDENTIAL USE, PLASTIC CABINET, OUTDOOR, WITH 5 FLEXIBLE PROGRAMS, 120 VAC INTERNAL TRANSFORMER.
	HUNTER HC-100 FLOW 2IN. FLOW METER FOR USE WITH HYDRAWISE ENABLED CONTROLLER TO MONITOR FLOW AND PROVIDE SYSTEM ALERTS, ALSO FUNCTIONS AS STAND ALONE FLOW TOTALIZER/2500 HOURS ON ANY RESIDENTIAL OR COMMERCIAL IRRIGATION SYSTEM.
IRRIGATION LATERAL LINE: PVC SCHEDULE 40	
IRRIGATION MAINLINE: PVC SCHEDULE 40	
VALVE CALL OUT	
VALVE NUMBER	
VALVE GPM	
VALVE SIZE	

RESERVED FOR CONSULTANT LOGO

REVISIONS:	

IRRIGATION NOTES

- CONTRACTOR SHALL VERIFY STATIC PRESSURE AT POINT OF CONNECTION AND OPERATING PRESSURE AT EACH HEAD AS INDICATED. PRESSURE BELOW DESIGN PRESSURE INDICATED ON IRRIGATION PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY.
- ALL HEADS SHALL BE SET PERPENDICULAR TO FRESH GRADE.
- ALL MAINLINE CONNECTIONS TO CULINARY WATER SERVICE LINES SHALL HAVE BACKFLOW PREVENTION AS REQUIRED BY LOCAL MUNICIPALITY CODES AND ORDINANCES.
- ALL VALVES SHALL BE LOCATED IN GROUPS WHERE SHOWN ON DRAWINGS. VALVES SHALL BE LOCATED 2'-6" AWAY FROM ANY FENCE, ROW STRIP, WALK, CURB, OR BUILDING.
- ALL VALVES SHALL BE WIRED USING #14-17. WIRE OR MANUFACTURER'S RECOMMENDED 1/2" WIRE AND WATER RESISTANT CONNECTORS. CONTROL CABLE SHALL FOLLOW THE MAINLINE IN THE SAME TRENCHES, TARE AND BUNDLE 2 FEET OF CABLE EVERY 100 FEET, AT EACH TURN IN THE MAINLINE TRENCH, AND AT EACH VALVE.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS OF THE IRRIGATION SPRINKLER SYSTEM SHOWING EXACT MEASURED AND DIMENSIONED LOCATIONS OF ALL VALVES, WIRE, GLOBS, NOT IN A VALVE BOX, AND GLOBE VALVES, REFERENCE DIMENSIONS TO PERMANENT STRUCTURES.
- THE IRRIGATION DESIGN IS SCHEMATIC. ALL PIPING, VALVES, HEADS, ETC., SHOWN OUTSIDE OF THE PLANTING AREA IS FOR ORIENTAL CLARITY ONLY AND SHALL BE INSTALLED WITHIN THE PLANTING AREA. COORDINATE IRRIGATION, PLANTING, AND OTHER SITE OPERATIONS. VERIFY AVAILABLE WATER PRESSURE AND FLOW AT SUPPLY SOURCE PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL BECOME FAMILIAR WITH ALL GRADE DIFFERENCES, LOCATION OF ALL EXISTING UTILITY LINES, BUILDINGS, DIFFERENCES IN ACTUAL AND DRAWN DIMENSIONS, UNDERGROUND SERVICES, ETC. PRIOR TO BEGINNING CONSTRUCTION. CALL UTILITY SERVICE TO IDENTIFY LOCATIONS OF ALL UNDERGROUND SERVICES.
- NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IF IRRIGATION LAYOUT SHOWS ANY DISCREPANCY BETWEEN DESIGNED IRRIGATION SYSTEM AND ACTUAL SITE CONDITIONS. LANDSCAPE ARCHITECT WILL MAKE ANY NECESSARY REVISIONS TO ADJUST DESIGN. NO MAJOR CHANGES OR SUBSTITUTIONS SHALL BE MADE TO THE IRRIGATION SYSTEM WITHOUT WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- INSTALL SLEEVES AND PIPING IN A PARALLEL OR PERPENDICULAR MANNER FOLLOWING THE GENERAL LAYOUT OF THE PAVING DESIGN.
- THE IRRIGATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES BY A LICENSED LANDSCAPE CONTRACTOR AND EXPERIENCED WORKERS. ALL PERMITS SHALL BE OBTAINED AND FEES PAID BY THE CONTRACTOR.

IRRIGATION PLAN
1/1100 1" = 10'-0"

SITE PLAN REVIEW

HOLY PROTECTION
ORTHODOX
CHURCH

6109 900 E. Murray, UT 84121

Greg & Tara Adonidakis

2457 Walker Ln S.
Holladay, UT 84117OWNER PROJECT NO.:
GSBS PROJECT NO.:
ISSUED DATE:2024.02.22.00
05/05/2025

IRRIGATION PLAN

REVISIONS:

PLANTING NOTES

1. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE AT A MINIMUM OF 24 HOURS BEFORE CONSTRUCTION COMMENCES. ANY DISCREPANCIES BETWEEN THE PLANNING AND FIELD CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE IMMEDIATELY FOR DESIGNATION.
2. NO CHANGES SHALL BE MADE TO THE PLANT MATERIAL LIST WITHOUT THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
3. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
4. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN THE QUANTITIES AND SPECIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON ALL DRAWINGS.
5. COMPLETE ROUGH GRADING BEFORE PLANTING OPERATIONS BEGIN.
6. ALL TREES SHALL BE PLANTED AT MINIMUM OF 5' AWAY FROM SURFACE WATER LATERALS AND A MINIMUM OF 10' AWAY FROM UNDER LATERALS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIND GRADING ALL PLANTED AREAS AND ENSURING PROTECTION OF A MINIMUM OF 2.5' AHEAD OF BUILT AREAS.
8. WITH CONTAINER GROWN STOCK, REMOVE CROWN AND SCARIFY ROOTBALLS VERTICALLY IN TWO LOCATIONS.
9. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 30 DAYS AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED AS NECESSARY TO MAINTAIN HEALTH/ ESTABLISHMENT.
10. ALL DISTURBED AREAS SHALL BE COVERED BY A HARD SURFACE OR VEGETATION.
11. LANDSCAPING SHALL INCLUDE A PLANT SCHEDULE IRRIGATION SYSTEM FOR PLANS AND COMPLY WITH ALL APPLICABLE STANDARDS. IRRIGATION SHALL HAVE AN ELECTRONIC CONTROLLER, ELECTRIC PRESSURE CONTROL VALVES INSTALLED IN PLASTIC HOSE, AND A MANUAL STOP AND WASTE VALVE. THE CONTRACTOR SHALL INSURE NO LEAKS AFTER A 24 HOUR PRESSURE TEST.
12. ALL TREES AND SHRUBS SHALL BE FULL BLENDED AND FREE FROM INSECT AND DISEASE INFESTATIONS AND SHALL NOT BE BUDDOING. INSTALL PER TREE AND PER TREE AND COMMERICAL FERTILIZER AND PREVENT PLANT BUDS/PL.
13. THE CONTRACTOR SHALL OBTAIN APPROVAL OF CONSTRUCTION UPON COMPLETION OF WORK. LOCATIONS FOR ALL PLANT MATERIAL SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE AT THE SITE PRIOR TO CONSTRUCTION. ANY CHANGES TO THE PLANTING THOROUGHLY INCORPORATED INTO THE PLANTING AREA. PLANTED AREAS SHALL BE MARKED IN ALL OF ALL SIDING, ROCKS, STONE, AND ROOTS GREATER THAN 4" INCHES IN DIAMETER.
14. ALL WORK SHALL BE PERFORMED BY LICENSED LANDSCAPE CONTRACTORS AND EXPERIENCED WORKERS.

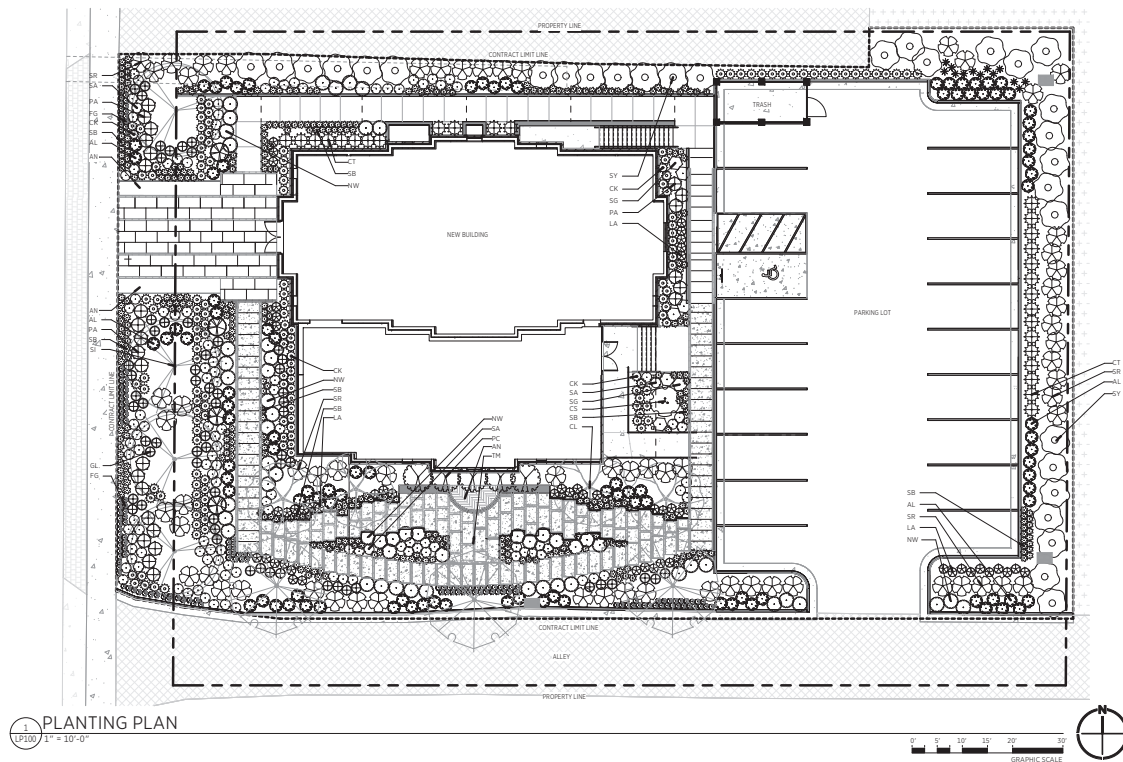
HOLY PROTECTION
ORTHODOX
CHURCH

Greg & Tara Adondakis

2457 Walker Ln S.
Holladay, UT 84117

OWNER PROJECT NO.: 2024.022.00
GSBS PROJECT NO.:
ISSUED DATE: 05/05/2025

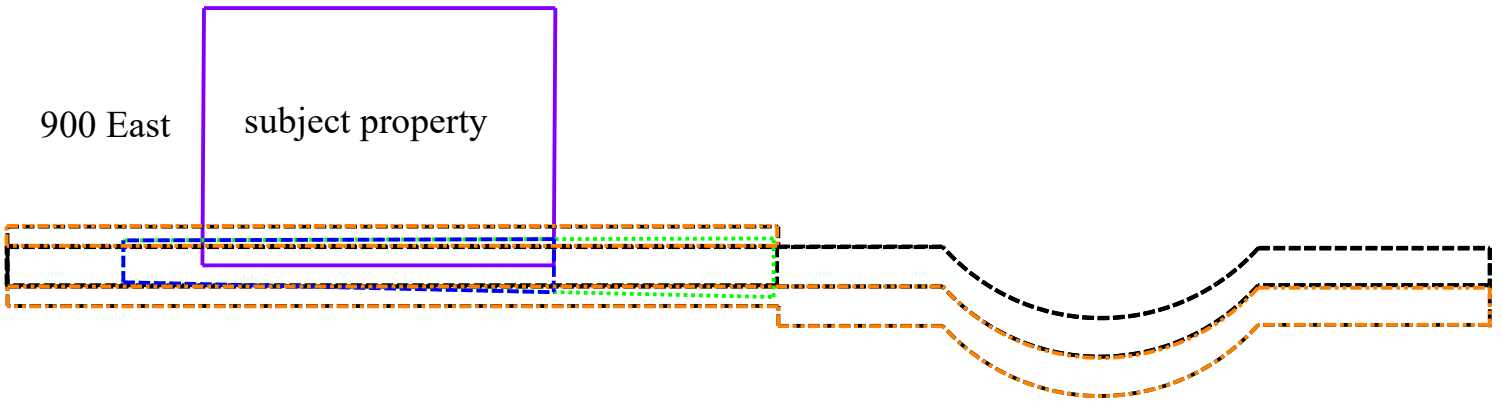
PLANTING PLAN





900 East

subject property



NOTE: This map is not a survey of the land depicted hereon. You should not rely upon it for any purpose other than orientation to the general location of the parcel or parcels depicted. First American Title Company expressly disclaims any liability for alleged loss or damage which may result from reliance upon this map.

JUN 8 1961

Recorded at Request of BACKMAN, BACKMAN & CLARK
 at 207 P. M. Fee Paid \$ 2.40 NELLIE M. JACK, Recorder Salt Lake County, Utah
 by Frank A. Anselman Dep. Book _____ Page _____ Ref.: _____
 Mail tax notice to _____ Address _____

1782007

WARRANTY DEED

ALFRED E. GUNNERSON and AIMEE S. GUNNERSON, his wife, grantors
 of _____ County of _____ State of Utah, hereby
 CONVEY and WARRANT to WILLIAM A. HANSEN and HAZEL S. HANSEN, his wife, and
EARL DEAN SHELLEY and DOLLORES SHELLEY, his wife, grantee
 of _____ County _____, State of Utah
 for the sum of Ten and no/100 (\$10.00) - - - - - DOLLARS
 and other good and valuable considerations,

the following described tract of land in Salt Lake County,
 State of Utah, to-wit:

Grantors convey for right of way purposes to be used in connection with the present created right of way, the intention being to establish a right of way 40 feet in width instead of 20 feet in width as now exists, the following described property:

Commencing 11.25 chains North and 528 feet West and 227 feet South of the Southeast corner of the Southwest quarter of Section 17, Township 2 South, Range 1 East, Salt Lake Meridian, and running thence South 10 feet; thence West 389.4 feet; thence North 10 feet; thence West 389.4 feet to the place of beginning.

WITNESS the hand of said grantor, this 10th day of April A. D. 1961

Signed in the presence of

M. B. Brown

Alfred E. Gunnerson
Aimee S. Gunnerson

STATE OF UTAH
 COUNTY OF SALT LAKE

{ SS.

On the 10th day of April A. D. 1961 personally

appeared before me ALFRED E. GUNNERSON and AIMEE S. GUNNERSON, his wife,

the signers of the within instrument who duly acknowledged to me that they executed the same.

My Commission Expires:

Sept 5 1963

Notary Public

Residing at

Salt Lake City, Utah

5030823

A98323

Recorded at Request of _____
at _____ M. Fee Paid \$ _____
by _____ Dep. Book _____ Page _____ Ref.: _____
Mail tax notice to Grantee _____ Address: 6101 South 900 East
Salt Lake City, Utah 84121

QUIT-CLAIM DEED

[CORPORATE FORM]

TRAIL BOURNE, INC.

organized and existing under the laws of the State of Utah, with its principal office at Salt Lake City, of County of Salt Lake, State of Utah, grantor, hereby QUIT CLAIMS to _____, a corporation

3D ASSOCIATES, a Utah general partnership

of Salt Lake City, County of Salt Lake, State of Utah for the sum of TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION DOLLARS,


the following described tract of land in Salt Lake County, State of Utah:

See Exhibit "A" attached hereto and by this reference made a part hereof.

5030823
25 FEBRUARY 91 03:00 PM
KATIE L. DIXON
RECORDER, SALT LAKE COUNTY, UTAH
ASSOCIATED TITLE
REC BY: SHARON WEST, DEPUTY

The officers who sign this deed hereby certify that this deed and the transfer represented thereby was duly authorized under a resolution duly adopted by the board of directors of the grantor at a lawful meeting duly held and attended by a quorum.

In witness whereof, the grantor has caused its corporate name and seal to be hereunto affixed by its duly authorized officers this 22nd day of February, A. D. 1991

Attest:

[CORPORATE SEAL]
Secretary.

By _____ TRAIL BOURNE, INC. Company
V.P. TRAIL BOURNE
President.

STATE OF UTAH,
County of Salt Lake

On the 22nd day of February, A. D. 1991
personally appeared before me Ronald G. Davies and Phillip R. Davies
who being by me duly sworn did say, each for himself, that he, the said Ronald G. Davies
is the president, and he, the said Phillip R. Davies is the secretary
of TRAIL BOURNE, INC. Company, and that the within and foregoing
instrument was signed in behalf of said corporation by authority of a resolution of its board of
directors and said Ronald G. Davies and Phillip R. Davies
each duly acknowledged to me that said corporation executed the same and that the seal affixed
is the seal of said corporation.

My commission expires _____ residence is Salt Lake County, Utah

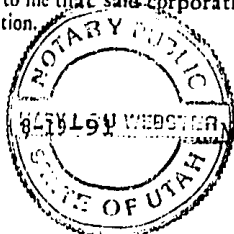


EXHIBIT A

LEGAL DESCRIPTION

The land referred to is situated in Salt Lake, and is described as follows:

BEGINNING AT A POINT WHICH IS NORTH 742.5 FEET AND WEST 639.4 FEET FROM THE SOUTH QUARTER CORNER OF SECTION 17, TOWNSHIP 2 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, THENCE SOUTH 00 DEGREES 21 MINUTES 31 SECONDS WEST 247 FEET, THENCE WEST 177.47 FEET TO THE EAST LINE OF A STREET, SAID POINT IS NORTH 00 DEGREES 19 MINUTES 30 SECONDS EAST 501.59 FEET AND EAST 74.44 FEET FROM A SALT LAKE COUNTY MONUMENT AT THE MONUMENT LINE INTERSECTION OF HOLLY AVENUE AND 900 EAST STREET, THENCE NORTH 00 DEGREES 19 MINUTES 30 SECONDS EAST 247.00 FEET ALONG SAID EAST LINE, THENCE EAST 177.61 FEET TO THE POINT OF BEGINNING.

SUBJECT TO A RIGHT OF WAY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT NORTH 742.5 FEET AND WEST 639.4 FEET AND SOUTH 0 DEGREES 21 MINUTES 31 SECONDS WEST 114.4 FEET FROM THE SOUTH QUARTER CORNER OF SAID SECTION 17, SAID POINT BEING ON THE EAST LINE OF THE ABOVE DESCRIBED LAND; THENCE SOUTH 0 DEGREES 21 MINUTES 31 SECONDS WEST ALONG SAID EAST LINE, 10.0 FEET; THENCE WEST 100 FEET, MORE OR LESS, TO THE WEST LINE OF SAID LAND; THENCE NORTH 10.0 FEET; THENCE EAST 100 FEET, MORE OR LESS TO THE POINT OF BEGINNING.

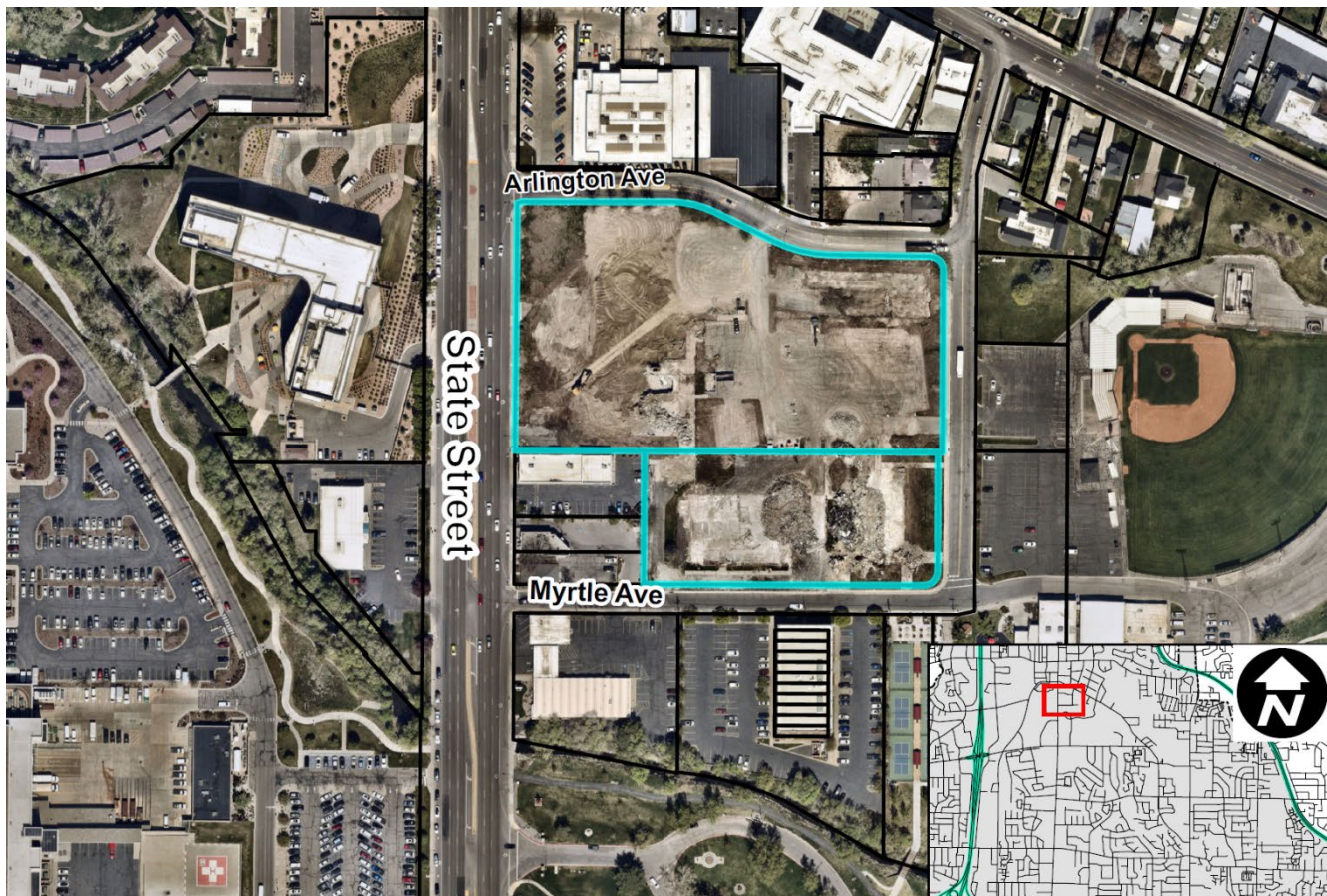
SUBJECT TO AND TOGETHER WITH A RIGHT OF WAY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT 111.13 FEET SOUTH 89 DEGREES 49 MINUTES 30 SECONDS WEST OF AN OLD FENCE CORNER, SAID POINT OF BEING NORTH 742.50 FEET, WEST 639.4 FEET, AND SOUTH 0 DEGREES 21 MINUTES 31 SECONDS WEST 233.73 FEET FROM THE SOUTH QUARTER CORNER OF SAID SECTION 17; THENCE SOUTH 89 DEGREES 49 MINUTES 30 SECONDS WEST 217.44 FEET ALONG AN OLD FENCE LINE TO THE EAST LINE OF 900 EAST STREET; THENCE SOUTH 0 DEGREES 19 MINUTES 30 SECONDS WEST 21.10 FEET ALONG SAID EAST LINE TO AN OLD FENCE LINE; THENCE SOUTH 88 DEGREES 41 MINUTES 30 SECONDS EAST 217.55 FEET ALONG SAID FENCE TO A POINT SOUTH 0 DEGREES 21 MINUTES 31 SECONDS WEST OF THE POINT OF BEGINNING; THENCE NORTH 0 DEGREES 21 MINUTES 31 SECONDS EAST 26.73 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.



AGENDA ITEM # 07 Murray Tower Plaza

ITEM TYPE:	Design Review / Master Site Plan		
ADDRESS:	5025 South State Street & 147 East Myrtle Avenue	MEETING DATE:	July 3 rd , 2025
APPLICANT:	Jim Allred, Triumph Group	STAFF:	Zachary Smallwood, Planning Manager
PARCEL ID:	22-07-157-043 & 22-07-157-046	PROJECT NUMBER:	25-015
ZONE:	MCCD, Murray City Center District		
SIZE:	5.98 acre site 78 residential units / 204,300 ft ² of commercial space		
REQUEST:	The applicant is requesting Design and Master Site Plan Review approval to allow the development of a mixed-use project.		



I. LAND USE ORDINANCE

The Murray City Center District (MCCD) is envisioned as the commercial, civic, and cultural center for the community and is intended to enhance physical, social, and economic connections by redeveloping "downtown" Murray City resulting in a richer, more vibrant cultural environment. The 2017 Murray City General Plan suggests that the City center should include development which is pedestrian oriented with a strong emphasis on urban design and streetscape.

The purpose and intent of the design review process within the MCCD is to ensure that the general appearance of buildings, signs, and the development of the lands does not detract from the purpose and intent of the MCCD chapter of the Land Use Ordinance. For Major Alterations; the exterior portions of buildings and any proposed improvements on properties within the MCCD shall be reviewed through a design review application that has been submitted, reviewed, and approved by the Planning Commission after a review and recommendation from The MCCD Review Committee.

II. BACKGROUND

The property was originally developed as the Arlington School in 1899. It was demolished in 1940 after the construction of the new Arlington school. In 1982 Murray City relocated its offices to the building after the school had closed down.

In 2023, Murray City completed construction on a new city hall. The Redevelopment Agency (RDA) put out a request for proposals (RFP) for potential development of the subject property. The Triumph Group was selected based on concepts that have been refined here. The RDA approved the development agreement late in 2023 and the developer has been refining their project to be prepared for MCCD Review Committee and Planning Commission review of the project.

Staff is comfortable that the proposal is within acceptable conformance with the code and any remaining issues can be remedied through conditions attached to this report.

Project Location

The subject property is located at the former Murray City Hall. It is bounded by State Street on the west and Ken Price Ballpark (Murray Park) on the east.

Surrounding Land Use and Zoning

<u>Direction</u>	<u>Land Use</u>	<u>Zoning</u>
North	Commercial & Multi-Family Residential	MCCD
South	Office	MCCD
East	Ken Price Ball Field / Murray Park	O-S
West	State Street / Intermountain Healthcare	C-D

Project Description

Murray Tower Plaza is a proposed 5.98 acre mixed-use development consisting of 78 homes across differing unit types and approximately 204,300 ft² of commercial space. State Street is designated as a principal street as outlined in section 17.170.110 and thus does require a commercial component.

Project Phasing and Process

The applicant proposes to develop the project in three (3) phases, the first phase will be the construction of the medical office building on State Street and the parking structure.

The second phase includes the townhomes on the north side of Jones Court and the first residential tower.

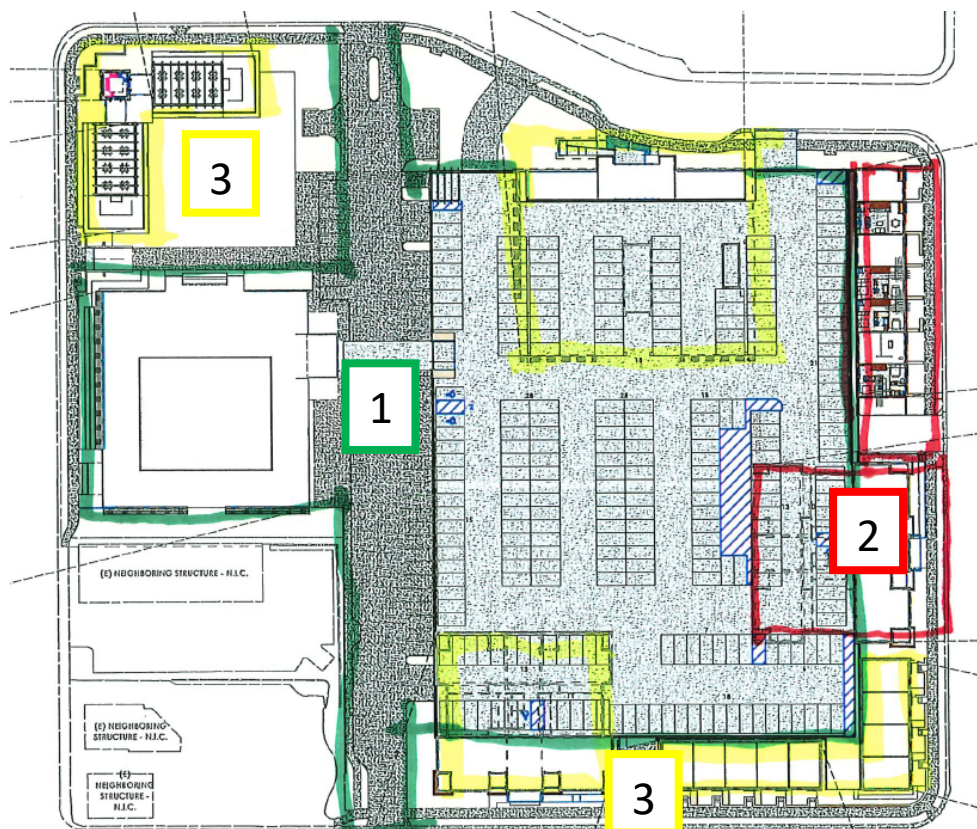


Figure 1: Phasing Plan

The third phase includes the second medical office building, the restaurants, tower, plaza, and the remaining residential units.

Area, Width, Frontage, and Yard Regulations

The following standards for setbacks or facades and entries are intended to contribute to the vibrant, connected, active, pedestrian oriented streetscape that is envisioned for the city center district and are reviewed per building in the project. Section 17.170.090 requires that building facades occupy a minimum of 50% of the total linear feet of property frontage between twelve (12) and eighteen (18) feet from the back of curb and gutter. This section allows for greater setbacks for outdoor dining or gathering spaces. If such setbacks are proposed eighty percent (80%) of the building must be located within twenty-five feet from the back of curb.

State Street Medical Office

The primary office building has approximately 157' of building frontage along State Street. Approximately seventy-eight feet (78') would be required to be within the 12-18' setback. The applicant has shown thirty-nine feet (39').

Planning staff has discussed with the applicant to include pillars attached to the building to count towards that minimum standard. Upon receipt of the latest plans there is not a connection from the pillars to the building. Staff will place a condition that the applicant amend their design to facilitate that addition.

Restaurants and Tower Building

The proposed restaurant and tower structure have frontages along both State Street and Arlington Avenue. Both building facades measure approximately 108', requiring a minimum of fifty-four feet (54') of the building to be within the setback area.

In the plans being reviewed by the Planning Commission the applicant has no portion of the façade within the twelve to eighteen foot setback. The applicant has two potential remedies; the first is to pull the buildings closer to the streets or, add outdoor dining to facilitate greater setbacks as outlined in the code above.

Arlington Avenue Medical Office

The second office building has approximately 152' of building frontage along Arlington Avenue. Approximately seventy-six feet (76') would be required to be within the 12-18' setback. The applicant has proposed that, because of the curve in Arlington Avenue, that the area between the sidewalk and the front of the building be designated as gathering space. Staff agrees with this request and do not have any requested changes.

Residential Buildings

The townhomes and stacked condos have individual porch like gathering space for the units. All the proposed residential meets the maximum setback of twenty-five feet (25') for 80% of the building facades.

Residential Density

The project is located in the Murray City Center District (MCCD), section 17.170.110(S) allows a maximum density of eighty (80) units per acre for properties located east of State Street. The property is approximately 5.98 acres which would allow for a maximum of 478 residential units. The applicant has proposed 78 (the development agreement with the RDA allows up to 99 units) which equates to approximately 13 units per acre (17 units per acre if 99 units are built). This is significantly lower than the maximum allowed.

Required Commercial

Horizontal mixed use projects are required to include commercial components totaling a minimum of the equivalent area of 100% of the project frontage along principal streets with a depth of 40'. Applying this formula to the 345 feet of project frontage along State Street results in a required commercial component of 13,800 ft². The applicant is proposing significantly more commercial at 204,300 ft². This comprised of two medical office towers and two restaurant sites. The proposed development meets this requirement.

Building Design, Scaling, and Density

Section 17.170.110 dictates requirements for buildings within the Murray City Center District. Staff has reviewed the plans and found that a majority of the project is meeting the requirements of Code. Below are items that will need to be addressed by the applicant and will be conditions of approval.

State Street Medical Office Building

The applicant has proposed the main entry to the building front plaza space. This is allowed in section 17.170.110(A). There is a requirement for additional street facing entries to appear at least once every seventy-five feet (75') on average. Based on the calculated frontage of 157' a minimum of two (2) entries to the building are required to face State Street. Based on the plans provided by the applicant an attempt was made to locate an entrance, but it is not visible or accessible from State Street. These two entrances will need to be added to the design.

17.170.110(L) states that all development shall provide ground floor windows on the building façade and adjacent to a public or private street. The applicant has shown windows on the ground floor but they do not begin until approximately five feet (5') high. Staff does not feel this is meeting the intent of the code to foster a walkable community as it detracts from eyes on the street. The applicant is meeting the letter of the code, however, staff recommends that the applicant consider making the windows larger to facilitate a better pedestrian environment.

Restaurants and Tower Building

As stated above, the applicant has proposed the main entry to the restaurant buildings front the plaza space. Based on the 108' wide frontage on State and Arlington one entrance is

required on both streets in addition to the entrance on the plaza. These will need to be added to the design.

Arlington Avenue Medical Office Building

The applicant has proposed the main entry to the building to front on Arlington Avenue. Based on the 152' wide frontage on Arlington an additional entrance is required to be located off of Arlington Avenue.

17.170.110(L) states that all development shall provide ground floor windows on the building façade and adjacent to a public or private street. The applicant has shown windows on the ground floor but they do not begin until approximately five feet (5') high. Staff does not feel this is meeting the intent of the code to foster a walkable community as it detracts from eyes on the street. The applicant is meeting the letter of the code, however, staff recommends that the applicant consider making the windows larger to facilitate a better pedestrian environment.

Residential Buildings

The applicant will need to amend any ground level unit entries to have a finished floor less or equal to twenty four inches (24") above sidewalk grade per 17.170.110(M).

Height Regulations

For developments located east of State Street and south of Vine Street the maximum height is eighty-five feet (85') or seven stories whichever is less. The applicant has provided elevations for the Planning Commission to review. The average elevation of the site is 4,288 feet. Based on those measurements staff finds the buildings to be the following heights:

- The State Street medical office building measures at fifty feet (50') in height.
- The Arlington Avenue office building measures at eighty-three feet (83') in height.
- The Jones Court Condo tower measures at fifty-seven feet (57') in height.
- The Myrtle Avenue Condo tower measures at fifty-four feet (54') in height.

The applicant meets the requirements for height in the MCCD Zoning district.

Public Improvements

The MCCD zoning district requires the installation of a five foot (5') park strip and seven foot (7') sidewalk along public frontages. The applicant has shown the MCCD required street improvements along the public frontages.

A curbside management plan has been provided by the applicant. They have indicated their intention to red curb the Arlington Avenue, Jones Court, and Myrtle Avenue frontages to prohibit street parking due to their limited width. State Street will continue to have a large shoulder allowing for some limited on-street parking.

Access & Circulation

- **Vehicular:** Vehicle access to the site is provided from Arlington Avenue, Jones Court, and Myrtle Avenue. The primary route through the site is an access drive that connects Arlington Avenue on the north to Myrtle Avenue. There are multiple points of access to the parking garage. Two (2) accesses on Arlington to the third level, one on the west side of the parking garage accessing the second level, and three (3) that access the first level. The proposed access locations comply with applicable City Codes
- **Pedestrian:** Pedestrian circulation has been provided throughout the site, connecting throughout the subject property and to the public improvements on State Street, Arlington Avenue, Jones Court, and Myrtle Avenue.
- **Traffic Impact Study:** A traffic impact study of the development has been provided and has been reviewed by the City Engineer. The study summary indicates that the accesses proposed will accommodate the development but will require modifications along State Street in the twenty (20) year time horizon. The City Engineer will continue to work with the applicant to address any traffic concerns resulting from the traffic study.

Parking

The Murray City Center District is intended to support development patterns which foster higher pedestrian activity and reduce the need for automobiles generally. Because of this, the MCCD has lower parking requirements than would normally be required as part of a traditional single multi-family residential or commercial development. They are outlined in the table below.

MCCD Required Parking			
	Requirement	Total Units (p1, p2, p3)	Required (p1, p2, p3)
1 Bedroom	1.55 spaces	12 (0 6 6)	19 (0, 9, 10)
2 Bedrooms	2 spaces	52 (0 25 27)	104 (0, 50, 54)
3+ Bedrooms	3 spaces	14 (0 7 7)	42 (0, 21, 21)
Commercial	1 per 500 ft ²	204,287 (112,793 0 91,494)	326 (180, 0, 146)
Total			491 (180, 80, 231)

The applicant provided a table that indicates (approximately 840 parking spaces including, with all but forty-seven (47) within the parking structure. This is significantly over the required amount of parking. The applicant has thoroughly addressed all the parking requirements outlined in the code.

Landscaping & Site Amenities

Section 17.170.160 (H) states that developments east of State Street and south of Vine Street

shall have landscaping and amenity space for 25% of the total site area. In addition, each project shall have a system of pedestrian walkways and sidewalks that provide connections between building entrances, neighboring building entrances, sidewalks, parking areas, open spaces, and walkways. Landscaped amenity areas provided in conjunction with multi-family uses will qualify as open space.

The applicants show the total lot acreage at 5.98 acres or 260,489 ft². This requires 1.5 acres or 65,122 ft² of open and amenity space. Staff calculated all open spaces on the provided landscape plan and found that the total landscaped area (including the plaza space) measured out to be 49,104 ft² this is below the requirement by approximately 16,018 ft². Staff has identified areas such as roof tops of the residential or medical buildings as areas where increased open space may be located. The applicant will need to work with staff to provide additional open space throughout the project and is listed as a condition of approval.

Elevations & Materials

Elevations and renderings of the buildings have been attached to this report for review. The applicant has stated their intent to have different architectural styles between the commercial and residential elements. The commercial buildings are largely glass with red brick and metal accents.



Figure 2: Arlington Medical Office Building



Figure 3: Restaurant Building

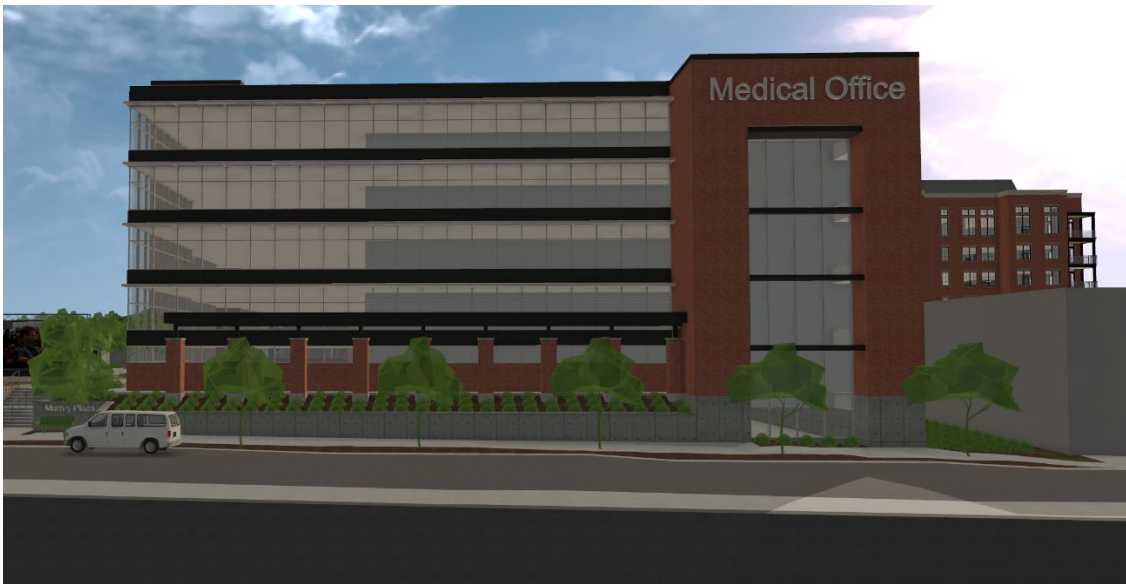


Figure 4: State Street Medical Office Building

The residential buildings are largely comprised of brick and stone on the facades. There will be some unifying architectural elements such as the black metal accents. The applicant has stated that they want the residential to complement but not blend in with the commercial

buildings.



Figure 5: Townhome Architecture



Figure 6: Condo Tower Architecture

Lighting

Lighting plans have been provided and are attached to this report for your review. City standard lights will need to be reviewed and approved in conjunction with Murray City Power

along all public frontages. Site lighting includes parking lot lights, building mounted lights, and bollard lights for use along pedestrian paths and walkways. The full photometric plan has been prepared for review by the City Engineer.

Trash Enclosures

Section 17.76.170 requires that refuse containers be enclosed by a solid barrier fence with attached solid barrier access gates. The applicants propose two (2) trash enclosures, mixed between each of the phases. It was indicated by the applicant that residents will have valet service. Valet service means that a resident puts out their garbage bags into the hallway and people come pick them up to either place into a garbage truck, or toss them in the dumpsters.

III. MASTER SITE PLAN REQUIREMENTS

In addition to a review of the project against the MCCD Zoning District regulations, the Planning Commission shall address the following when considering an application for master site plan approval:

- A. Building Orientation: Commercial and residential buildings in the same project should primarily be oriented to face public and private streets and accesses, and not parking lots. The orientation of commercial buildings in mixed use projects should consider the residential components of the project and facilitate convenient access to them.

The applicant has oriented all applicable buildings away from parking lots, the residential and Arlington medical buildings all have primary entrance located on their respective streets. The proposed State Street buildings front onto the proposed plaza area.

- B. Central Feature: A prominent, centrally located feature such as a park, plaza, or other gathering place should be provided to unify the residential and commercial uses of the project. This location should include features and amenities to encourage public use and activity, with convenient access from both residential and commercial components of the development.

The main central feature of this project is the plaza near the medical office building and restaurant spaces. The applicant has stated that they intend to hold events and gatherings in this space. As this is close to the new Murray Theater it allows for a greater connection to downtown overall. It provides an outdoor space for residents and patrons of the businesses alike.

- C. Outdoor Spaces: Buildings should be designed to form outdoor spaces such as courtyards, plazas, and terraces that can integrate the components of the development. Pedestrian walkways linking the components of the development with these outdoor spaces and the public streets should be developed. Potential linkages to existing and

future adjacent developments should be considered.

Since review by the MCCD Review Committee the applicant has added additional pedestrian walkways throughout the project. The proposed plaza forms an outdoor space that can be used for events.

- D. Development Agreement: Mixed use developments that require a master site plan shall be approved in conjunction with a master site plan agreement between Murray City and the developer. The master site plan agreement shall govern requirements for the timing of the installation of improvements, performance on construction of critical development components, and shall further memorialize the requirements for development of the several buildings and parcels as contained in the master site plan and other project approvals.
- a. Required Elements: The master site plan agreement must address the following components of the proposed project:
 - i. Allowed phasing of residential and commercial development components.
 - ii. Allowed residential densities.
 - iii. Required parking for all uses.
 - iv. Buffering of adjacent single-family residential zones.
 - v. Adequate public facilities and services.
 - vi. Establishment, maintenance, or enhancement of commercial elements.

The applicant has entered into a development agreement with the Murray City RDA and this application is a requirement in order to close on the properties. Once the applicant has received Planning Commission approval, they may work towards submitting a building permit and close on the property.

- E. Master Site Plan Application Requirements: When making applications for master site plan approval to the Planning Commission, the applicant shall provide, at a minimum, the following:
- a. Traffic Impact Study: The study must be prepared by a licensed traffic engineer and analyze the traffic impacts of the proposed development on surrounding public and private transportation facilities.
 - b. Parking Analysis: The applicant must prepare a parking analysis for the proposed mix of uses, demonstrating that the project's parking and circulation needs can be accommodated.
 - c. Adequate Public Utilities And Facilities Review: In order to determine the availability of and impact upon public facilities and services the applicant shall conduct a review of all public utilities including power, water, sanitary sewer, and storm water with the Public Works Department.
 - d. Public Services Review: The City may require review of the project's impact upon services including Police, Fire, Schools, Parks, and others.

The applicant has provided all the required information as part of the application for a

master site plan. These documents are included as attachments to this staff report.

IV. CITY DEPARTMENT REVIEW

The application and materials were distributed to various departments for their review and comments on June 19th, 2025. The following comments have been provided in response. Where appropriate, the comments are addressed as conditions of approval:

Engineering Division

1. Meet City storm drain requirements, on-site detention and water quality treatment is required. Implement Low Impact Development (LID) practices for any increase in the site impervious area.
2. Ensure detention system is located above high groundwater.
3. Provide a formal drainage and LID report.
4. Provide site geotechnical report.
5. Provide a UDOT Level II Traffic Impact Study and obtain UDOT access review.
6. Install MCCD sidewalk and park strip street improvements on all street frontages.
7. Replace any damaged curb and gutter on all street frontages.
8. Recommend removing the concrete medians and drop boxes in Arlington Ave. to better facilitate site access.
9. On-street parking will be restricted due to the 22' street width.
10. Obtain a City encroachment permit for work in City right-of-way.
11. Obtain UDOT encroachment permit for work in the State Street right-of-way.
12. Develop a site SWPPP and obtain a Land Disturbance permit prior to beginning any site work.
13. Provide a stormwater inspection and maintenance agreement.

Building Division

The Building Division recommends approval and states that each structure will be on separate permits and to make sure all buildings and townhomes have the required separation per both IRC for townhomes and IBC for the rest of the buildings.

Fire Department

The Fire Department recommends approval of the proposal and states the following:

1. Sprinklered residential. Discussed 6.19.25 planning meeting.
2. Meet ERCES testing.
3. Standpipes preferred mid landing locking caps on FDC and standpipe connections and knox.
4. Parking structure standpipe and building if most remote portion if sprinklered structure is more than 200' from standpipe.
5. Riser rooms exterior access with FDC and hydrants available within 100',
6. pre-con requested to review IFC Ch33 construction requirements and emergency plans, no combustibles until roads compactable and plowable,
7. Townhome heights to road width and access, if B underneath will need sprinklers. Myrtle 22' concern if over 30' height building.

8. Work with Murray power on EV charging stations and permitting.
9. Fire sprinkler and alarms 3rd party review required
10. TOWER-Height 90'
11. 3 different points of entry different levels if parking gate Emergency access for FD.
12. Per International Fire Code at minimum need 20' of access width for fire department access road (Ch5). The applicant will need to discuss with the fire marshal aerial fire apparatus access roads. Per appendix D apparatus access roads shall have an unobstructed 26' width if in the immediate vicinity of the building or portion thereof.

Water Division

1. All water utility work must follow Murray City Water Specification and Requirements. <https://www.murray.utah.gov/DocumentCenter/View/16107/2024-Water-Specifications-Requirements>
2. 3 – Way valving at both three-inch connections. Minimize service disruption to critical buildings.
3. Move 3” water meters closer to roadway and further from the buildings to allow city personnel better access to perform maintenance on the meters.
4. Describe fire line locations on the plans to the required buildings
5. Meter sizes for the taller residential buildings might be inefficient because of the height and the travel distance of the service. Provide plumbing plan to ensure the water service will maintain adequate pressure and capacity.
6. All old water laterals that served the prior buildings must be permanently abandoned at the city main prior to new services being metered and activated.
7. The only allowable service line material between the main and the meter is Type K Copper.
8. The only allowable main line material is Class 52 Ductile Iron

Wastewater Division

1. Sheet C4.0 grease trap location will not work. Every proposed future restaurant location requires a separate grease trap and sampling manhole. See Murray Wastewater detail.
2. Maximum clean out spacing is 75 feet. The two 6” lines at NW corner of the property exceed 75 feet. Also note on plan any clean out in walkable drivable surface must have a cast iron triangulated cover placed over the clean out.
3. Existing sewer main material in Myrtle Avenue is clay pipe not SDR 35 as labeled please change.
4. Adjust dead end SSMH #102 to have a 6” lateral tie into dead end MH.
5. Need to see overall sewer flow calculations for the development at build out. Need to verify current sewer infrastructure is adequate for the flows.
6. Include all applicable details directly from the Murray Wastewater specification book, not the included APWA details.
7. <https://www.murray.utah.gov/DocumentCenter/View/14929/Revised-Wastewater-Spec-Book-2023>

Power Department

1. The Power Department requires main disconnect size(s), and one-line diagrams for all future power service points before transformers can be placed on order.
2. When the time comes to build the new building(s), we will want to have a meeting to plan the new electrical service(s).
3. Murray Power and Murray Fire would like to work together with the developer regarding safety disconnects for the proposed EV chargers.
4. The developer must meet all Murray City Power Department requirements and the current NESC/NEC code and provide the required easement/ safety clearance(s) for equipment and Power lines.
5. Developer to coordinate metering placement with Murray Power metering department. Contact John Galanis 801-264-2723.

V. PUBLIC INPUT

Forty-two (42) notices were mailed to property owners within a 500' radius of the property. As of the writing of this staff report, no comments have been received.

VI. FINDINGS

Based on the analysis of the application, materials submitted, site visits, and a survey of the surrounding area, Staff concludes the following:

1. The proposed mixed use development is consistent with the goals and objectives of the Murray City General Plan.
2. Land Use #1100, Housing Units are a permitted use in the MCCD Zone.
3. Horizontal Mixed Use developments are allowed subject to Master Site Plan approval by the Murray City Planning Commission.
4. With conditions, the proposed development complies with the requirements of the MCCD Zone and other applicable standards of the Murray City Land Use Ordinance.

VII. CONCLUSION/RECOMMENDATION

Based on the information presented in this report, application materials submitted and a site review, staff recommends that the **Planning Commission grant Master Site Plan and Design Review APPROVAL for the Murray Tower Plaza Mixed-Use Project on the properties located at 5025 South State Street and 147 East Myrtle Avenue,** subject to the following conditions:

1. The project shall meet Murray City Engineering requirements.
2. The applicant shall meet all Murray City Water division requirements.

3. The project shall meet all Murray City Wastewater requirements.
4. The applicant shall meet all Murray City Power Department requirements and meet with power department staff to plan power service to the new building.
5. The applicant shall meet all Murray City Fire Department requirements.
6. The project shall meet all requirements of the Murray City Land Use Ordinance and the Master Site Plan.
7. The applicant shall work with staff to add street facing entrances for the State Street medical office building and restaurant buildings as required by code.
8. The applicant shall work with staff to increase the amount of landscaping and open space.
9. The applicant shall obtain appropriate permits for any new signage on the property.
10. The applicant shall obtain proper building permits prior to any construction and meet all building division requirements.
11. The applicant shall ensure any new businesses going into the commercial units obtain a business license prior to conducting operations.

MASTER SITE PLAN APPLICATION

Project Information

Project Name: Murray Tower Medical Plaza

Project Address: 5025 S. State Street, Murray Utah 84107

Parcel Identification (Sidwell) Number: 22071570430000 & 22071570460000

Parcel Area(acres): 5.98 Current Use: N/A Proposed: Mixed use medical project

Floor Area(square feet): (see drawings) Zoning District: Municipal Zone

Applicant Information

Name: Murray Triumph Group

Mailing Address: 5151 S. 900 E. #250 City: SLC State: UT ZIP: 84117

Phone #: 801-560-1596 Fax #: _____ Email Address: jima@triumphcmg.com

Property Owner's Information (If different)

Name: Under contract with Murray City

Mailing Address: _____ City: _____ State: _____ ZIP: _____

Phone #: _____ Fax #: _____ Email Address: _____

Describe the request in detail (use additional pages, or attach narrative if necessary):

Mixed use medical office buildings, restaurants, parking structure & for sale residential units

Authorized Signature:  Date: 01/09/2025

For Office Use Only

Project Number: _____ Date Accepted: _____

Planner Assigned: _____

Property Owners Affidavit

I (we) _____, being first duly sworn, depose and say that I (we) am (are) the current owner of the property involved in this application: that I (we) have read the application and attached plans and other exhibits and are familiar with its contents; and that said contents are in all respects true and correct based upon my personal knowledge.

Owner's Signature _____

Owner's Signature (co-owner if any) _____

State of Utah

§

County of Salt Lake

Subscribed and sworn to before me this _____ day of _____, 20____.

Notary Public _____

Residing in _____

My commission expires: _____

Agent Authorization

I (we), Murray Triumph Group, the owner(s) of the real property located at 5025 S. State Street in Murray City, Utah, do hereby appoint James F. Allred as my (our) agent to represent me (us) with regard to this application affecting the above described real property, and authorize James F. Allred to appear on my (our) behalf before any City board or commission considering this application.

Owner's Signature _____

Owner's Signature (co-owner if any) _____

State of Utah

§

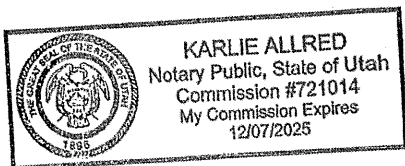
County of Salt Lake

On the 9th day of January, 20 25, personally appeared before me James F. Allred the signer(s) of the above Agent Authorization who duly acknowledge to me that they executed the same.

Notary public _____

Residing in: Salt Lake

My commission expires: 12/07/25





NOTICE OF PUBLIC HEARING

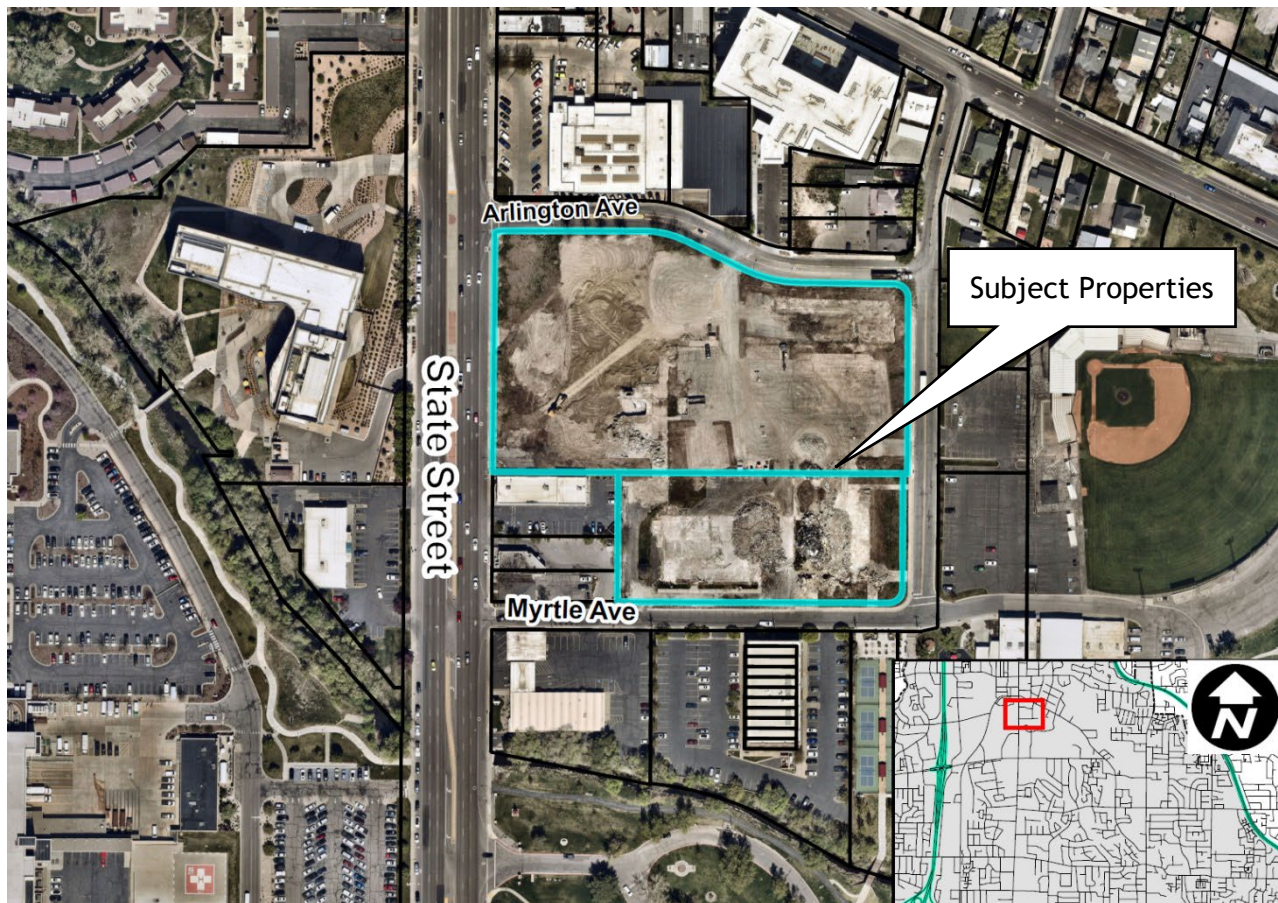
July 3rd, 2025, 6:30 PM

The Murray City Planning Commission will hold a public meeting on Thursday, July 3rd, 2025, at 6:30 p.m. in the Murray City Council Chambers, located at 10 East 4800 South to receive comment on an application submitted by **Representatives of Triumph Group** for the properties located at **5025 South State Street & 147 East Myrtle Avenue**.

The applicant is requesting Master Site Plan approval to develop a mixed-use project including 78 multi-family units and 204,287 square feet of commercial space on 5.98 acres.

The meeting will be streamed online, at www.murraycitylive.com or www.facebook.com/MurrayCityUtah/.

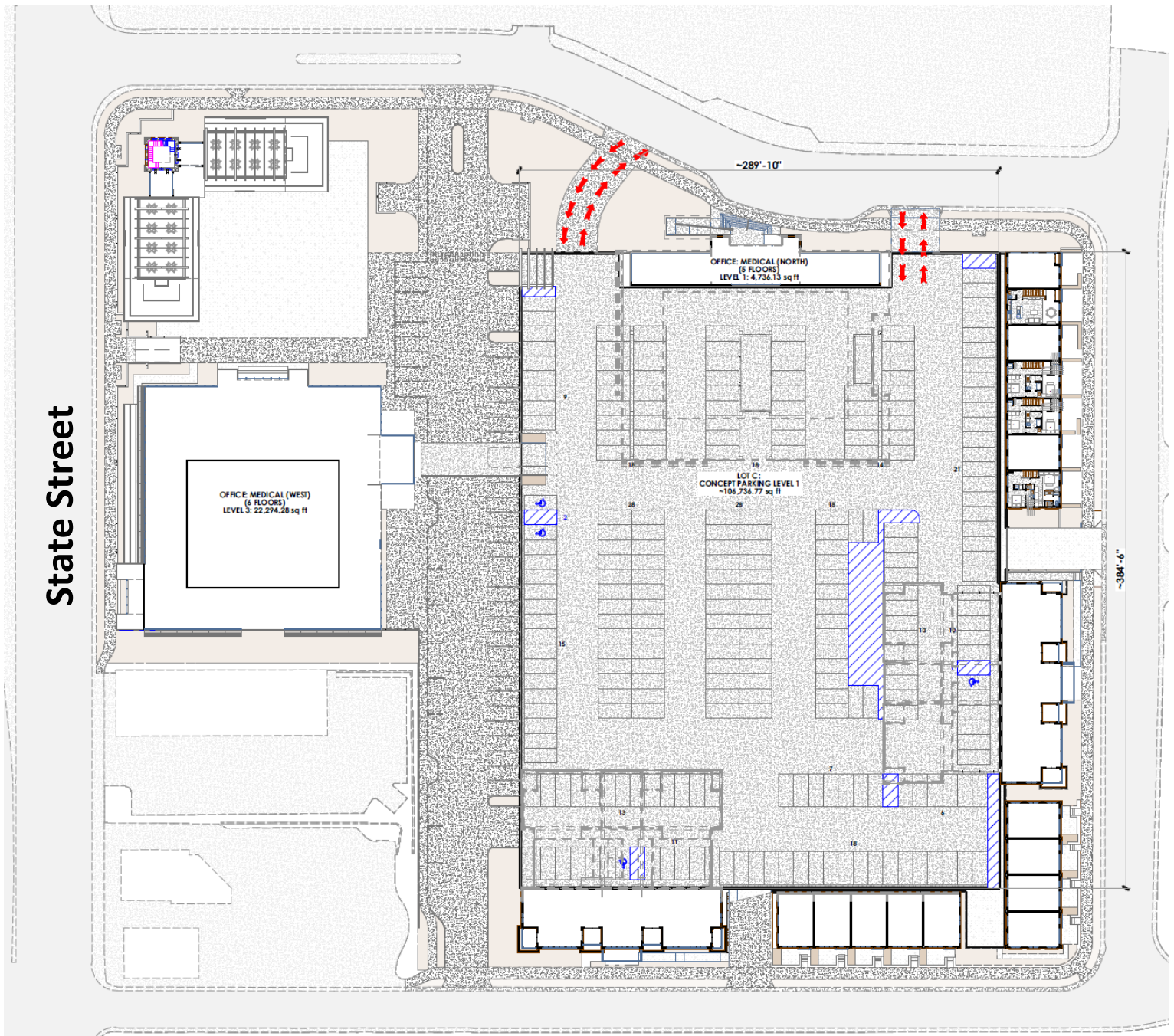
Comments are limited to 3 minutes or less, written comments will be entered into the meeting record.



This notice is being sent to you because you own property within 500 feet of the subject property. Comments concerning this proposal, will be accepted by calling the Murray City Planning Division at 801-270-2430, e-mail to pc@murray.utah.gov or in person at the meeting.

Special accommodations for the hearing or visually impaired will be upon a request to the office of the Murray City Recorder (801-264-2660). We would appreciate notification two working days prior to the meeting. TTY is Relay Utah at #711.

Public Notice Dated | July 18th, 2024





April 8, 2025

Murray Towns & MOB
State St from Myrtle Ave to Arlington Ave
Murray, Utah 84107

Salt Lake County Health Department
788 East Woodoak Lane (5380 South)
Murray, Utah 84117

SUBJECT: Water & Wastewater availability

Dear Triumph Construction

We have reviewed your proposed "Murray Towns & MOB" located at State St from Myrtle Ave to Arlington Ave. in Murray, as you have requested.

We are writing this letter to inform you that Murray City does have the necessary capacity to provide water and wastewater service. However, please note that even though we have the capacity to provide water and wastewater service for your project, it does not mean that those services are in the appropriate locations as desired. Therefore, you Triumph Construction, will need to work with the water division and wastewater division to determine your best options for connecting to our water and wastewater systems to provide the services to your development.

If you have questions regarding specific construction standards, requirements, or related connection fees, please call (801) 270-2440.

Best Regards,

Aron Frisk
Murray Water Superintendent
MURRAY CITY CORPORATION

Benjamin Ford
Murray Wastewater Superintendent
MURRAY CITY CORPORATION



April 10, 2025

Marcus Proctor
5025 S State St
Murray, UT 84107

Dear Developer:

Re: Natural Gas Service Availability Letter

Natural gas can be made available to serve the Subdivision Name when the following requirements are met:

1. Developer provides plat maps, drawings, construction schedules and/or buildings that will be served by natural gas, and all other relevant information regarding commercial and residential uses, including but not limited to, proposed natural gas appliances (number and type of appliances per unit, homes, building).
2. Review by Enbridge Gas' Engineering and/or Pre-Construction Department to determine load requirements. System reinforcement requirements and estimated costs to bring natural gas to the development.

Upon completion of Enbridge Gas' review of the development's natural gas requirements, agreements will be prepared, as necessary, for high pressure, intermediate high pressure and/or service line extensions required to serve the development. These service extensions must be paid in advance.

To accommodate your construction schedule and provide cost estimates to you, please contact me at your earliest convenience.

Sincerely,

A handwritten signature in black ink that reads "JT Wade". The signature is written in a cursive, flowing style.

JT Wade
Pre-Construction Representative



MURRAY CITY CORPORATION
CITY POWER

Greg Bellon, Director

801-264-2730

April 9, 2025

To: Murray Town & MOB
State ST from Myrtle Ave to Arlington Ave
Murray, Utah 84107

From: Chris Niemann
Engineering Manager
Murray City Power
153 W 4800 S
Murray, UT 84107

Re: Will Serve Letter

Dear Triumph Construction

As requested, this letter certifies that Murray City Power will provide services to the development property located at State ST from Myrtle Ave to Arlington Ave
Murray, Utah 84107

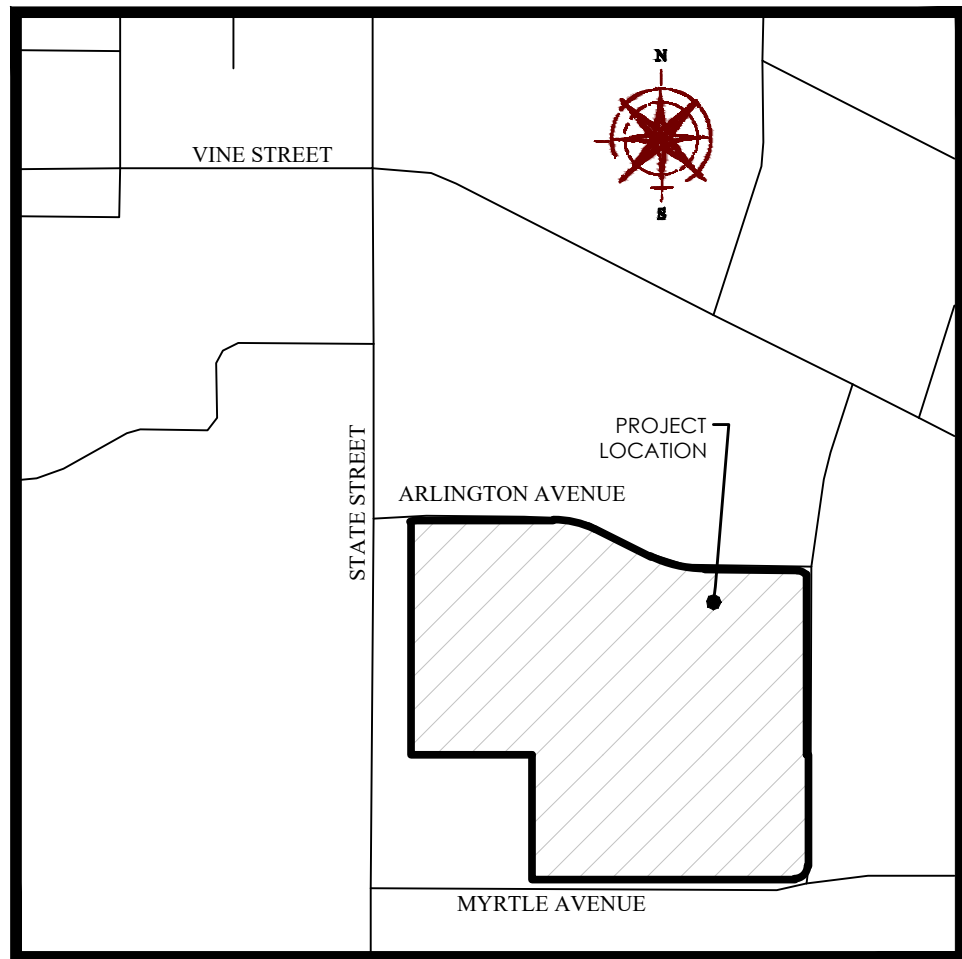
Feel free to contact me should you have further questions. (801 264 -2717

Best Regards,

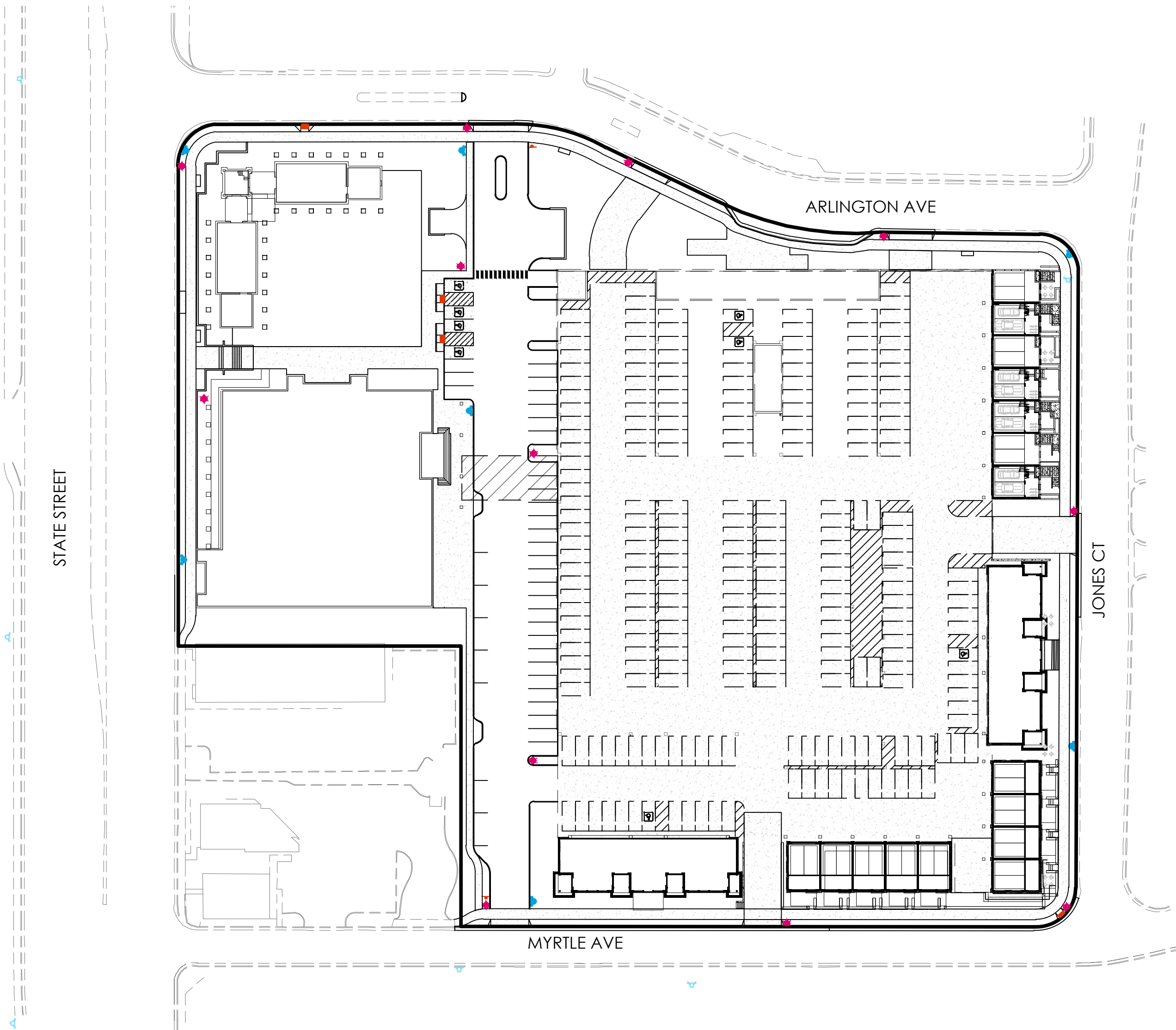
Chris Niemann

MURRAY TOWER

PREPARED FOR:
TRIUMPH DESIGN BUILD
LOCATED IN:
MURRAY, UTAH



VICINITY MAP
NTS



SITE MAP

GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- ANY AND ALL DISCREPANCIES IN THESE PLANS ARE TO BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL ADHERE TO MURRAY CITY STANDARD PLANS AND SPECIFICATIONS.
- ALL UTILITIES AND ROAD IMPROVEMENTS SHOWN ON THE PLANS HEREIN SHALL BE CONSTRUCTED USING REFERENCE TO SURVEY CONSTRUCTION STAKES PLACED UNDER THE SUPERVISION OF A PROFESSIONAL LICENSED SURVEYOR WITH A CURRENT LICENSE ISSUED BY THE STATE OF UTAH. ANY IMPROVEMENTS INSTALLED BY ANY OTHER VERTICAL OR HORIZONTAL REFERENCE WILL NOT BE ACCEPTED OR CERTIFIED BY THE ENGINEER OF RECORD.
- THIS DRAWING SET IS SCALED TO BE PRINTED ON A 24" X 36" SIZE OF PAPER (ARCH D). IF PRINTED ON A SMALLER PAPER SIZE, THE DRAWING WILL NOT BE TO SCALE AND SHOULD NOT BE USED TO SCALE MEASUREMENTS FROM THE PAPER DRAWING. ALSO USE CAUTION, AS THERE MAY BE TEXT OR DETAIL THAT MAY BE OVERLOOKED DUE TO THE SMALL SIZE OF THE DRAWING.

NOTICE

BEFORE PROCEEDING WITH THIS WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL CONDITIONS, QUANTITIES, DIMENSIONS, AND GRADE ELEVATIONS, AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER.

ENGINEER'S NOTES TO CONTRACTOR

- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS, TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. IF UTILITY LINES ARE ENCOUNTERED DURING CONSTRUCTION THAT ARE NOT IDENTIFIED BY THESE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY, THE OWNER, AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- ALL CONTOUR LINES SHOWN ON THE PLANS ARE AN INTERPRETATION BY CAD SOFTWARE OF FIELD SURVEY WORK PERFORMED BY A LICENSED SURVEYOR. DUE TO THE POTENTIAL DIFFERENCES IN INTERPRETATION OF CONTOURS BY VARIOUS TYPES OF GRADING SOFTWARE BY OTHER ENGINEERS OR CONTRACTORS, FOCUS DOES NOT GUARANTEE OR WARRANTY THE ACCURACY OF SUCH LINEWORK. FOR THIS REASON, FOCUS WILL NOT PROVIDE ANY GRADING CONTOURS IN CAD FOR ANY TYPE OF USE BY THE CONTRACTOR. SPOT ELEVATIONS AND PROFILE ELEVATIONS SHOWN IN THE DESIGN DRAWINGS GOVERN ALL DESIGN INFORMATION ILLUSTRATED ON THE APPROVED CONSTRUCTION SET. CONSTRUCTION EXPERTISE AND JUDGMENT BY THE CONTRACTOR IS ANTICIPATED BY THE ENGINEER TO COMPLETE BUILD-OUT OF THE INTENDED IMPROVEMENTS.

CONTACTS

ENGINEER & SURVEYOR
FOCUS ENGINEERING & SURVEYING, LLC
6949 S. HIGH TECH DRIVE SUITE 200
MIDVALE, UTAH 84047
(801) 352-0075
PROJECT MANAGER: RYLAN HUFF
SURVEY MANAGER: JUSTIN LUNDBERG

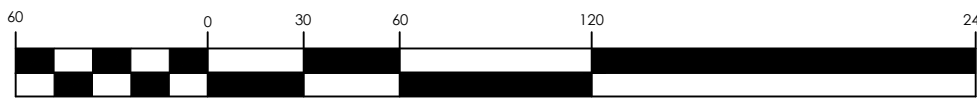
OWNER/DEVELOPER
TRIUMPH CONSTRUCTION
5151 SOUTH 900 EAST SUITE 250
SALT LAKE CITY, UTAH 84117
(810) 269-1508 EXT. 105
CONTACT: JIM ALLRED

BENCHMARK

WEST QUARTER CORNER OF SECTION 7
TOWNSHIP 2 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN



GRAPHIC SCALE



(IN FEET)
1 inch = 60 ft.

Sheet List Table	
Sheet Number	Sheet Title
C1.0	COVER
C1.1	DEMO PLAN
C2.0	ALTA SURVEY
C2.1	ALTA SURVEY
C3.0	SITE PLAN
C3.1	HARDSCAPE PLAN
C3.2	SIGNAGE & STRIPING PLAN
C3.3	LIGHTING PLAN
C3.4	CURB MANAGEMENT PLAN
C4.0	UTILITY PLAN
C5.0	OVERALL GRADING & DRAINAGE PLAN
C5.1	GRADING & DRAINAGE PLAN
C5.2	GRADING & DRAINAGE PLAN
C5.3	GRADING & DRAINAGE PLAN
C6.0	EROSION CONTROL PLAN
D1.0	DETAILS
D2.0	DETAILS
D3.0	DETAILS
D4.0	DETAILS
L1.0	OVERALL LANDSCAPE PLAN
L1.1	LANDSCAPE DETAILS
L2.0	IRRIGATION PLAN
L2.1	IRRIGATION PLAN

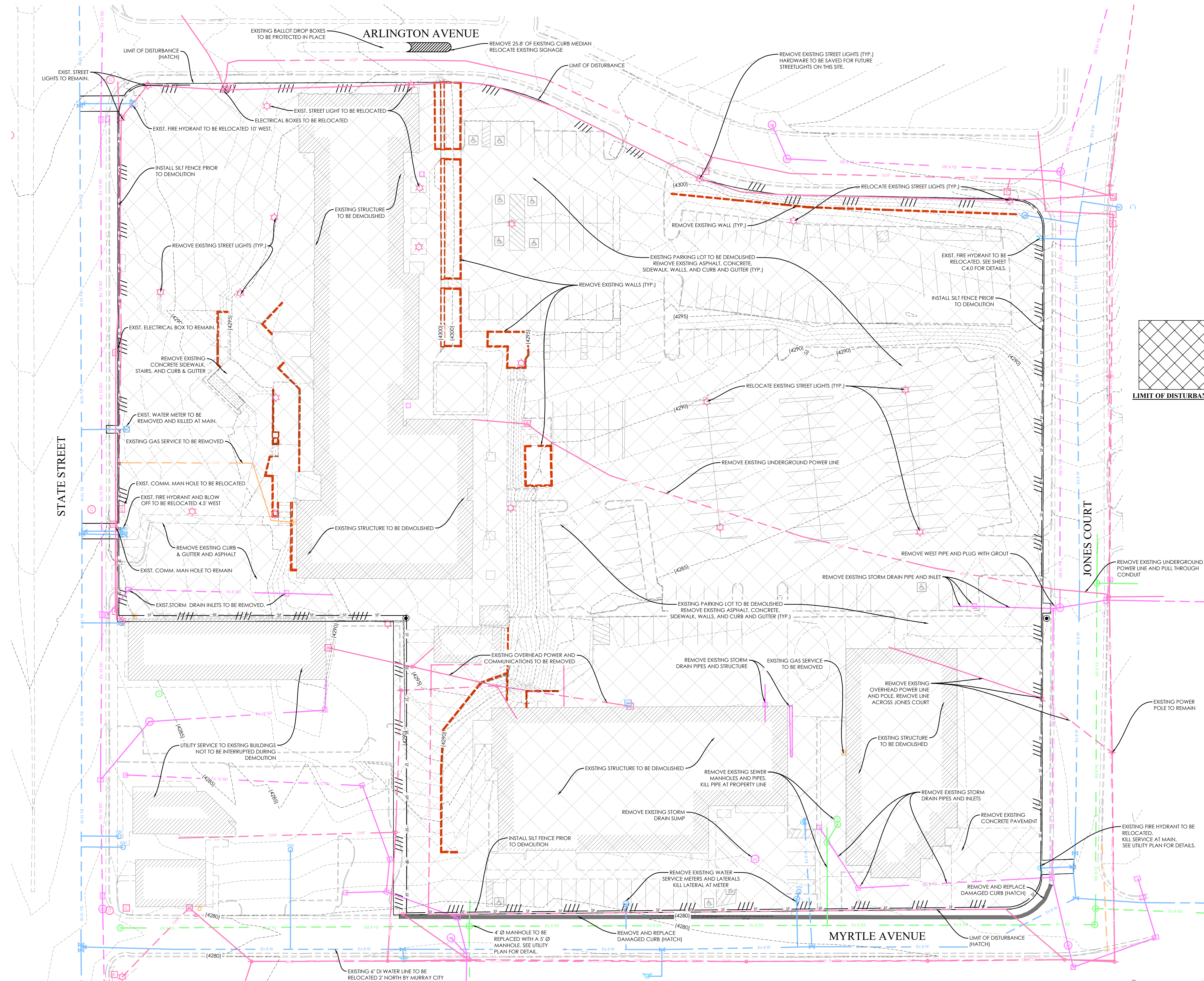
FOR
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REVISION BLOCK		DESCRIPTION
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COVER

Scale: 1"=60'
Date: 06/10/25
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Drawn: RRH
Job #: 24-0028

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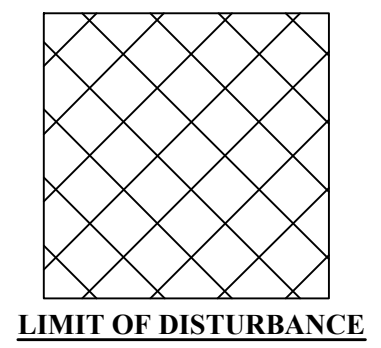
LEGEND

--- (solid)	BOUNDARY
--- (dashed)	ROW
--- (dotted)	LOT LINE
---	EASEMENT
XX SD	XX" STORM DRAIN
XX SS	XX" SANITARY SEWER
XX W	XX" CULINARY WATER
XX P	XX" PRESSURE IRRIGATION
XXXX	CONTOUR MAJOR
XXXXX	CONTOUR MINOR
Ex SD	EXIST. STORM DRAIN
Ex SS	EXIST. SANITARY SEWER
Ex W	EXIST. CULINARY WATER
Ex P	EXIST. PRESSURE IRRIGATION
X	EXIST. FENCE
(XXXX)	EXIST. CONTOUR MAJOR
(XXXXX)	EXIST. CONTOUR MINOR
+	SIGN
SL	STREET LIGHT
SD MH, INLET, AND COMBO	SD MH, INLET, AND COMBO
SM	SEWER MANHOLE
SMV	SECONDARY METER, WATER METER
CV	CULINARY VALVE, TEE & BEND
SV	SECONDARY VALVE, TEE & BEND
WBO	WATER BLOW-OFF
FD	FIRE HYDRANT
SM (TO BE SET)	STREET MONUMENT (TO BE SET)
Ex SD INLET & MH	EXIST. SD INLET & MH
Ex SS MH	EXIST. SEWER MH
Ex CV, TEE, & BEND	EXIST. VALVE, TEE, & BEND
Ex FD	EXIST. FIRE HYDRANT
o XXXX.XX	SPOT ELEVATION

- NOTES:**
- CONTRACTOR SHALL USE PRECAUTIONS AND SAFEGUARDS TO ENSURE THAT THE EXISTING SURROUNDING PROPERTIES ARE PROTECTED FROM DAMAGE DURING EXCAVATION & CONSTRUCTION
 - ALL HARDSCAPE STRUCTURES, LANDSCAPE, WALLS, UTILITY LINES, UTILITY STRUCTURES, AND OTHER EXISTING ITEMS TO BE REMOVED ON SITE AS PART OF DEMOLITION.
 - WATER LATERAL SERVICE ON STATE STREET, ARLINGTON AVENUE, AND JONES COURT ARE TO BE KILLED AT THE MAIN
 - WATER LATERAL SERVICE ON MYRTLE AVENUE ARE TO BE KILLED AT THE METER. MURRAY CITY TO IMPROVE MYRTLE AVE. WATER LINE PRIOR TO CONSTRUCTION OF THIS PROJECT.
 - FIRE HYDRANT SERVICE ON STATE STREET, JONES COURT, AND MYRTLE AVENUE ARE TO BE KILLED AT THE MAIN.
 - SEWER LATERAL SERVICE ON MYRTLE AVENUE TO BE KILLED AT THE PROPERTY LINE.
 - ALL OVERHEAD POWER ON SITE TO BE REMOVED AND IMPROVED WITH UNDERGROUND SERVICE.
 - FIRE HYDRANTS AND STREETLIGHTS TO BE RELOCATED ARE TO BE SAVED AND REUSED FOR PROPOSED HYDRANTS DURING FUTURE CONSTRUCTION.

SITE TABULATIONS:

ZONING	MCCD
TOTAL AREA:	266,522 SQ FT / 6.11 ACRES
BUILDING AREA:	51,185 SQ FT / 1.18 ACRES
HARDSCAPE AREA:	147,310 SQ FT / 3.38 ACRES
LANDSCAPE AREA:	68,027 SQ FT / 1.56 ACRES



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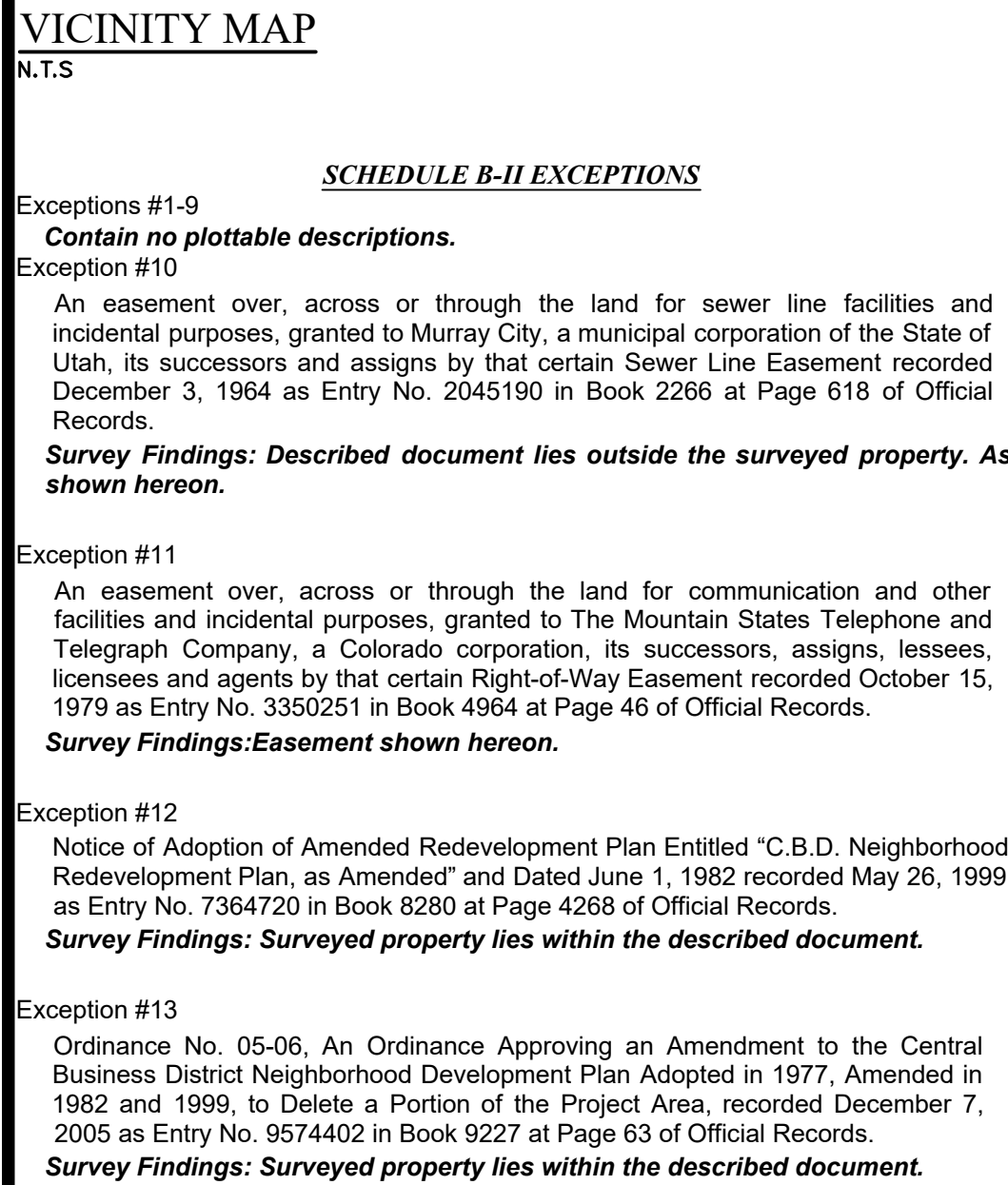
MURRAY MOB

MURRAY, UTAH
DEMO PLAN

REVISION BLOCK	DATE	DESCRIPTION
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DEMO PLAN

Scale: 1"=30'	Drawn: RRH
Date: 06/10/25	Job #: 24-0028
Sheet:	C1.1

[illegible]

- LEGAL DESCRIPTION(S)**
(FROM TITLE REPORT)

PARCEL 1: (A) (FROM TITLE REPORT)
Beginning at a point on the East side State Street 896.1 feet East and 520.34 feet North from the West quarter corners of Section 7, Township 2 South, Range 1 East, Salt Lake Base and Meridian; and running thence North along said East line of State Street 347.82 feet; thence East 421.80 feet more or less to the West line of the George D. Egan property; thence East 209.92 feet more or less to the Southwest corner of said Egan property; thence East 164 feet more or less to the West line of Jones Court; thence South along said West line 318.02 feet more or less; thence West 585.5 feet more or less to the point of beginning.

Excepting therefrom that portion which lies within the bounds of Arlington Avenue.

Parcel 1 is also described as follows: **(B)**

Beginning East 396.10 feet and North 520.34 feet from the West quarter corner of Section 7, Township 2 South, Range 1 East, Salt Lake Base and Meridian; and running thence North 347.82 feet; thence East 352.84 feet more or less; thence South 64°10' East 34.56 feet; thence Southeasterly along a 143.70 foot radius curve to the left 51.66 feet; thence East 164 feet more or less; thence South 318.02 feet more or less; thence West 585.50 feet more or less to the point of beginning.

Less Street.

PARCEL 2: (C)
Beginning East 1076.1 feet and North 520.34 feet from the West quarter corner of Section 7, Township 2 South, Range 1 East, Salt Lake Base and Meridian; and running thence East 400.64 feet; thence South 184.98 feet; thence West 405.5 feet, more or less; thence North 173.34 feet more or less to the point of beginning.

As surveyed: **(D)**

A parcel of land located in the Northwest quarter and Lot 2 of Section 7, Township 2 South, Range 1 East, Salt Lake Base and Meridian, Murray City, Salt Lake County, Utah, more particularly described as follows:

Beginning at a point 1076.57 feet East and 520.18 feet North from the West quarter corner of said Section 7, which is also 950.19 feet South 00°03'49" West along the monument line of State Street and 245.88 feet East from the monument at the intersection of State Street and Vine Street; and running thence East 408.80 feet to the Western boundary of Jones Court; thence South 165.37 feet said street to a point of curvature with a 20.00 foot radius curve to the thence the Western boundary 1.42 feet along the arc of said curve through a central angle of 90°00'00" (chord bears South 45°00'00" West 28.28 feet) to the Northern boundary of Myrtle Avenue; thence West 388.80 feet along said street; thence North 185.37 feet to the point of beginning.

SURVEYOR'S CERTIFICATE

To Redevelopment Agency of Murray City; Triumph Group Murray, LLC; National Title Agency of Utah; Chicago Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 6(a), 6(b), 7, 8, 10, 11(a), 11(b), 13, 14, 17 & 18 of Table A thereof. The fieldwork was completed on January 23, 2024.

Justin Lundberg
Professional Land Surveyor
License No. 12554439

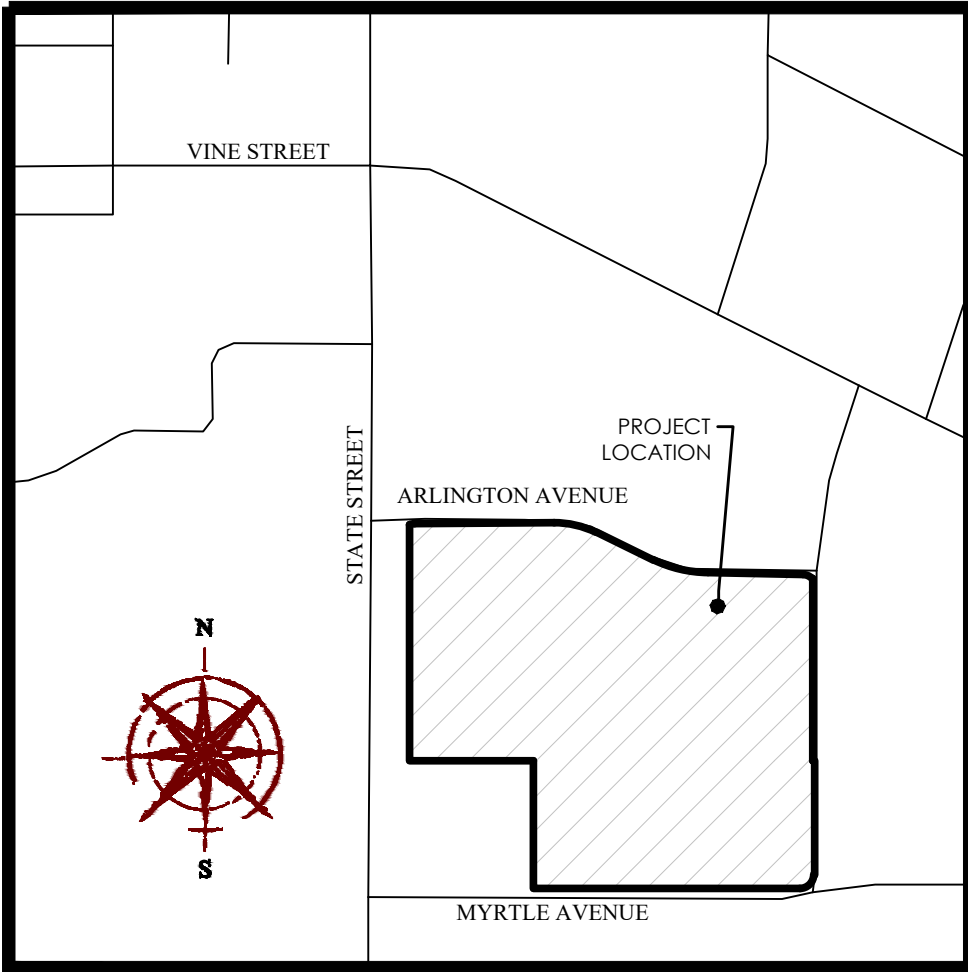
Date _____

ALTA/NSPS LAND AND TITLE SURVEY
 TION: THE NORTHEAST QUARTER OF SECTION 7, T2S, R1E, SLB&M
 MURRAY CITY, SALT LAKE COUNTY, UTAH
 PROPERTY OF: REDEVELOPMENT AGENCY OF MURRAY CITY
 PREPARED FOR: TRIUMPH DESIGN BUILD

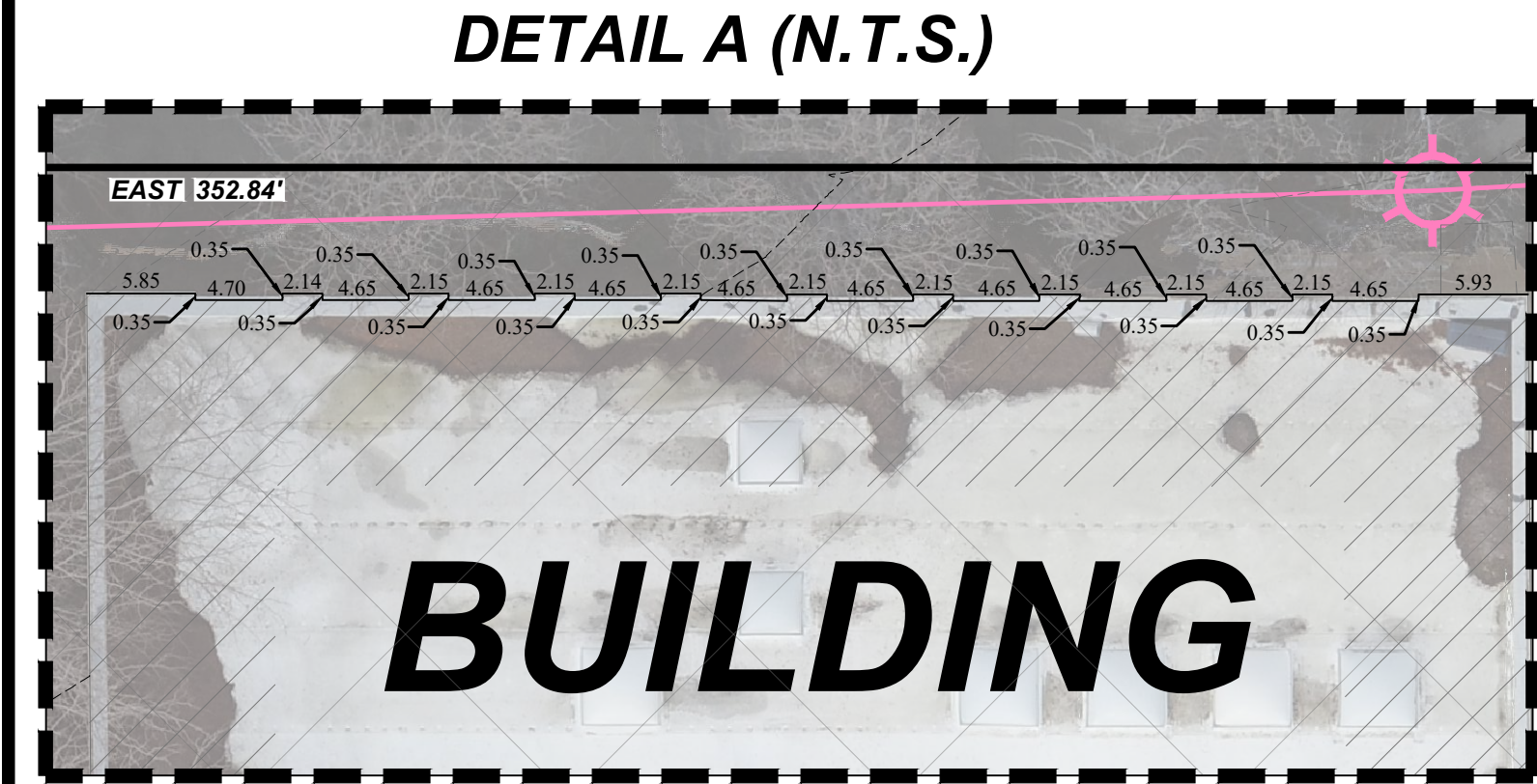
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5	10-1-2010	10-1-2010
6	10-1-2010	10-1-2010

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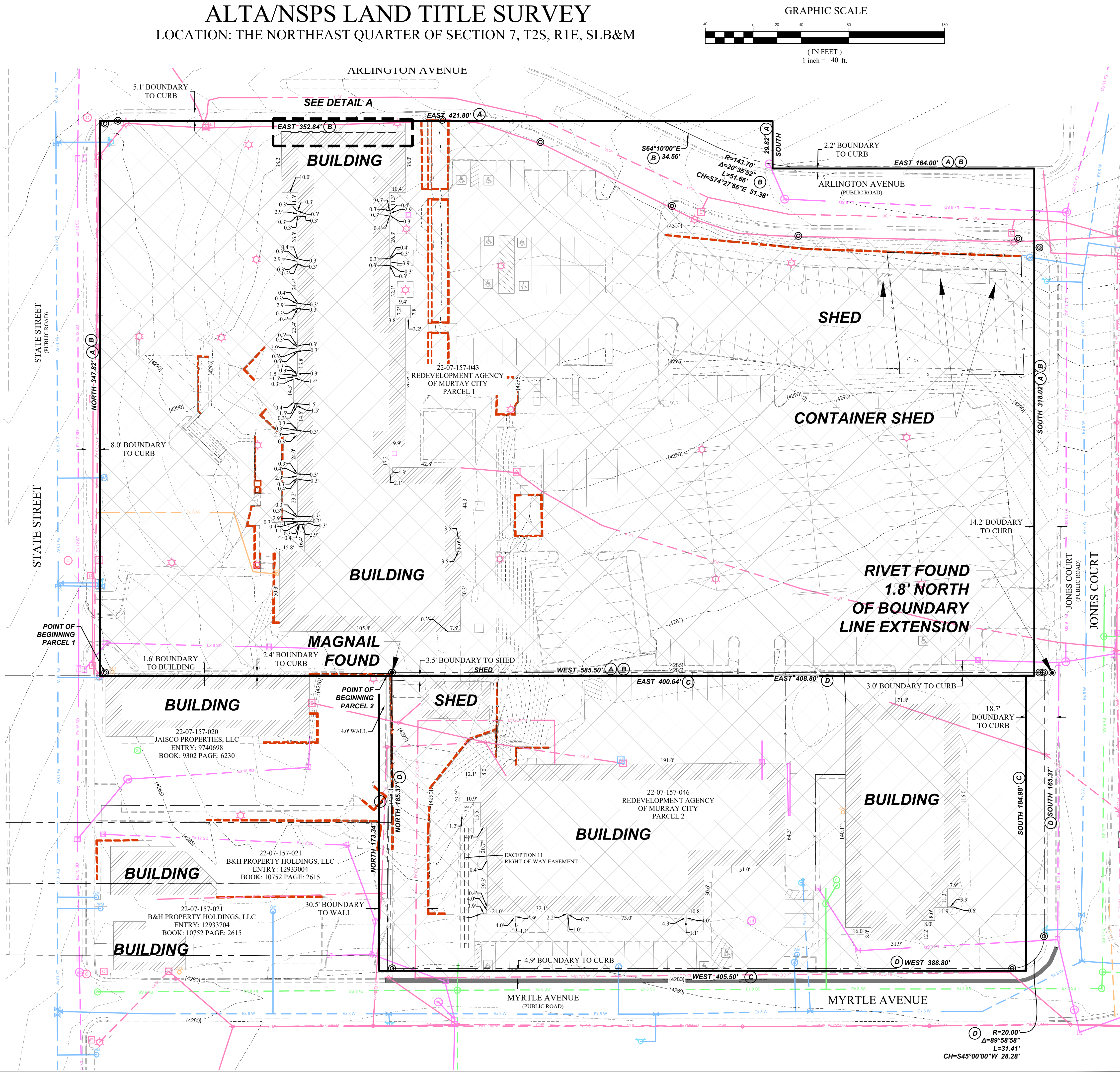
1 OF 1



VICINITY MAP
N.T.S.



LEGEND	
	BOUNDARY LINE
	SECTION LINE
	EXIST. EASEMENT LINE
	EXIST. PROPERTY LINE
	EXIST. CONTOUR MAJOR
	EXIST. CONTOUR MINOR
	EXIST. STORM DRAIN
	EXIST. SANITARY SEWER
	EXIST. CULINARY WATER
	EXIST. SECONDARY WATER
	EXIST. IRRIGATION
	EXIST. NATURAL GAS
	EXIST. COMMUNICATIONS
	EXIST. OVERHEAD POWER
	EXIST. UNDERGROUND POWER
	EXIST. FENCE
	EXIST. IRRIGATION DITCH FLOWLINE
	EXIST. CONCRETE, CURB & GUTTER, SIDEWALK
	EXIST. EDGE OF ASPHALT
	STREET MONUMENT (FOUND)
	SECTION MONUMENT (NOT FOUND)
	BOUNDARY MARKER
	EXIST. SD INLET, MANHOLE & COMBO BOX
	EXIST. SEWER MANHOLE
	EXIST. WATER VALVE & WATER METER
	EXIST. FIRE HYDRANT
	EXIST. IRRIGATION BOX
	EXIST. GAS VALVE & GAS METER
	EXIST. STREET LIGHT
	EXIST. POWER POLE
	EXIST. ELECTRICAL BOX

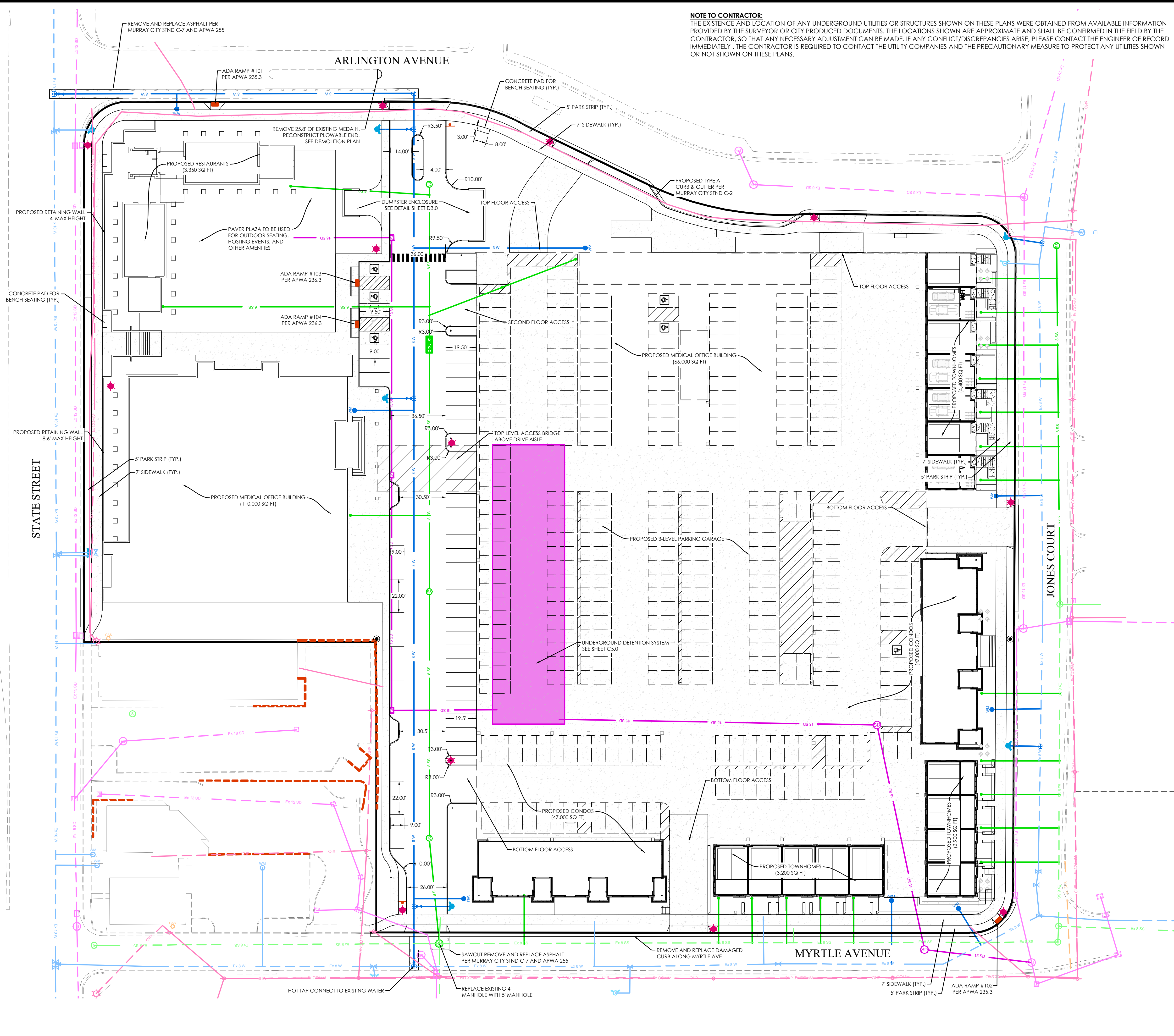


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REVIEW
ONLY

ALTA/NSPS LAND TITLE SURVEY
LOCATION: THE NORTHEAST QUARTER OF SECTION 7, T2S, R1E, SLB&M
MURRAY CITY, SALT LAKE COUNTY, UTAH
PROPERTY OF: REDEVELOPMENT AGENCY OF MURRAY CITY
PREPARED FOR: TRIUMPH DESIGN BUILD

REVISION BLOCK	
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Drawn: RM	Checked: JDL
Scale: 1"=30'	Job #: 24-0028
Date: 03/06/2024	
Sheet:	



NOTE TO CONTRACTOR:
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY THE SURVEYOR OR CITY PRODUCED DOCUMENTS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE. IF ANY CONFLICT/DISCREPANCIES ARISE, PLEASE CONTACT THE ENGINEER OF RECORD IMMEDIATELY. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND THE PRECAUTIONARY MEASURE TO PROTECT ANY UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS.

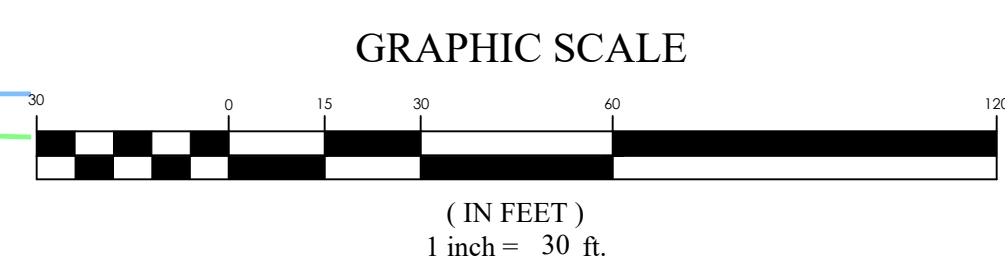
LEGEND

BOUNDARY	XX SD	EXIST. STORM DRAIN
ROW	XX SS	EXIST. SANITARY SEWER
CENTERLINE	XX W	EXIST. CULINARY WATER
LOT LINE	XX P	EXIST. PRESSURE IRRIGATION
EASEMENT	XXXX	EXIST. CONTOUR MAJOR
XX" STORM DRAIN	XXXX	EXIST. CONTOUR MINOR
XX" SANITARY SEWER	XXXX	EXIST. FIRE HYDRANT
XX" CULINARY WATER	XXXX	EXIST. STREET MONUMENT (TO BE SET)
XX" PRESSURE IRRIGATION	XXXX	EXIST. STREET MONUMENT
CONTOUR MAJOR	XXXX	EXIST. SD INLET & MH
CONTOUR MINOR	XXXX	EXIST. SEWER MH
EXIST. STORM DRAIN	XXXX	EXIST. VALVE, TEE, & BEND
EXIST. SANITARY SEWER	XXXX	EXIST. FIRE HYDRANT
EXIST. CULINARY WATER	XXXX	SPOT ELEVATION
EXIST. PRESSURE IRRIGATION	XXXX	
EXIST. FENCE	XXXX	
EXIST. CONTOUR MAJOR	XXXX	
EXIST. CONTOUR MINOR	XXXX	

o XXXX.XX

SITE TABULATIONS:

ZONING	MCCD
TOTAL AREA:	261,330 SQ FT / 1.34 ACRES
BUILDING AREA:	305,350 SQ FT / 7.00 ACRES
- WEST MOB	110,000 SQ FT
- RESTAURANTS	3,350 SQ FT
- NORTH MOB	66,000 SQ FT
- TOWNHOMES	32,000 SQ FT
- CONDOS	94,000 SQ FT
HARDSCAPE AREA:	202,741.13 SQ FT / 4.65 ACRES
OPEN SPACE AREA:	81,579.87 SQ FT / 1.87 ACRES
- PLANTINGS	49,729 SQ FT / 1.14 ACRES
- PLAZA	11,453 SQ FT / .26 ACRES
- SIDEWALKS	20,397.87 SQ FT / 0.47 ACRES
TOTAL PARKING:	780 STALLS
PARKING GARAGE:	708 STALLS
TOWNHOMES:	32 STALLS
RESTAURANT/WEST MOB:	0 STALLS
STREET STALLS:	45 STALLS
- REGULAR STALLS:	41 STALLS
- ADA STALLS:	4 STALLS



FOCUS
ENGINEERING AND SURVEYING, LLC
6949 S. HIGH TECH DRIVE, SUITE 200
MIDVALE, UTAH 84047 PH: (801) 552-0075
www.focus-es.com

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MURRAY MOB
MURRAY, UTAH
SITE PLAN

REVISION BLOCK	DESCRIPTION
#	DATE
1	
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SITE PLAN

Scale: 1"=30'
Date: 06/10/25
Sheet: C3.0

Drawn: RRH
Job #: 24-0028

811
Know what's below.
Call 811 before you dig.

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STATE STREET

ARLINGTON AVENUE
D

JONES COURT

MYRTLE AVENUE

HARDSCAPE LEGEND

- 2" TYPE A CURB AND GUTTER PER MURRAY CITY STND C-2
- 6" TYPE P CURB WALL PER APWA 209
- STANDARD DRIVEWAY PER MURRAY CITY STND C-2
- SIDEWALK (8" CONCRETE OVER 6" ROADBASE)
- SIDEWALK (6" CONCRETE OVER 6" ROADBASE)
- DUMPSTER CONCRETE PAD (8" CONCRETE OVER 4" ROADBASE)
- CONCRETE APRON & ADA PARKING (6" CONCRETE OVER 6" ROADBASE)
- DRIVE AISLE (3" ASPHALT OVER 8" ROADBASE)
- BUILDING FOOTPRINT
- PARKING GARAGE
- LANDSCAPE AREA
- TRANSITION ZONE
- PAVERS



GRAPHIC SCALE



FOR
REVIEW
ONLY

MURRAY MOB
MURRAY, UTAH
HARDSCAPE PLAN

REVISION BLOCK		DESCRIPTION
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HARDSCAPE PLAN	
Scale: 1"=30'	Drawn: RRH
Date: 06/10/25	Job #: 24-0028
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STATE STREET

ARLINGTON AVENUE

STOP SIGN #101
PER MURRAY CITY STANDARDS
PER MUTCD R1-1

PEDESTRIAN CROSSWALK

STOP SIGN #102
PER MURRAY CITY STANDARDS
PER MUTCD R1-1

MYRTLE AVENUE

JONES COURT

LEGEND

- BOUNDARY
- ROW
- CENTERLINE
- LOT LINE
- EASEMENT
- XX" STORM DRAIN
- XX" SANITARY SEWER
- XX" CULINARY WATER
- XX" PRESSURE IRRIGATION
- CONTOUR MAJOR
- CONTOUR MINOR
- EXIST. STORM DRAIN
- EXIST. SANITARY SEWER
- EXIST. CULINARY WATER
- EXIST. FENCE
- EXIST. CONTOUR MAJOR
- EXIST. CONTOUR MINOR
- SIGN
- STREET LIGHT
- SD MH, INLET, AND COMBO
- SEWER MANHOLE
- SECONDARY METER, WATER METER
- CULINARY VALVE, TEE & BEND
- SECONDARY VALVE, TEE & BEND
- WATER BLOW-OFF
- FIRE HYDRANT
- STREET MONUMENT (TO BE SET)
- EXIST. STREET MONUMENT
- EXIST. SD INLET & MH
- EXIST. SEWER MH
- EXIST. VALVE, TEE, & BEND
- EXIST. FIRE HYDRANT
- SPOT ELEVATION



GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.



FOR
REVIEW
ONLY

MURRAY MOB

MURRAY, UTAH

SIGNAGE & STRIPING PLAN

REVISION BLOCK		DESCRIPTION
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SIGNAGE & STRIPING PLAN

Scale: 1"=30'
Date: 06/10/25
Sheet: C3.2

Drawn: RRH
Job #: 24-0028

C3.2

STATE STREET

ARLINGTON AVENUE

MYRTLE AVENUE

JONES COURT

LEGEND

- BOUNDARY
- ROW
- CENTERLINE
- LOT LINE
- EASEMENT
- XX" STORM DRAIN
- XX" SANITARY SEWER
- XX" CULINARY WATER
- XX" PRESSURE IRRIGATION
- CONTOUR MINOR
- CONTOUR MAJOR
- EXIST. STORM DRAIN
- EXIST. SANITARY SEWER
- EXIST. CULINARY WATER
- EXIST. FENCE
- EXIST. CONTOUR MAJOR
- EXIST. CONTOUR MINOR
- SIGN
- STREET LIGHT
- SD MH, INLET, AND COMBO
- SEWER MANHOLE
- SECONDARY METER, WATER METER
- CULINARY VALVE, TEE & BEND
- SECONDARY VALVE, TEE & BEND
- WATER BLOW-OFF
- FIRE HYDRANT
- STREET MONUMENT (TO BE SET)
- EXIST. STREET MONUMENT
- EXIST. SD INLET & MH
- EXIST. SEWER MH
- EXIST. VALVE, TEE, & BEND
- EXIST. FIRE HYDRANT
- SPOT ELEVATION



GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.



FOR
REVIEW
ONLY

MURRAY MOB

MURRAY, UTAH

LIGHTING PLAN

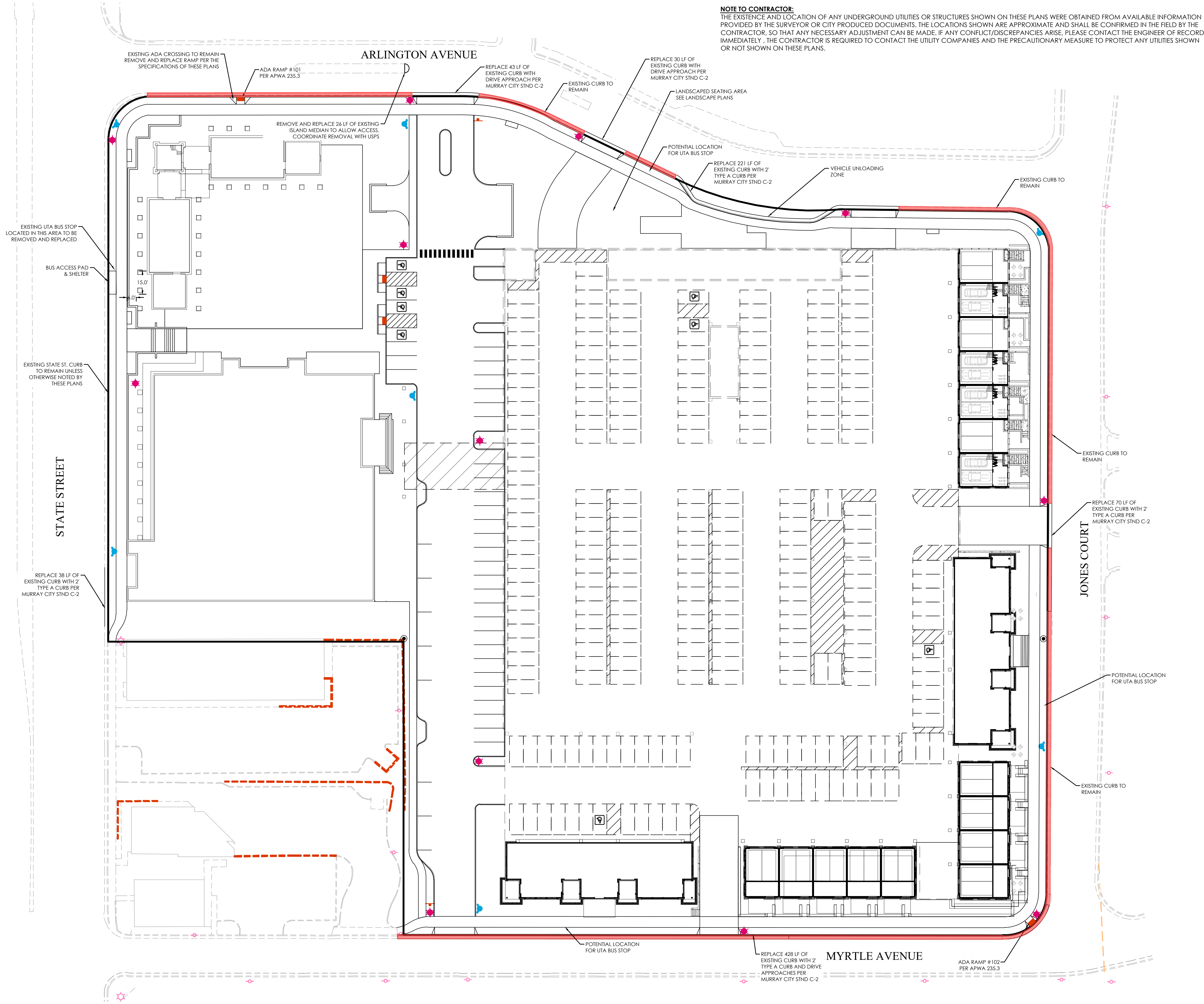
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LIGHTING PLAN

Scale: 1"=30'
Date: 06/10/25
Sheet:

Drawn: RRH
Job #: 24-0028

C3.3



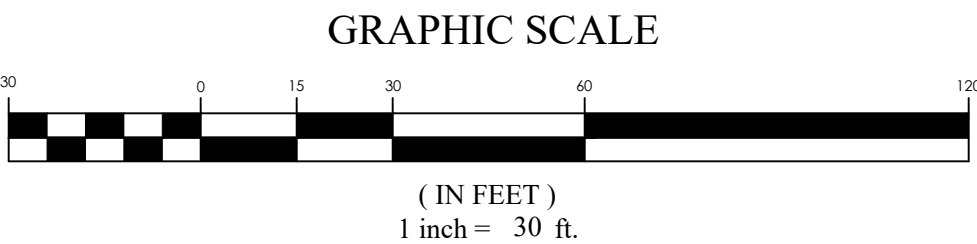
NOTE TO CONTRACTOR:
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LEGEND

—	BOUNDARY
—	ROW
—	CENTERLINE
—	LOT LINE
—	EASEMENT
XX SD	XX" STORM DRAIN
XX SS	XX" SANITARY SEWER
XX W	XX" CULINARY WATER
XX P	XX" PRESSURE IRRIGATION
XXXX	CONTOUR MAJOR
XXXX	CONTOUR MINOR
Ex SD	EXIST. STORM DRAIN
Ex SS	EXIST. SANITARY SEWER
Ex W	EXIST. CULINARY WATER
Ex P	EXIST. FENCE
XXXX	EXIST. CONTOUR MAJOR
XXXX	EXIST. CONTOUR MINOR
+	SIGN
+	STREET LIGHT
+	SD MH, INLET, AND COMBO
+	SEWER MANHOLE
+	SECONDARY METER, WATER METER
+	CULINARY VALVE, TEE & BEND
+	SECONDARY VALVE, TEE & BEND
+	WATER BLOW-OFF
+	FIRE HYDRANT
+	STREET MONUMENT (TO BE SET)
+	EXIST. STREET MONUMENT
+	EXIST. SD INLET & MH
+	EXIST. SEWER MH
+	EXIST. VALVE, TEE, & BEND
+	EXIST. FIRE HYDRANT
+	SPOT ELEVATION

- NOTES:**
- EXISTING DAMAGED CURB TO BE REPLACED WITH NEW CURB AS NOTED IN THESE PLANS
 - EXISTING CURB LOCATED AT FUTURE ACCESS POINTS IS TO BE REPLACED FOR ACCESS
 - REPLACEMENT OF CURB ADJACENT TO STATE STREET TO FOLLOW UDOT STANDARDS
 - REPLACEMENT OF CURB ADJACENT TO ARLINGTON AVE, JONES COURT, AND MYRTLE AVE TO FOLLOW MURRAY CITY STANDARDS. CURB LOCATED WITHIN THE SITE TO FOLLOW MURRAY CITY AND APWA STANDARDS AS NOTED.
 - ALL STREET FRONTAGE IMPROVEMENT TO FOLLOW MURRAY CITY CODE 17.146.120

CURB TO BE PAINTED RED



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MURRAY MOB

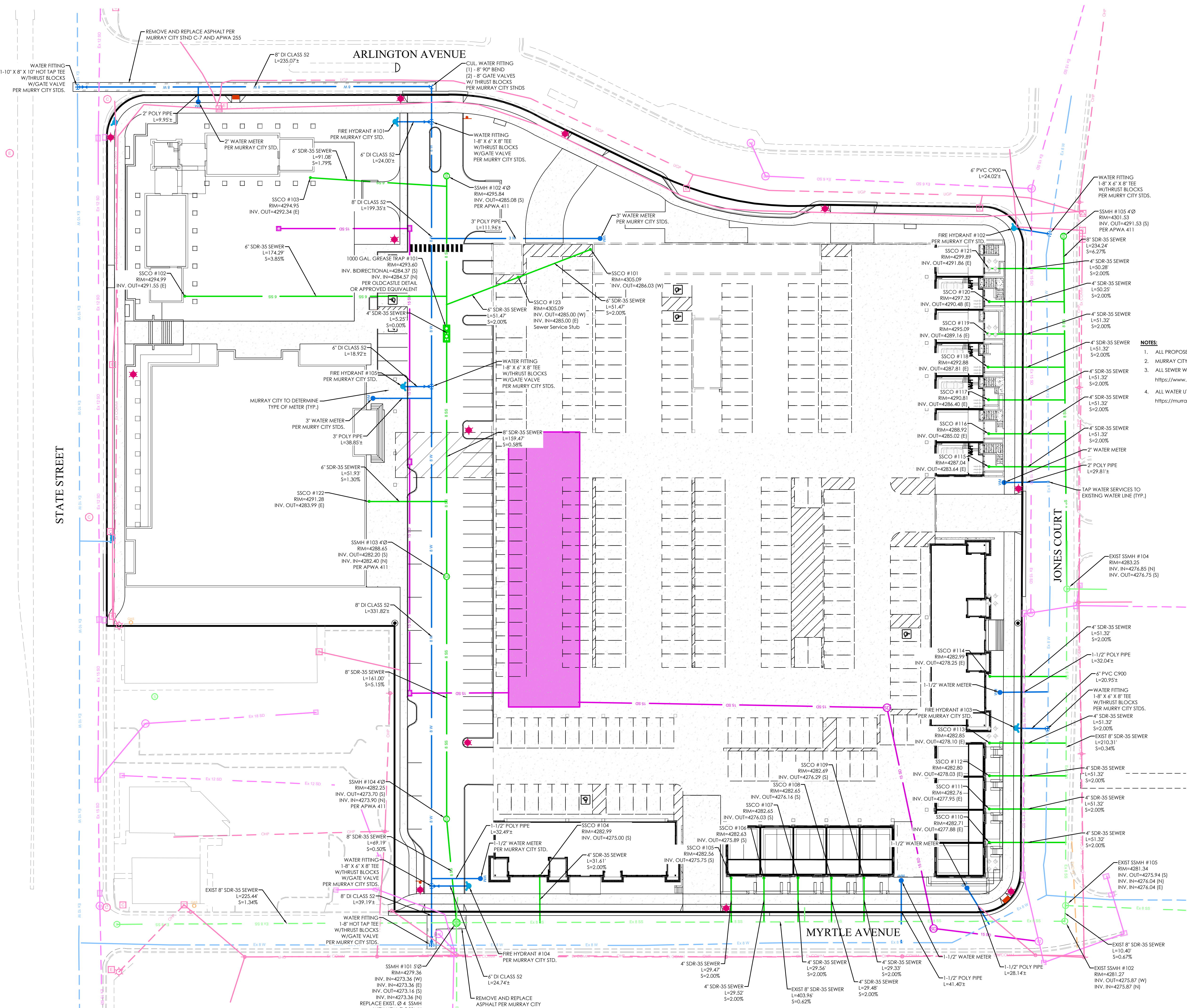
MURRAY, UTAH

CURB MANAGEMENT PLAN

REVISION BLOCK		DESCRIPTION
#	DATE	
1	06/10/25	Initial Design
2	06/10/25	Revised Design
3	06/10/25	Final Design
4	06/10/25	As Shown
5	06/10/25	As Shown
6	06/10/25	As Shown

CURB MANAGEMENT PLAN

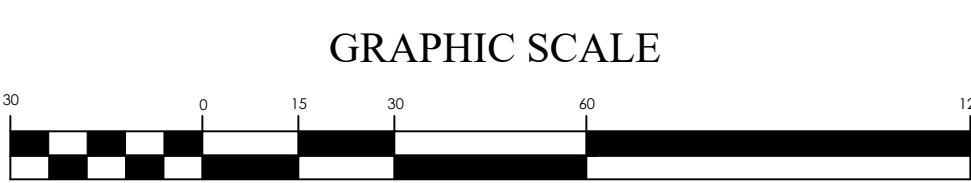
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Date: 06/10/25	Job #: 24-0028
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LEGEND

---	BOUNDARY
---	ROW
---	CENTERLINE
---	LOT LINE
---	EASEMENT
XX SD	XX" STORM DRAIN
XX SS	XX" SANITARY SEWER
XX W	XX" CULINARY WATER
XX P	XX" PRESSURE IRRIGATION
XXXX	CONTOUR MAJOR
XXXX	CONTOUR MINOR
---	EXIST. STORM DRAIN
---	EXIST. SANITARY SEWER
---	EXIST. CULINARY WATER
---	EXIST. FENCE
---	EXIST. CONTOUR MAJOR
---	EXIST. CONTOUR MINOR
+	SIGN
+	STREET LIGHT
+	SD MH, INLET, AND COMBO
+	SEWER MANHOLE
+	SECONDARY METER, WATER METER
+	CULINARY VALVE, TEE & BEND
+	SECONDARY VALVE, TEE & BEND
+	WATER BLOW-OFF
+	FIRE HYDRANT
+	STREET MONUMENT (TO BE SET)
+	EXIST. STREET MONUMENT
+	EXIST. SD INLET & MH
+	EXIST. SEWER MH
+	EXIST. VALVE, TEE, & BEND
+	EXIST. FIRE HYDRANT
+	SPOT ELEVATION

- NOTES:**
1. ALL PROPOSED UTILITY LAYOUTS ARE CONCEPTUAL AND SUBJECT TO CHANGE.
 2. MURRAY CITY TO IMPROVE MYRTLE AVE: UTILITY CONNECTIONS SUBJECT TO CHANGE.
 3. ALL SEWER WORK MUST MEET MURRAY SPECIFICATIONS, PER THE MURRAY WASTEWATER SPECIFICATION BOOK. <https://www.murray.utah.gov/DocumentCenter/View/14929/Revised-Wastewater-Spec-Book-2023>
 4. ALL WATER UTILITY WORK MUST FOLLOW MURRAY CITY WATER SPECIFICATION AND REQUIREMENTS. <https://murray.utah.gov/DocumentCenter/View/13884/Spec-Book-2023-Updated-4142023?bidd=1>



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MURRAY MOB

MURRAY, UTAH

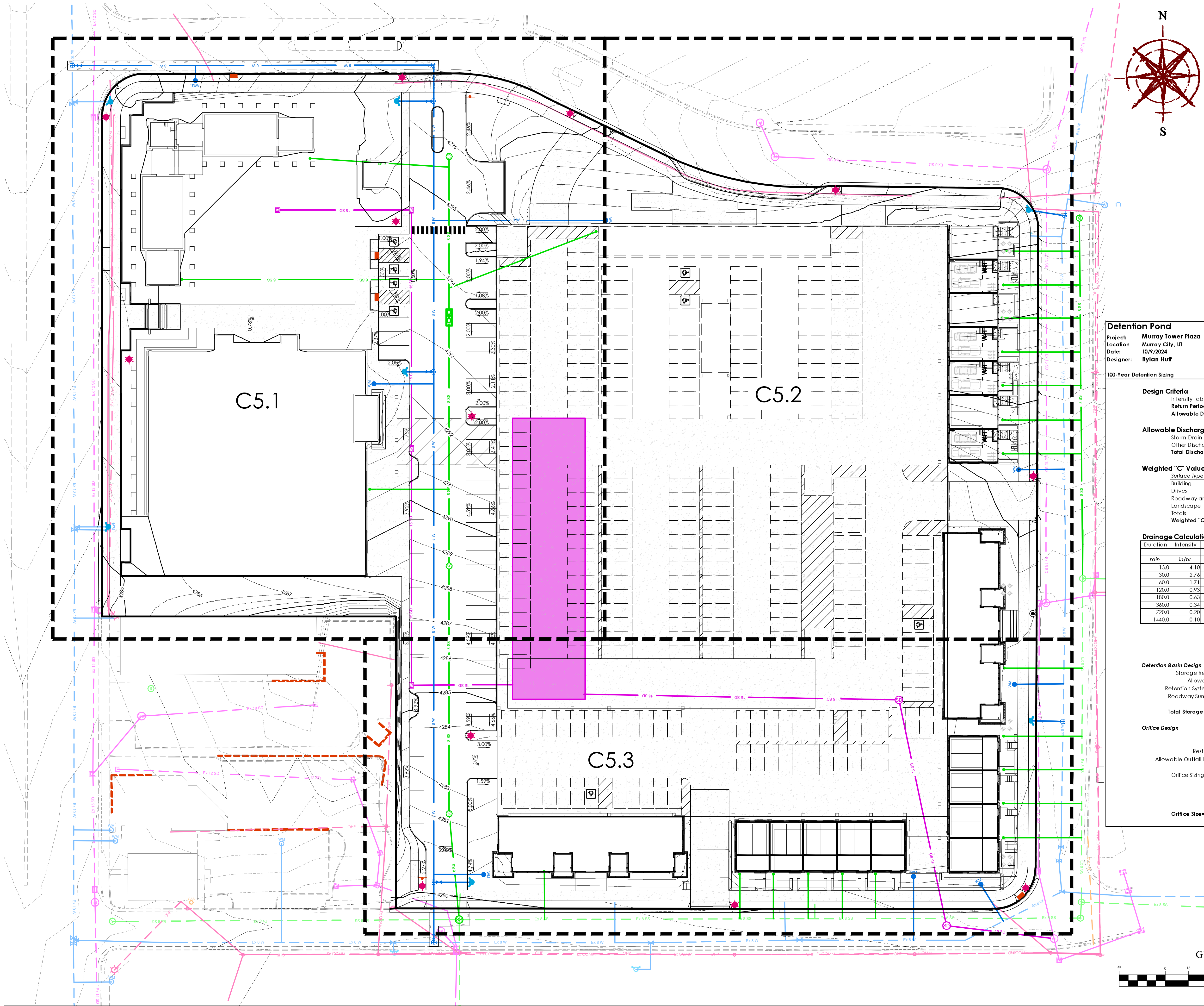
UTILITY PLAN

REVISION BLOCK		DESCRIPTION
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UTILITY PLAN

Scale: 1"=30'	Drawn: RRH
Date: 06/10/25	Job #: 24-0028
Sheet:	C4.0





LEGEND	
	BOUNDARY
	ROW
	LOT LINE
	EASEMENT
	XX" STORM DRAIN
	XX" SANITARY SEWER
	XX" CULINARY WATER
	XX" PRESSURE IRRIGATION
	CONTOUR MAJOR
	CONTOUR MINOR
	EXIST. STORM DRAIN
	EXIST. SANITARY SEWER
	EXIST. CULINARY WATER
	EXIST. FENCE
	EXIST. CONTOUR MAJOR
	EXIST. CONTOUR MINOR
	SIGN
	STREET LIGHT
	SD MH, INLET, AND COMBO
	SEWER MANHOLE
	SECONDARY METER, WATER METER
	CULINARY VALVE, TEE & BEND
	SECONDARY VALVE, TEE & BEND
	WATER BLOW-OFF
	FIRE HYDRANT
	STREET MONUMENT (TO BE SET)
	EXIST. STREET MONUMENT
	EXIST. SD INLET & MH
	EXIST. SEWER MH
	EXIST. VALVE, TEE, & BEND
	EXIST. FIRE HYDRANT
	SPOT ELEVATION

Detention Pond

Project: Murray Tower Plaza
Location: Murray City, UT
Date: 10/9/2024
Designer: Rylan Huff



100-Year Detention Sizing

Design Criteria	
Intensity Table:	Per NOAA Atlas 14
Return Period:	100 year
Allowable Discharge:	0.20 cfs/acre
Storm Duration:	24 hr
	Per Murray City Standards

Allowable Discharges	
Storm Drain Discharge:	1.25 cfs
Other Discharge:	0.00 cfs
Total Discharge:	1.25 cfs

Weighted "C" Value	
Surface Type	Area (sq ft)
Building	160,143
Drives	0
Roadway and Sidewalk	62,976
Landscape	49,729
Totals	272,848
Weighted "C" Value	0.73

Drainage Calculations								
Duration	Intensity	Runoff C	Area	Rainfall	Accumulated Flow	Allowable Discharge	Discharge	Required Storage
min	in/hr		Ac	cfs	cfs	cfs	cfs	
15.0	4.10	0.73	6.26	18.85	16,966	1.25	1,128	15,838
30.0	2.76	0.73	6.26	12.69	22,841	1.25	2,255	20,586
60.0	1.71	0.73	6.26	7.86	28,304	1.25	4,510	23,793
120.0	0.93	0.73	6.26	4.27	30,720	1.25	9,020	21,700
180.0	0.63	0.73	6.26	2.88	31,084	1.25	13,531	17,554
360.0	0.34	0.73	6.26	1.53	33,567	1.25	27,061	6,506
720.0	0.20	0.73	6.26	0.91	39,327	1.25	54,123	-14,796
1440.0	0.10	0.73	6.26	0.48	41,313	1.25	108,243	-66,932

Maximum Storage Requirement: 23,793
Maximum Storage Requirement (ac-ft): 0.55

Detention Basin Design	
Storage Requirement:	23,793 cfs
Allowable Depth:	1.0 ft
Retention System Volume:	23,849 cfs
Roadway Sump Storage:	0 cfs

Total Storage: 23,849 DETENTION ADEQUATE

Orifice Design	
Restriction Rate	0.20 CFS/ACRE
Allowable Outfall Rate Q (cfs)	1.25
Orifice Sizing:	h = 4.5 ft
	C = 0.6
	A = 0.123 sf
	dia. = 4.74 inches
Orifice Size=	4.7 inch

GRAPHIC SCALE



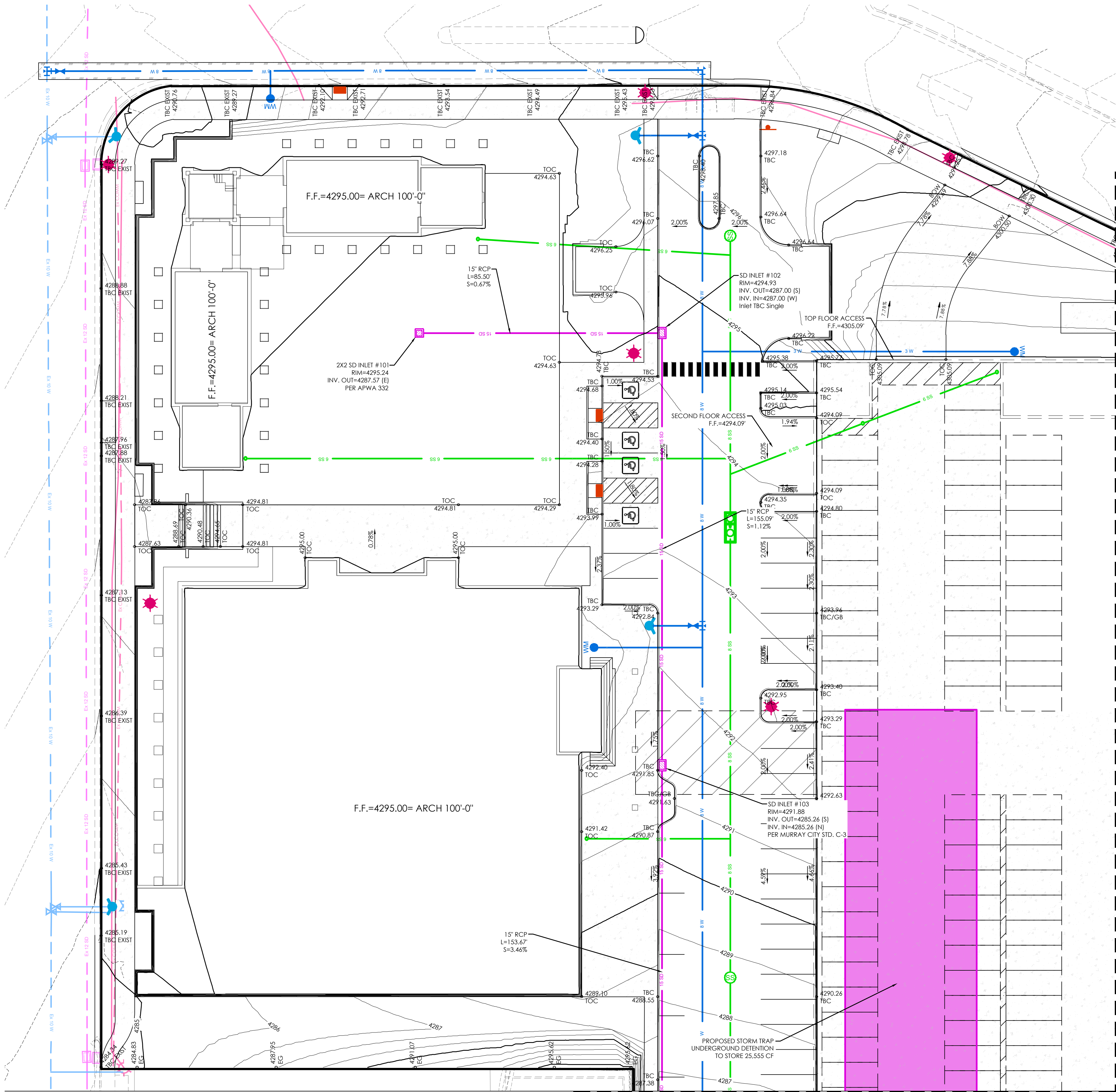
FOR
REVIEW
ONLY

MURRAY MOB

MURRAY, UTAH

OVERALL GRADING & DRAINAGE PLAN

REVISION BLOCK	
#	DESCRIPTION
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- LEGEND**
- BOUNDARY
 - ROW
 - CENTERLINE
 - LOT LINE
 - EASEMENT
 - XX" STORM DRAIN
 - XX" SANITARY SEWER
 - XX" CULINARY WATER
 - XX" PRESSURE IRRIGATION
 - XXXX
 - CONTOUR MAJOR
 - CONTOUR MINOR
 - EXIST. STORM DRAIN
 - EXIST. SANITARY SEWER
 - EXIST. CULINARY WATER
 - EXIST. FENCE
 - EXIST. CONTOUR MAJOR
 - EXIST. CONTOUR MINOR
 - SIGN
 - STREET LIGHT
 - SD MH, INLET, AND COMBO
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 - SECONDARY METER, WATER METER
 - CULINARY VALVE, TEE & BEND
 - SECONDARY VALVE, TEE & BEND
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 - FIRE HYDRANT
 - STREET MONUMENT (TO BE SET)
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 - EXIST. SEWER MH
 - EXIST. VALVE, TEE, & BEND
 - EXIST. FIRE HYDRANT
 - SPOT ELEVATION

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.



FOR
REVIEW
ONLY

MURRAY MOB

MURRAY, UTAH

GRADING & DRAINAGE PLAN

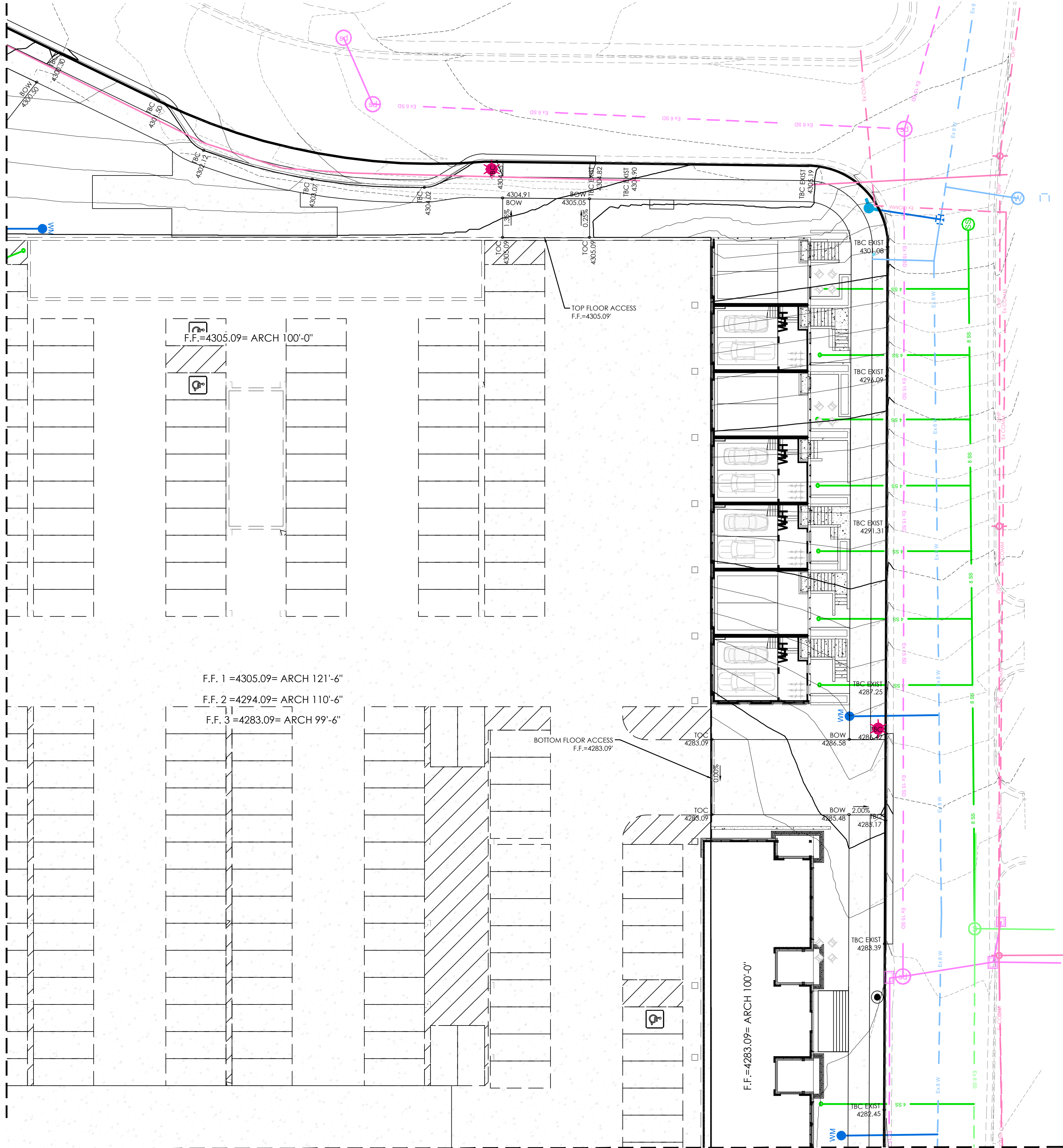
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GRADING & DRAINAGE PLAN

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Date: 06/10/25	Job #: 24-0028
Sheet:	

C5.1

MATCHLINE
SEE SHEET C5.1



MATCHLINE
SEE SHEET C5.3



LEGEND

- BOUNDARY
- ROW
- CENTERLINE
- LOT LINE
- EASEMENT
- XX" STORM DRAIN
- XX" SANITARY SEWER
- XX" CULINARY WATER
- XX" PRESSURE IRRIGATION
- CONTOUR MAJOR
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- EXIST. FIRE HYDRANT
- SPOT ELEVATION

GRAPHIC SCALE



MURRAY MOB

MURRAY, UTAH

GRADING & DRAINAGE PLAN

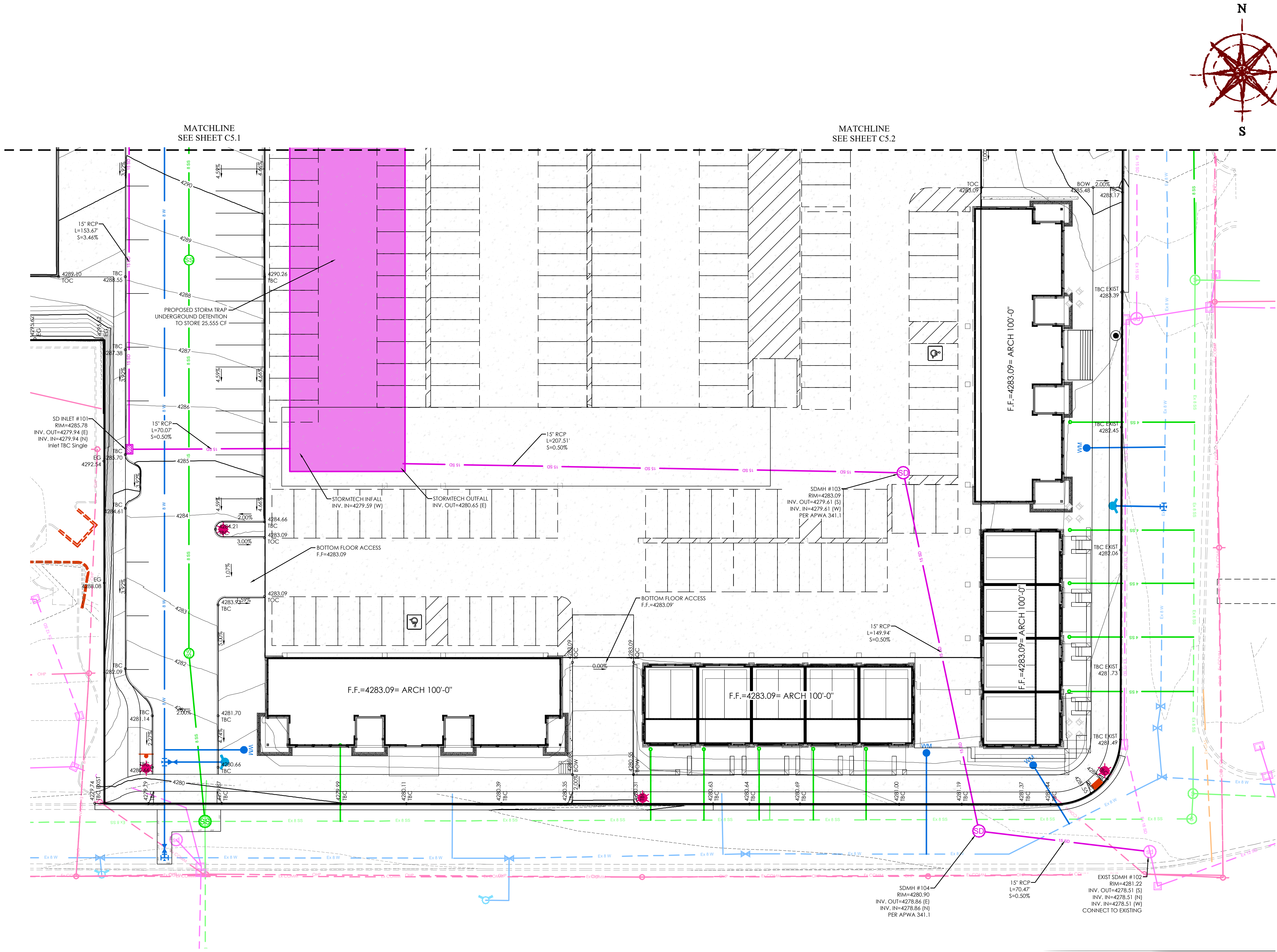
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GRADING & DRAINAGE PLAN

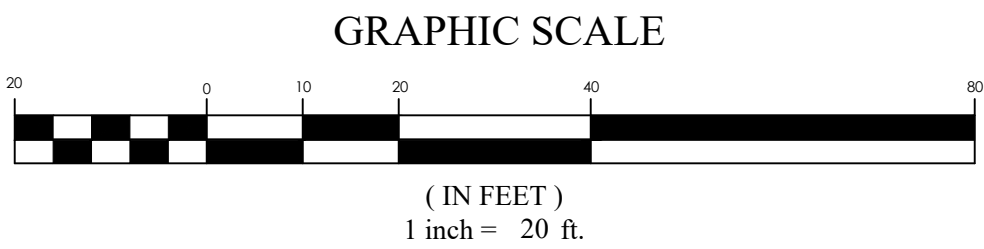
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Date: 06/10/25
Job #: 24-0028

Sheet: C5.2

FOR
REVIEW
ONLY



LEGEND	
	BOUNDARY
	ROW
	CENTERLINE
	EASEMENT
	XX" STORM DRAIN
	XX" SANITARY SEWER
	XX" CULINARY WATER
	XX" PRESSURE IRRIGATION
	CONTOUR MAJOR
	CONTOUR MINOR
	EXIST. STORM DRAIN
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	EXIST. CULINARY WATER
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	EXIST. VALVE, TEE, & BEND
	EXIST. FIRE HYDRANT
	SPOT ELEVATION



FOR
REVIEW
ONLY

MURRAY MOB

MURRAY, UTAH

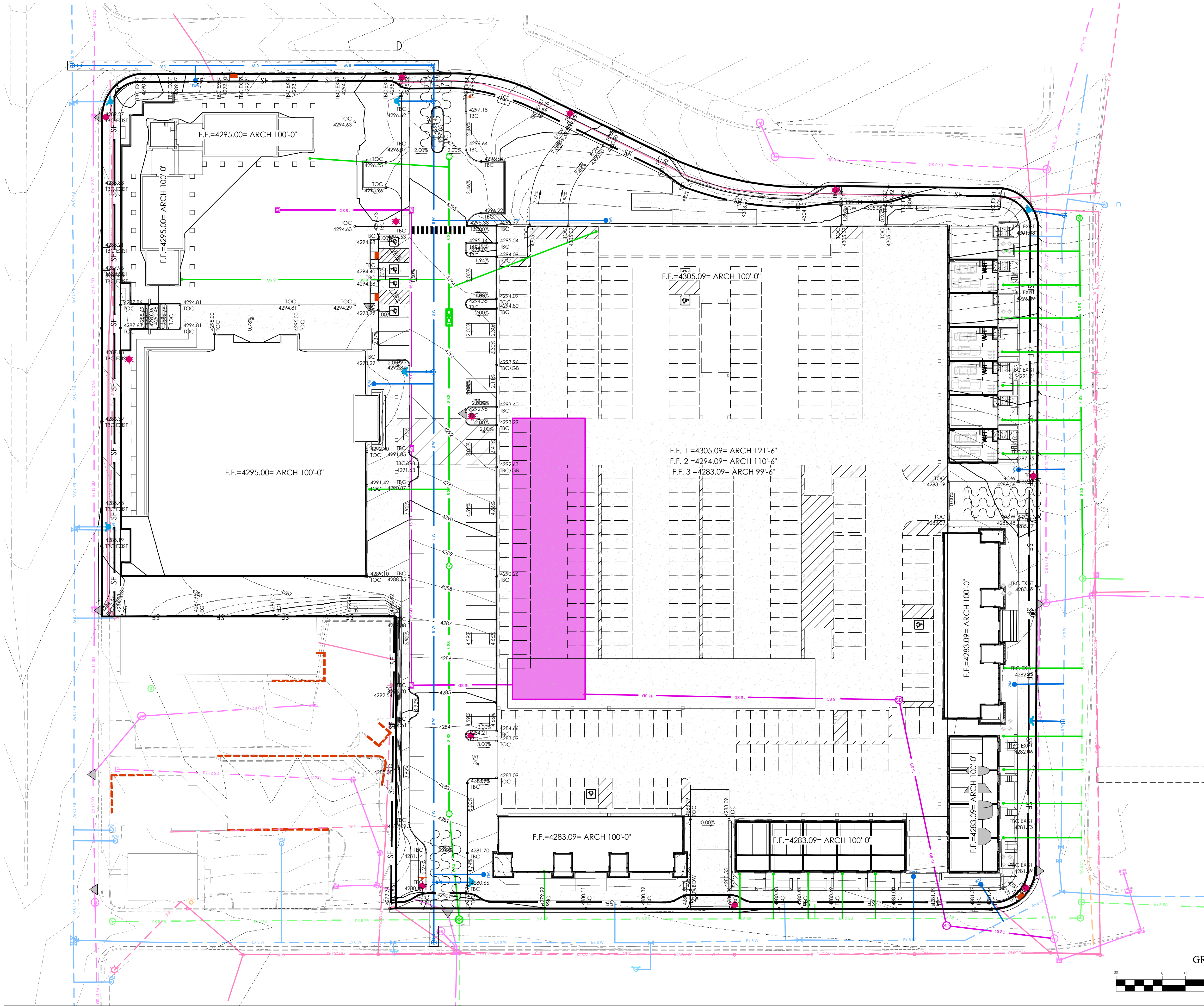
GRADING & DRAINAGE PLAN

REVISION BLOCK	
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GRADING & DRAINAGE PLAN

Scale: 1"=20'
Date: 06/10/25
Job #: 24-0028

Sheet: C5.3



EROSION CONTROL LEGEND

- CONSTRUCTION ENTRANCE
- MATERIALS STORAGE
- FUEL TANKS
- CONCRETE WASHOUT
- TRASH BIN
- PORTABLE TOILET
- CONSTRUCTION TRAILER
- INLET PROTECTION
- SURFACE WATERS
- OUTFALL
- SILT FENCE OR BERM
- CUTBACK CURB
- FIBER ROLL

SWPPP DATA:

PROJECT LOCATION (LAT/LONG):
NORTHING: 40°39'34" EASTING: 111°53'14"

RECEIVING WATERS: GREAT SALT LAKE

AREA AFFECTED:

- TOTAL PROJECT AREA IS 6.28 ACRES. AN ESTIMATED 5.99 ACRES WITHIN THE PROJECT LIMITS WILL BE DISTURBED WITH NEW CONSTRUCTION OR CONTRACTOR STORAGE ACTIVITIES.
- THE EXISTING DRAINAGE SYSTEM FOR THIS SITE CONSISTS OF EXISTING STORM DRAIN PIPING AND STRUCTURES.
- THE MAJORITY OF EXISTING SITE GRADES RANGE FROM 0.0% TO 9.0%. THE PROPOSED GRADING RAISES THE SITE APPROXIMATELY 1.0' WITH ROADS OF APPROXIMATELY 0.5%-6.0% TO PROVIDE THE PROPER DRAINAGE.
- THE INITIAL SITE IS APPROXIMATELY 75% IMPERVIOUS. THE FINISHED SITE WILL BE APPROXIMATELY 82% IMPERVIOUS.

CONSTRUCTION ACTIVITIES:

- THE PROJECT EXTENTS CONSIST OF MEDICAL OFFICE BUILDINGS, RESTAURANTS, CONDOS, TOWNHOMES, AND A PARKING GARAGE. PLANNED ACTIVITIES INCLUDE CONSTRUCTION OF THE INFRASTRUCTURE, VERTICAL CONSTRUCTION OF STRUCTURES, LANDSCAPING AND RELATED ACTIVITIES. OBTAIN UPDES "NOT" PERMIT AND ANY OTHER REQUIRED STORM WATER PERMIT PRIOR TO THE BEGINNING OF CONSTRUCTION.
- INSTALL BMP'S ACCORDING TO THE PHASE OF CONSTRUCTION AS INDICATED IN THIS SWPPP.
- CONSTRUCTION ACTIVITIES WILL PROCEED AS FOLLOWS: ROUGH GRADING, UTILITY INFRASTRUCTURE, ROADWAY INFRASTRUCTURE, VERTICAL CONSTRUCTION AND LANDSCAPING. AS NEW DRAINAGE ELEMENTS ARE COMPLETED, CONTRACTOR SHALL IMPLEMENT THE USE OF PROPER BMP'S AS OUTLINED IN SECTION 3.5.18 IN THE UPDES PERMIT REGULATIONS.
- SITE STABILIZATION OF AREAS DISTRIBUTED BY CONSTRUCTION ACTIVITIES MUST BE FINISHED WITHIN 14 DAYS OF COMPLETION OF CONSTRUCTION AND PRIOR TO OBTAINING AN "NOT" PERMIT.
- CLEAR SITE OF NON-ESSENTIAL MATERIALS AND CLEAN STREETS AND ASSOCIATED GUTTERS. UPON PROJECT COMPLETION AND OBTAINING "NOT" PERMIT, REMOVE TEMPORARY STORM WATER MEASURES AND PERFORM REQUIRED STORM DRAIN SYSTEM MAINTENANCE PRIOR TO RELEASE OF SYSTEM TO THE OWNER.

RUNOFF COEFFICIENTS OF DISCHARGE:

- THE EXISTING RUNOFF COEFFICIENT FOR THE PROJECT AREA IS ESTIMATED TO BE 0.68. THE PROPOSED RUNOFF COEFFICIENT WILL BE APPROXIMATELY 0.74 FOR THE PROPOSED IMPROVEMENTS UPON COMPLETION OF IMPROVEMENTS.
- DISCHARGE FROM THE SITE WILL BE THROUGH THE EXISTING STORM DRAIN SYSTEM.

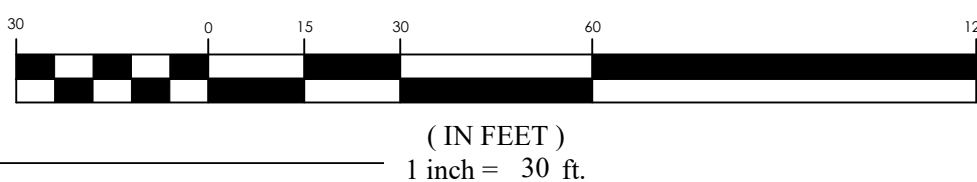
GENERAL STORM WATER POLLUTION CONTROL NOTES:

- FOR INSTALLATION PROCEDURES, SEE SWPPP DETAIL BEST MANAGEMENT PRACTICES (BMP) SPECIFICATIONS IN SECTION 5.
- THE BMP'S AND SITE WILL BE MONITORED REGULARLY. ANY ADDITIONAL BMP'S THAT ARE NEEDED WILL BE DETERMINED DURING REGULAR INSPECTIONS AND INSTALLED ACCORDING TO SPECIFICATION. ANY CHANGES TO PROTECT BMP'S WILL NEED TO BE REFLECTED ON THE SWPPP MAP(S).
- SWPPP PLAN COMPILED FROM INFORMATION OBTAINED FROM MATERIAL PRODUCED BY:
FOCUS ENGINEERING AND SURVEYING
6949 S. HIGH TECH DRIVE, SUITE 200
MIDVALE, UTAH 84047
PH: (801) 352-0075

ALL INFORMATION SHOWN ON SWPPP MAPS WAS TAKEN OR DERIVED FROM THE ABOVE STATED SOURCE. ANY INFORMATION NOT DEPICTED WAS NOT PROVIDED AS PART OF THIS PROJECT.



GRAPHIC SCALE



FOR
REVIEW
ONLY

MURRAY MOB

MURRAY, UTAH

EROSION CONTROL PLAN

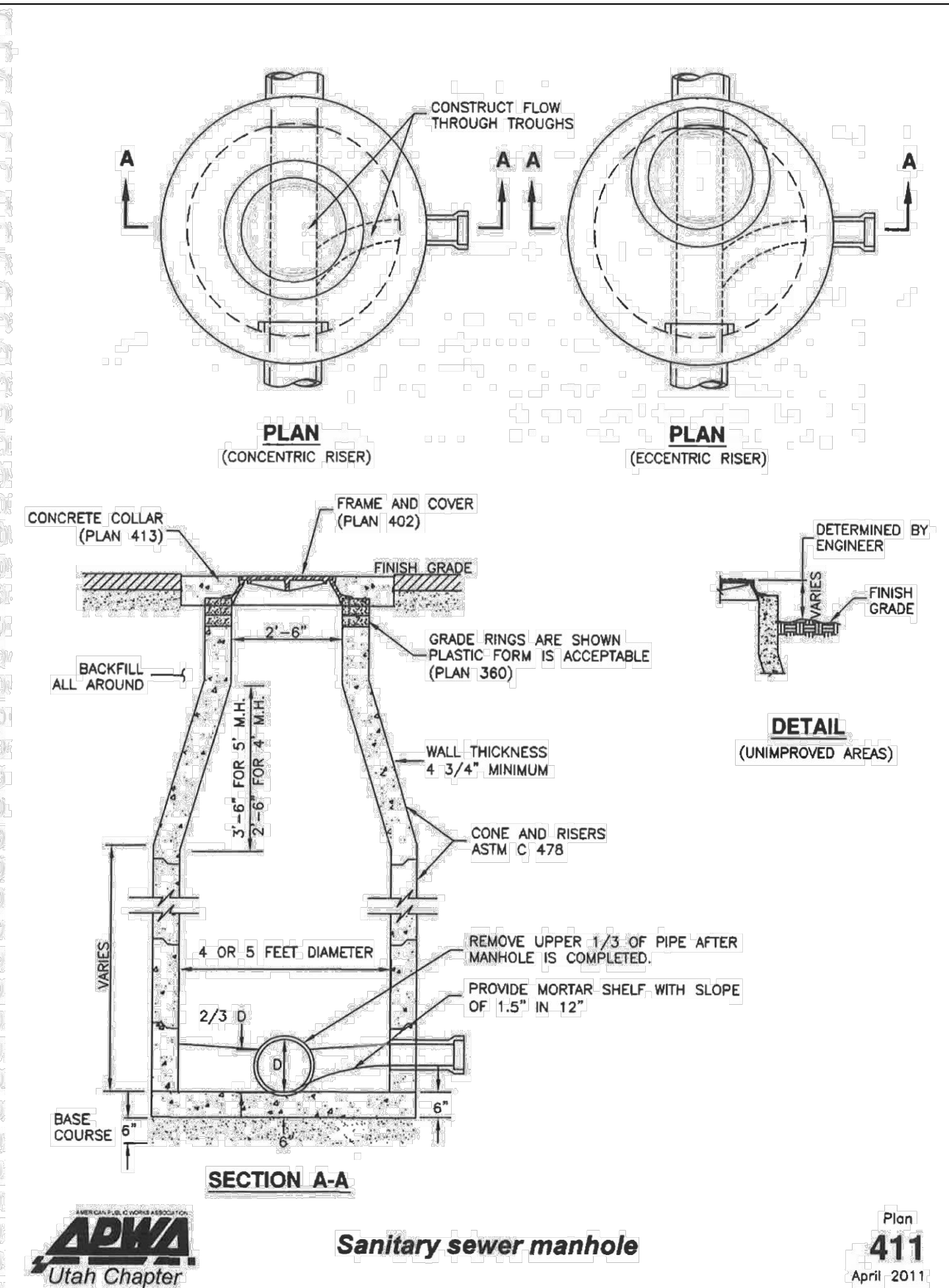
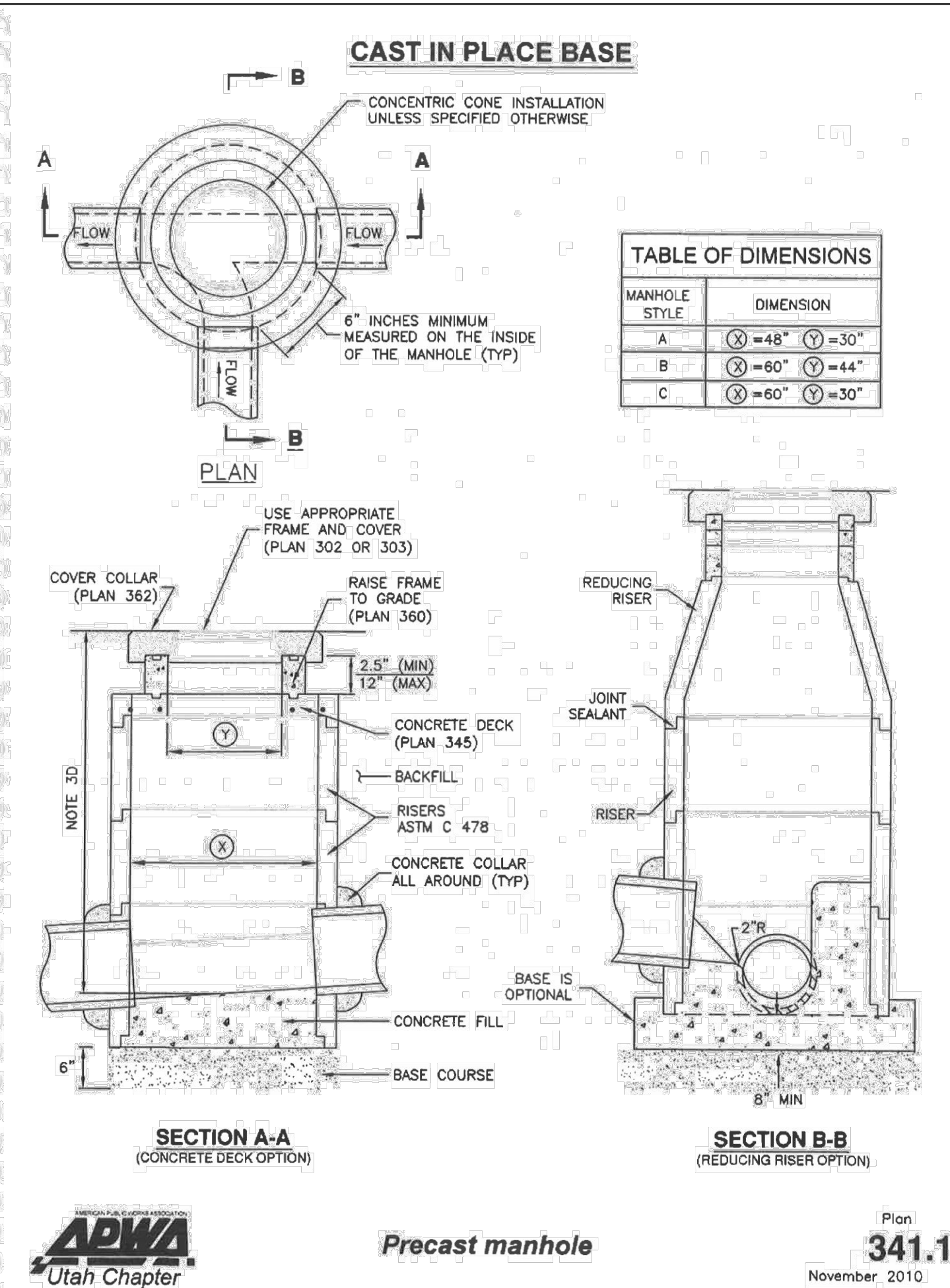
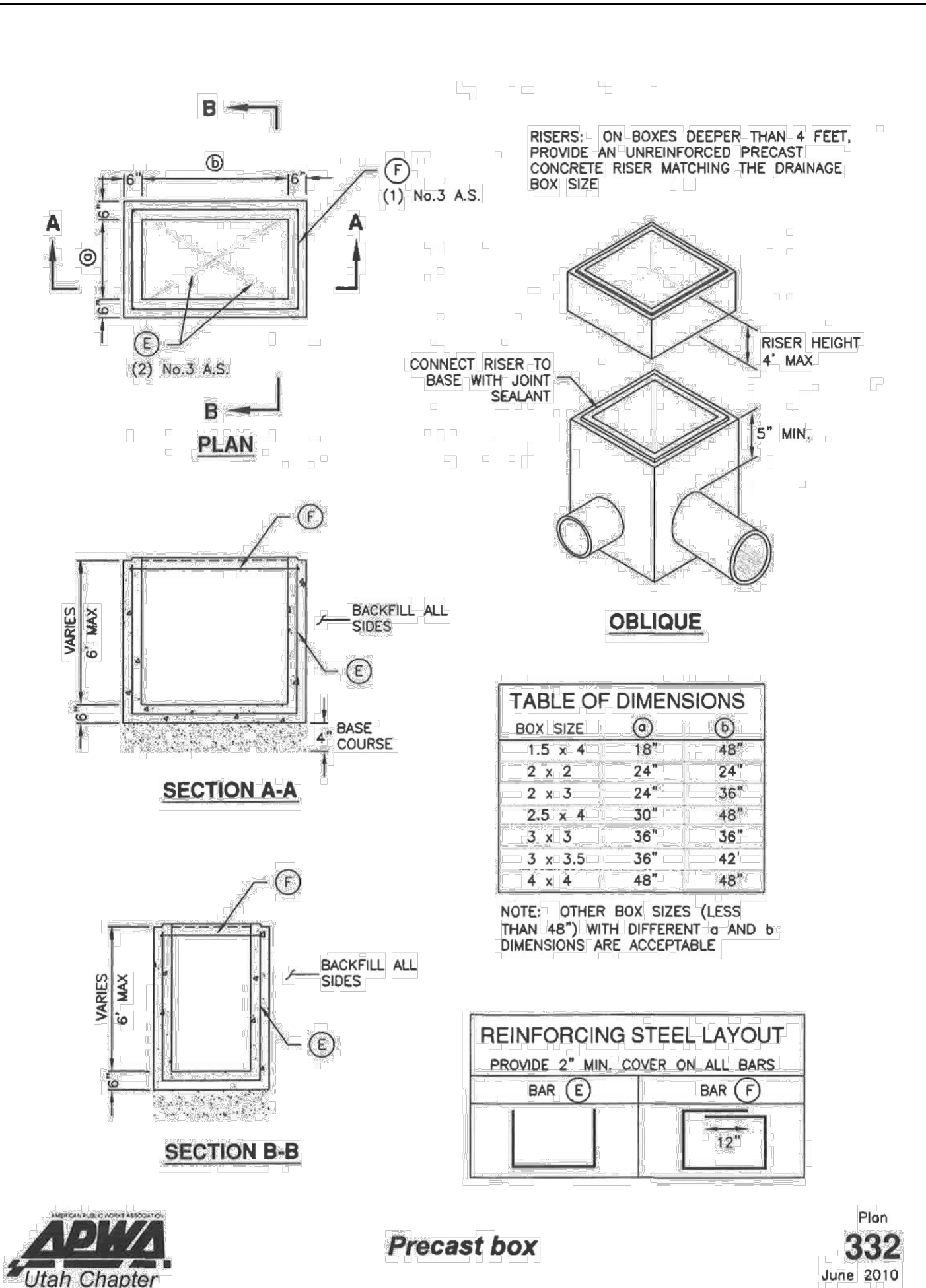
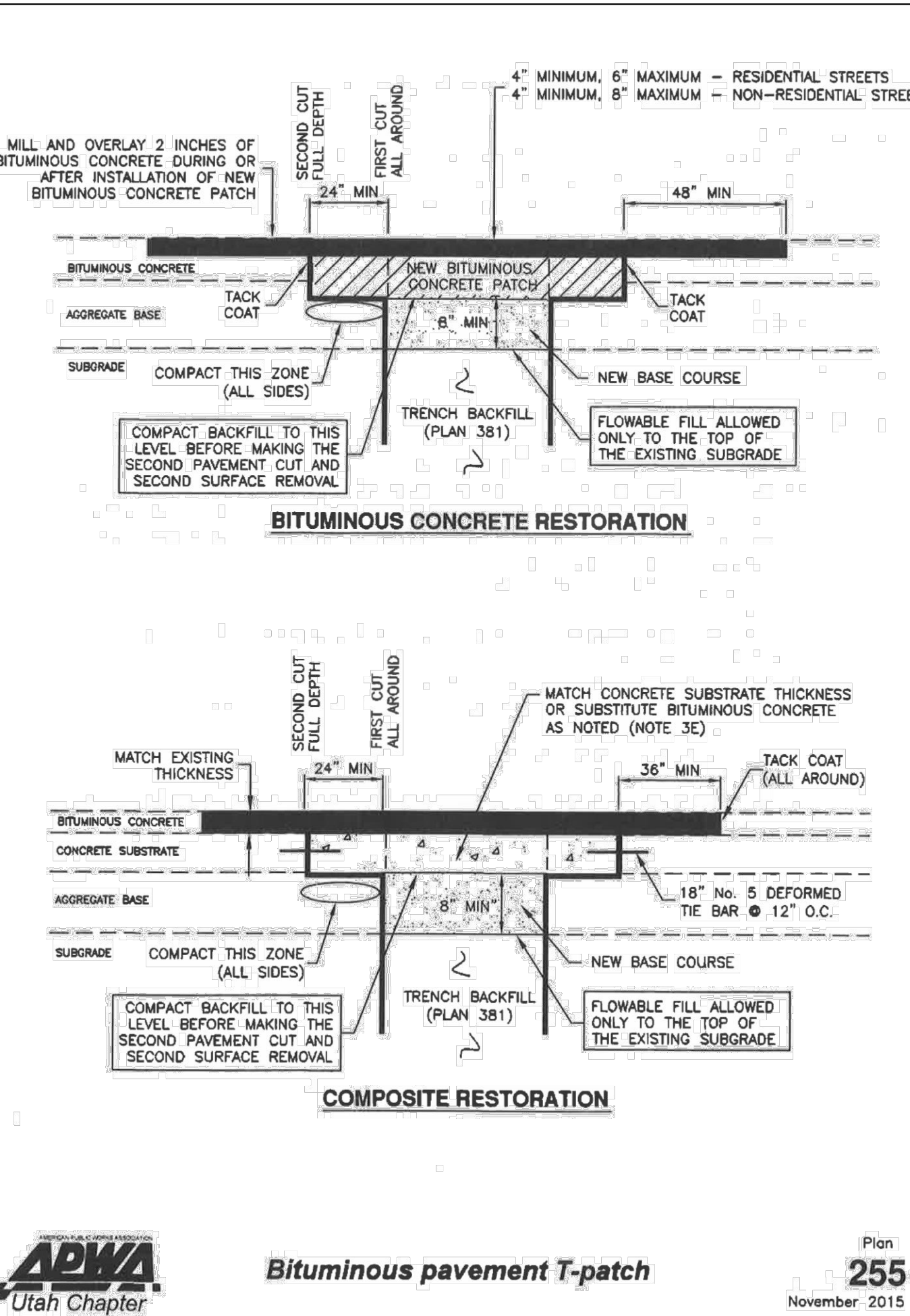
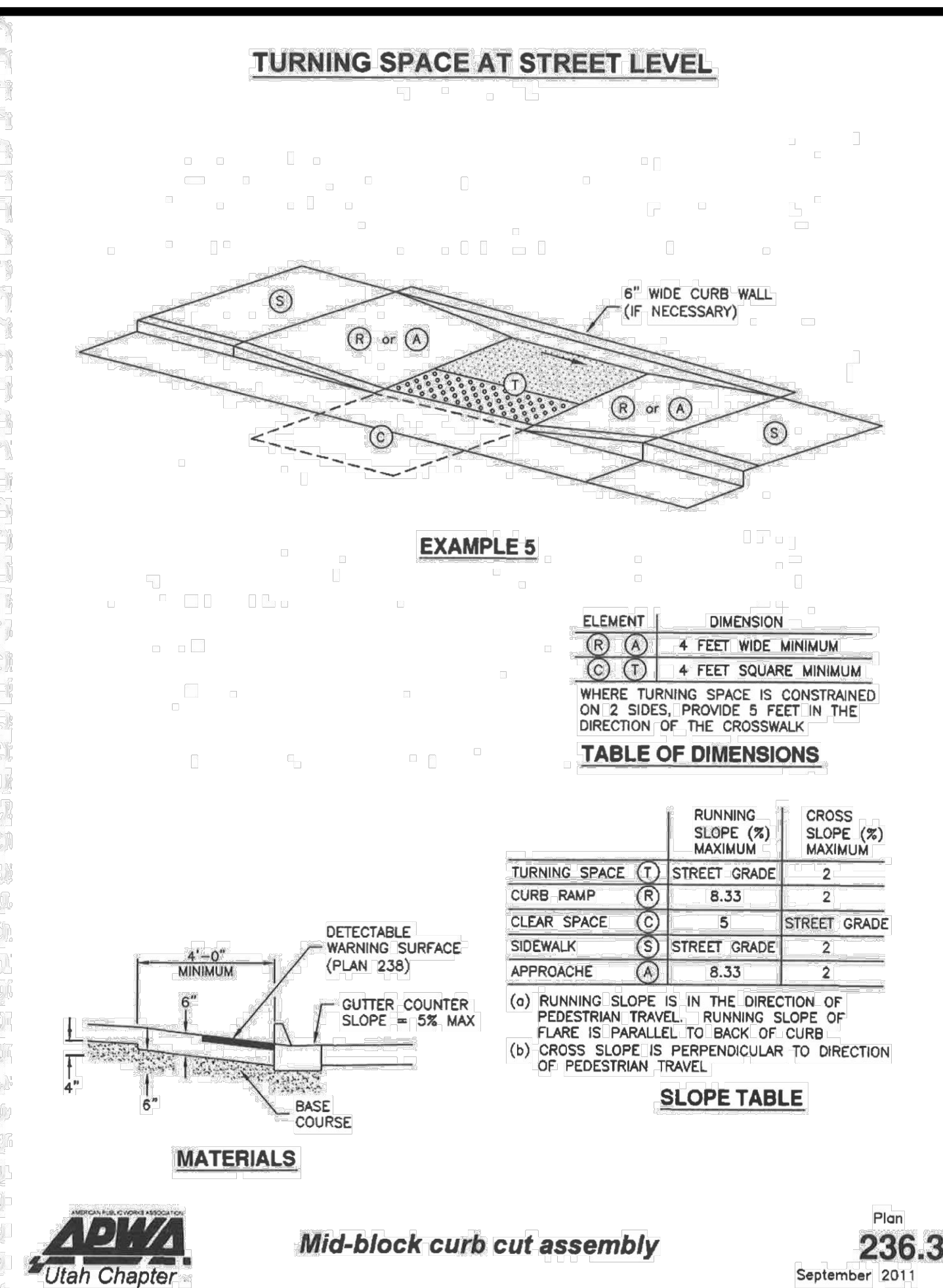
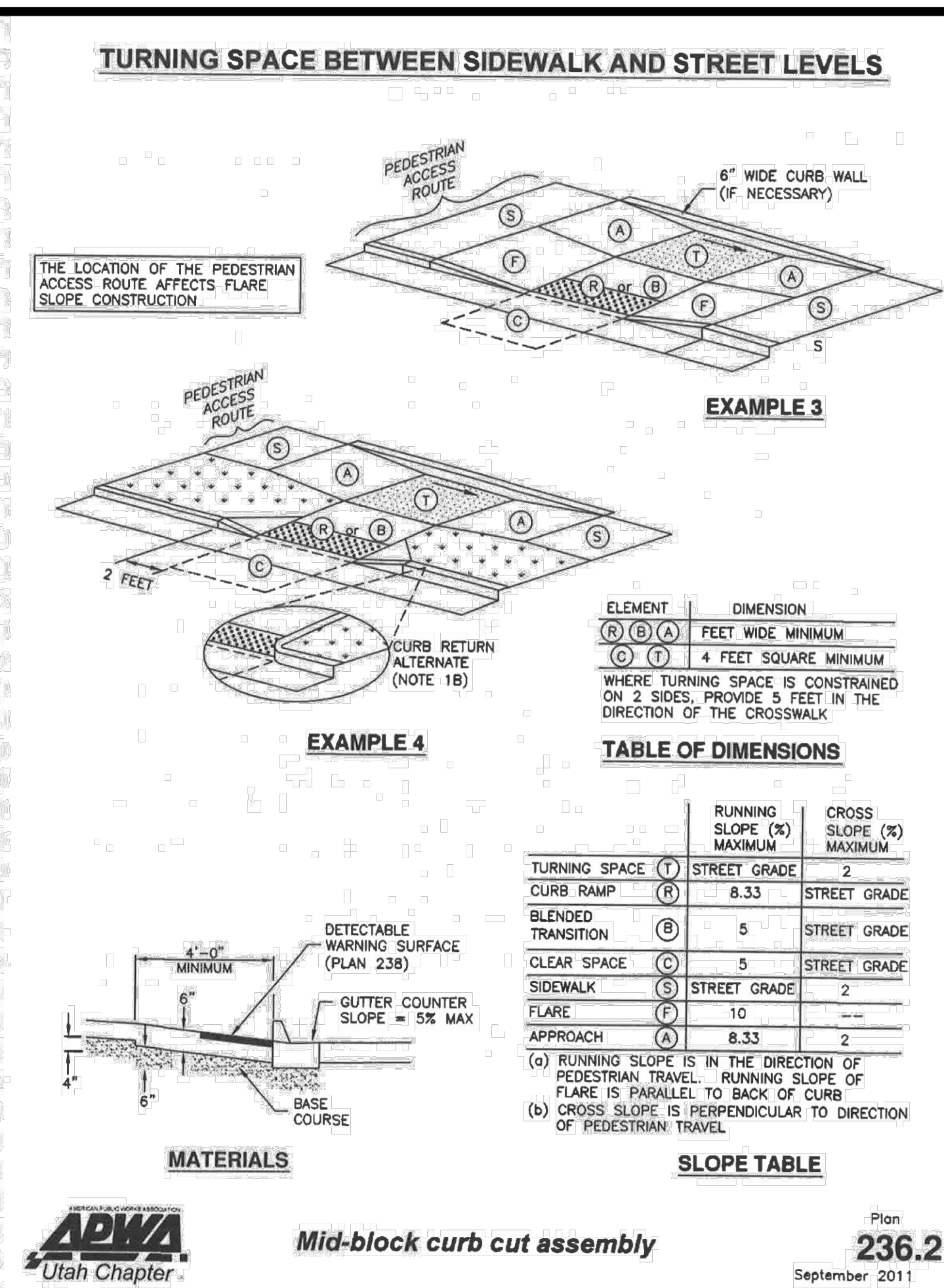
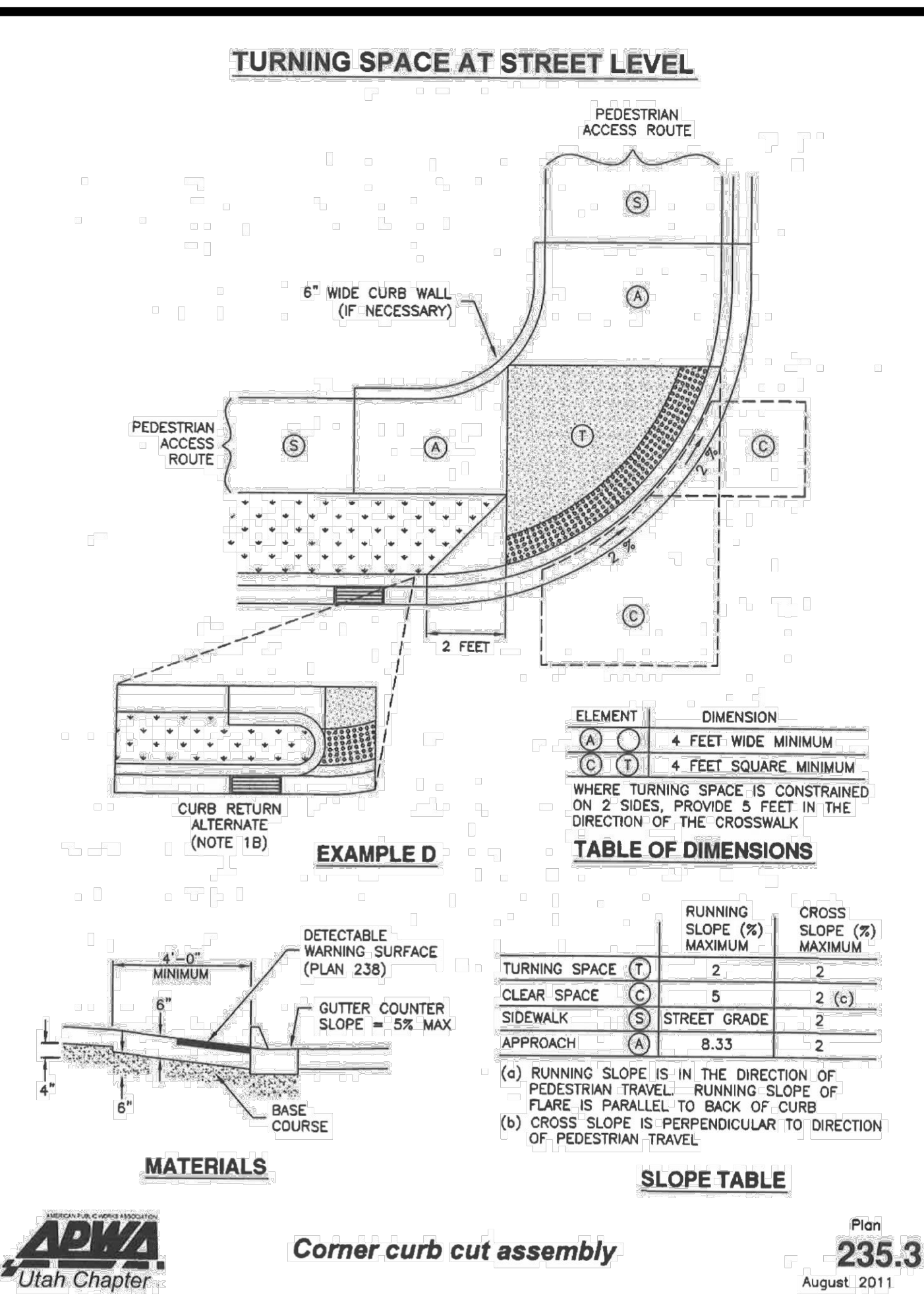
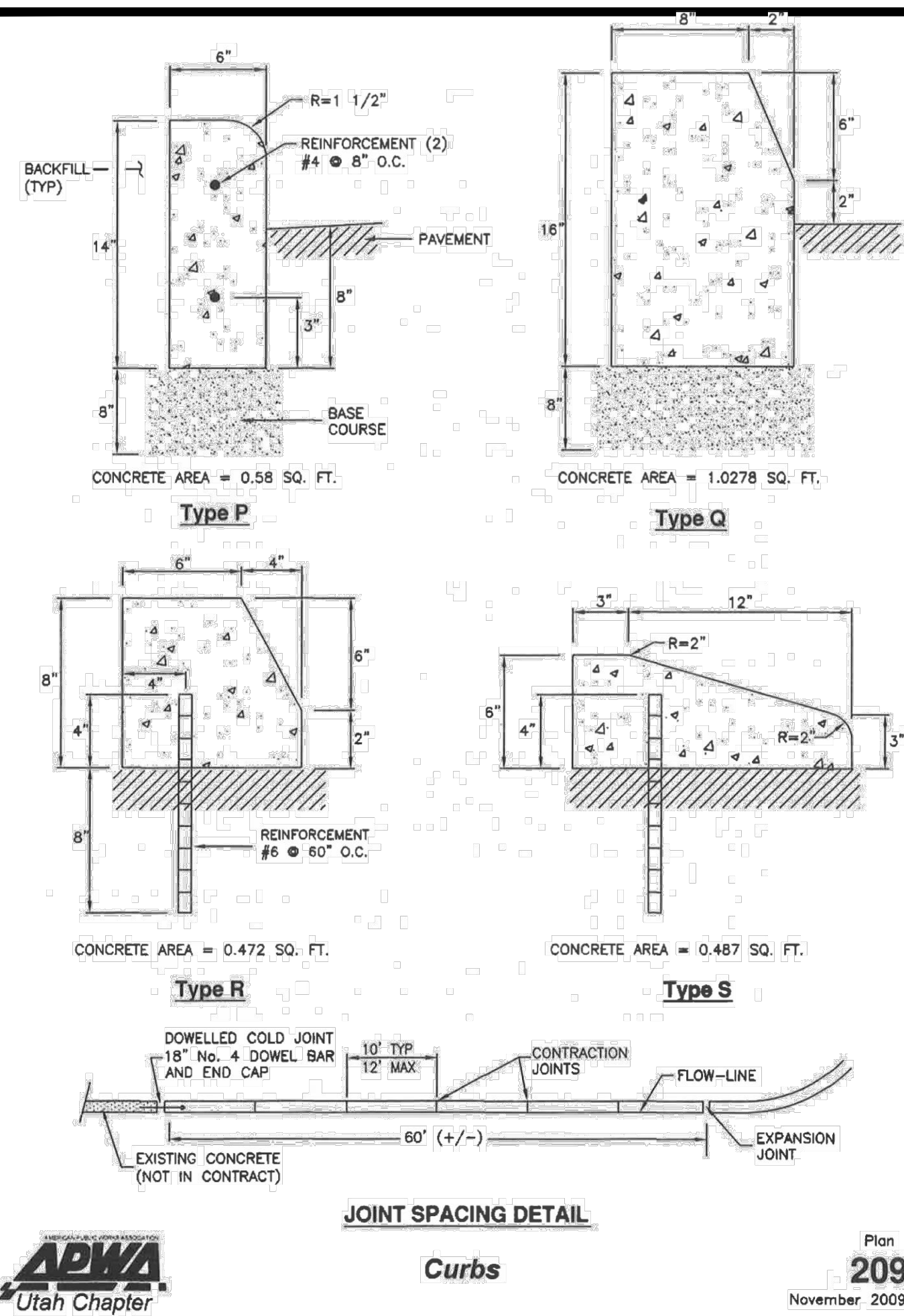
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EROSION CONTROL PLAN

Scale: 1"=30'
Date: 06/10/25
Sheet:

Drawn: RRH
Job #: 24-0028

C6.0



FOCUS
ENGINEERING AND SURVEYING, LLC
6949 S. HIGH TECH DRIVE SUITE 200
MIDVALE, UTAH 84047 PH: (801) 352-0075
WWW.FOCUS-ES.COM

MURRAY MOB
MURRAY, UTAH
DETAILS

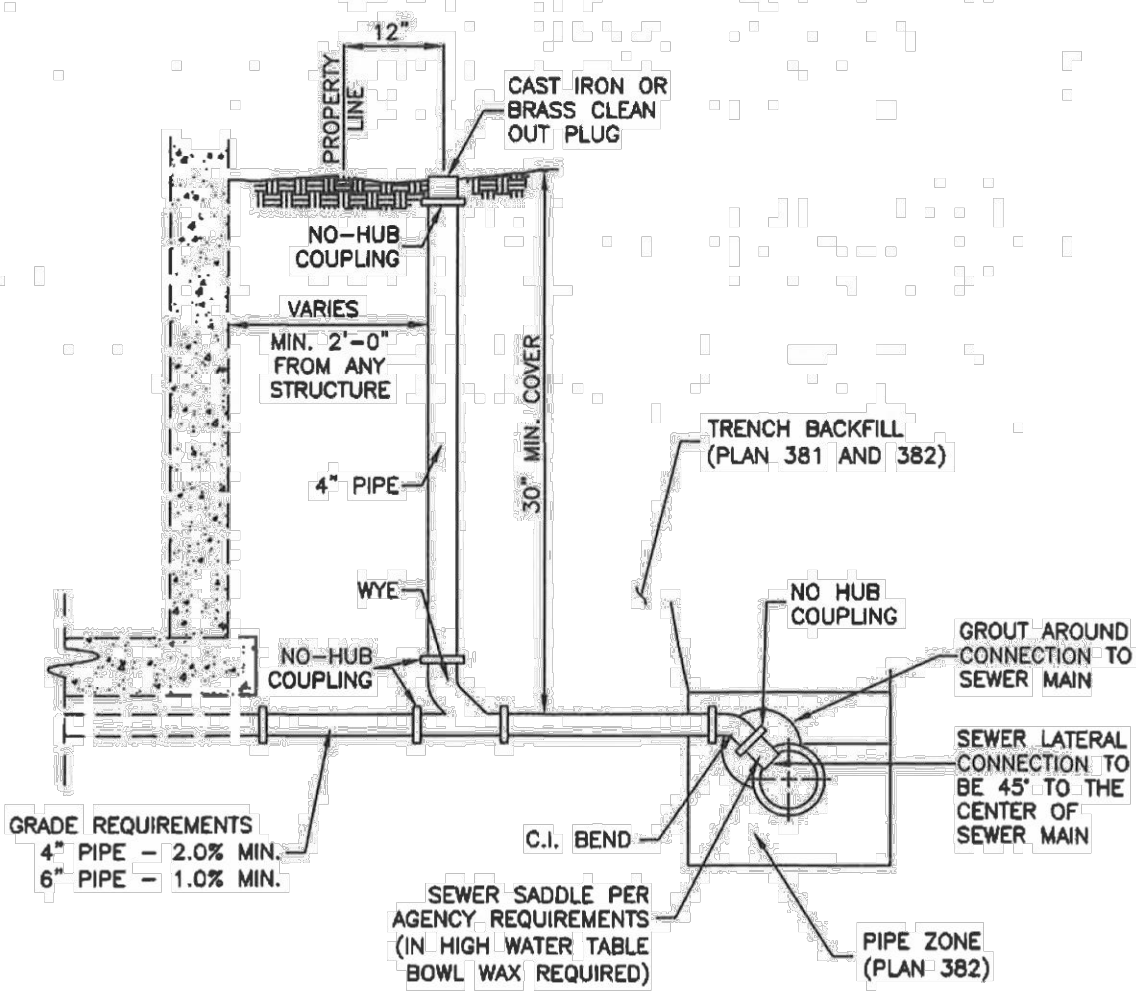
FOR REVIEW ONLY

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DETAILS

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Date: 06/10/25 Job #: 24-0028
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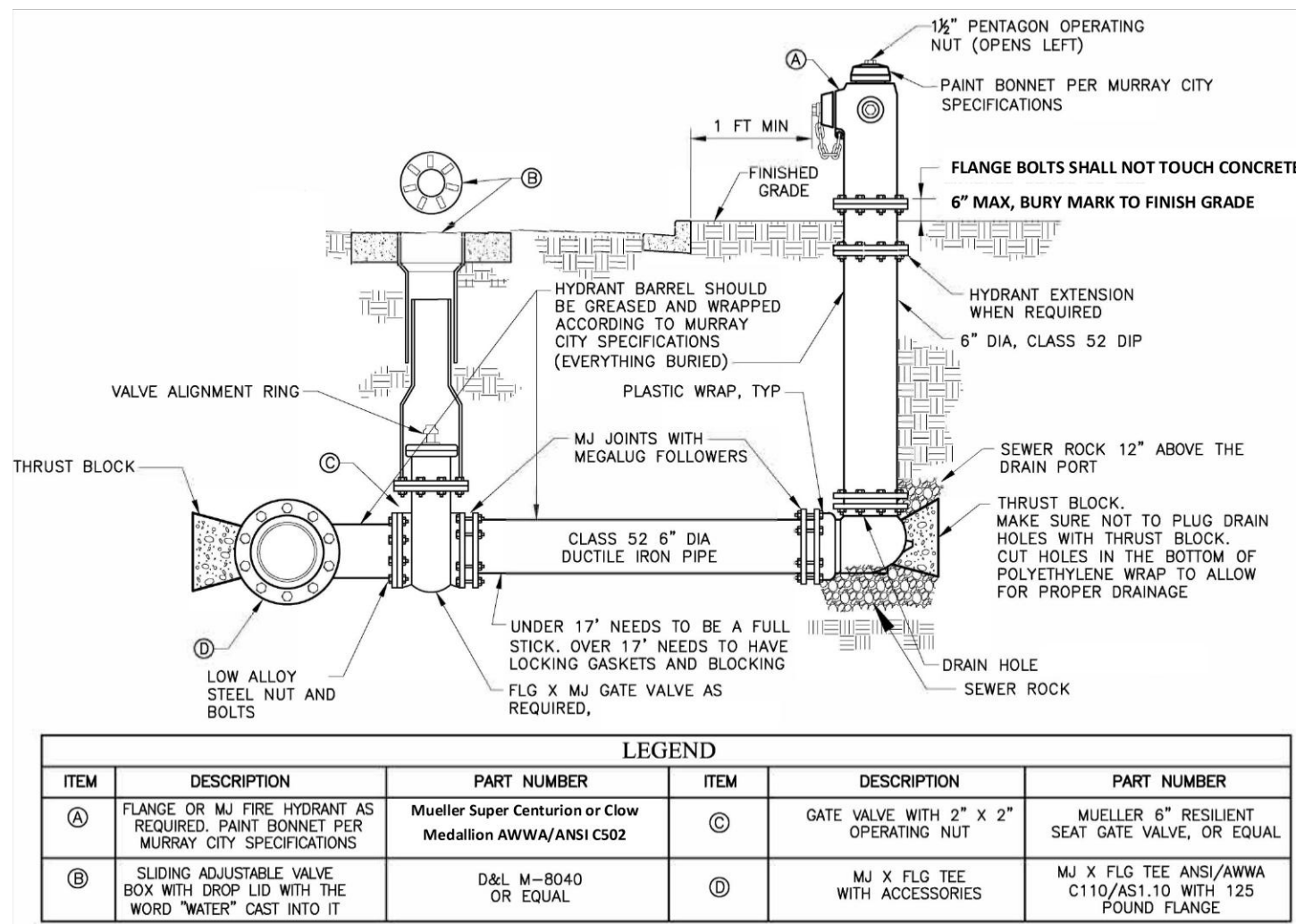
811
Know what's below.
Call 811 before you dig.



Sewer lateral connection

Plan
431
January 2011

Installation (Continued)
Hydrant Sectional Drawing



- All work and materials to be in accordance with ANSI/AWWA C502 and the APWA general conditions and standard specifications for construction.
- All ductile iron pipe to be in accordance with ANSI/AWWA C115/A21.15 Class 52.
- Gate valves to be in accordance with AWWA C509.
- Standard flange drilling—cast flanges, ANSI/AWWA C110 125/A21.10
- Substitutions to be in accordance with APWA Sec. 01 25 00.

Hydrant Bonnet Color Code

Fire hydrant bonnets shall be color coded to coincide with the size of the water main serving the hydrant.

- 4" and smaller main..... White
- 6" main..... Red
- 8" and 10" main..... Orange
- 12" or larger main..... Green

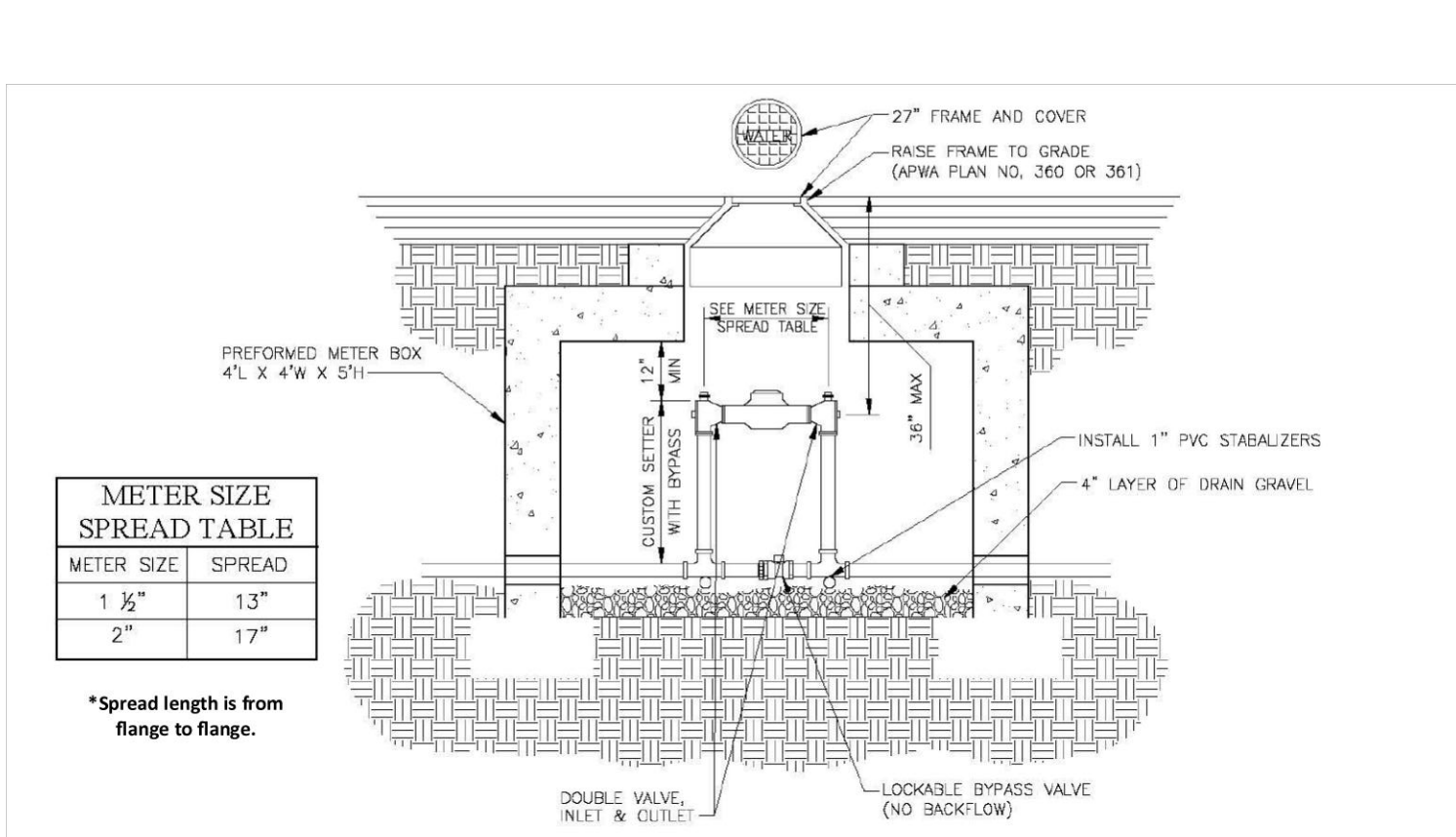


Water Specifications & Requirements

11

Murray City Water

Installation (Continued)
1 1/2" & 2" Meter

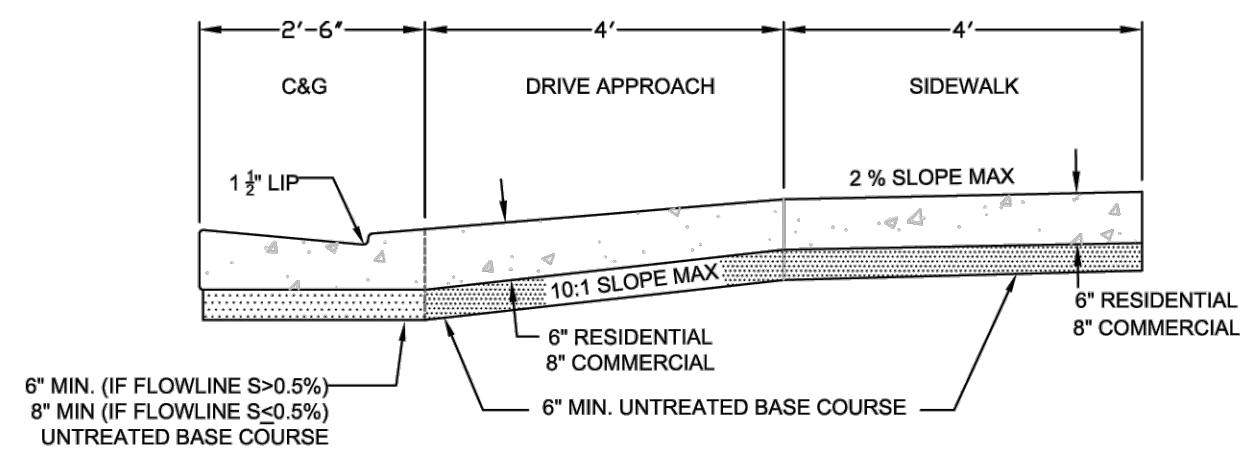


- All work must be inspected by City personnel prior to backfill.
- From the top of the lid to the center line of the meter to be 20" ± 4".
- Center of manhole over meter.
- 6" grade ring where required.
- Allow a 1" clearance around water line where passing through concrete walls. Seal hole with Ram-Nek sealant.
- Minimum depth for water service to be frost line + 12" or 48".
- Turbine meters to be used exclusively for irrigation.
- Murray City to supply water meter.
- Bypass valve to be left in open position until meter set.
- Substitutions: APWA 01 25 00.

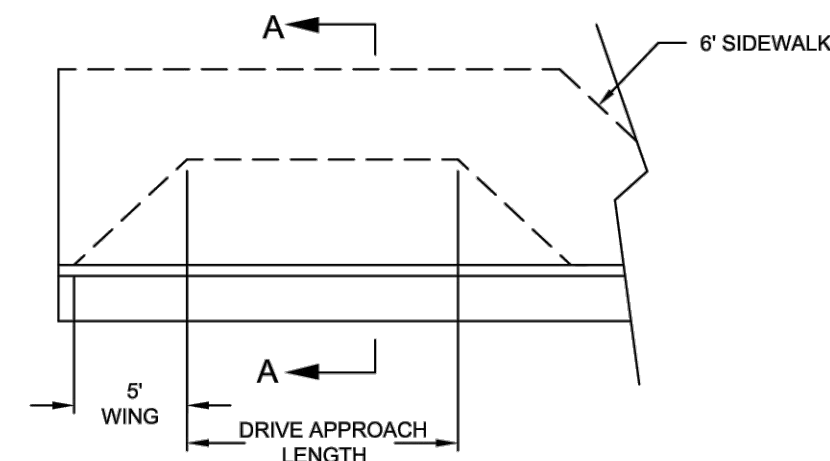
Water Specifications & Requirements

17

Murray City Water



SECTION A-A
6' SIDEWALK TRANSITION AT DRIVEWAY



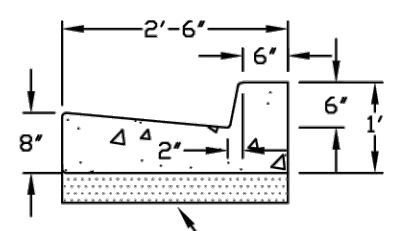
GENERAL NOTES

- ALL CURB, GUTTER, SIDEWALK AND DRIVE APPROACHES SHALL BE DESIGNED AND STAKED BY A LICENSED ENGINEER OR LAND SURVEYOR AND SHALL SUBMIT A PLAN AND PROFILE DRAWING TO THE CITY ENGINEER FOR APPROVAL.
- THE CITY ENGINEER WILL REQUIRE A LAYOUT INSPECTION.
- 24 HR. NOTICE WILL BE REQUIRED FOR ALL CONCRETE INSPECTIONS.
- DENSITY TESTS
- GRACE VERIFICATION
- SLUMP TESTS
- CONCRETE
- A) CONCRETE SHALL BE CLASS 4000 AS PER APWA SECTION 03 30 04
- B) CONCRETE SHALL BE 6.5 MAX. MAX
- C) SLUMP SHALL BE LESS THAN 4"
- D) AIR ENTRAINMENT SHALL BE 6% ± 1%
- E) CURB AND GUTTER SHALL BE APWA STANDARD PLAN NO. 205 TYPE A.
- SIDEWALK SHALL ADHERE TO APWA STANDARD PLAN 211.
- SIDEWALK SHALL BE 8" THICK FOR ALL SIDEWALK IN RESIDENTIAL AREAS AND 8" IN COMMERCIAL. DRIVE APPROACHES SHALL BE 8" THICK FOR RESIDENTIAL AND 8" FOR COMMERCIAL, OR SPECIFIED BY PROJECT ENGINEER.
10. FLARED DRIVE APPROACH SHALL BE APWA STANDARD PLAN NO. 221.
11. WATERWAY SHALL BE APWA STANDARD PLAN NO. 211.
12. REINFORCEMENT STEEL SHALL MEET REQUIREMENTS OF APWA SECTION 03 08.
13. SIDEWALK RAMP DETECTABLE WARNING SHALL BE RED RAISED TRIANGULAR DOWNS.
14. SIDEWALK RAMP DETECTABLE WARNING SHALL BE 2'X4" INLAYS AND SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO INSTALLATION.
15. DRIVE APPROACH SHALL NOT EXTEND BEYOND THE PROJECTED SIDE YARD PROPERTY LINE.

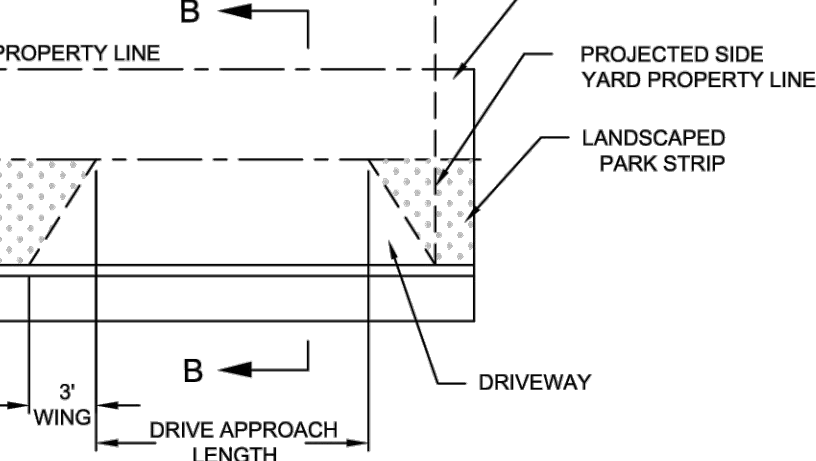
DRIVE APPROACH LENGTHS

RESIDENTIAL 12' MIN. - 30' MAX.
COMMERCIAL 25' MIN. - 50' MAX.

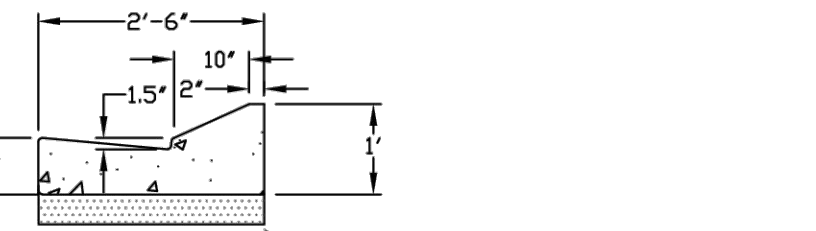
CURB AND GUTTER
TYPE A



SECTION B-B
STANDARD DRIVEWAY



CURB AND GUTTER
TYPE D



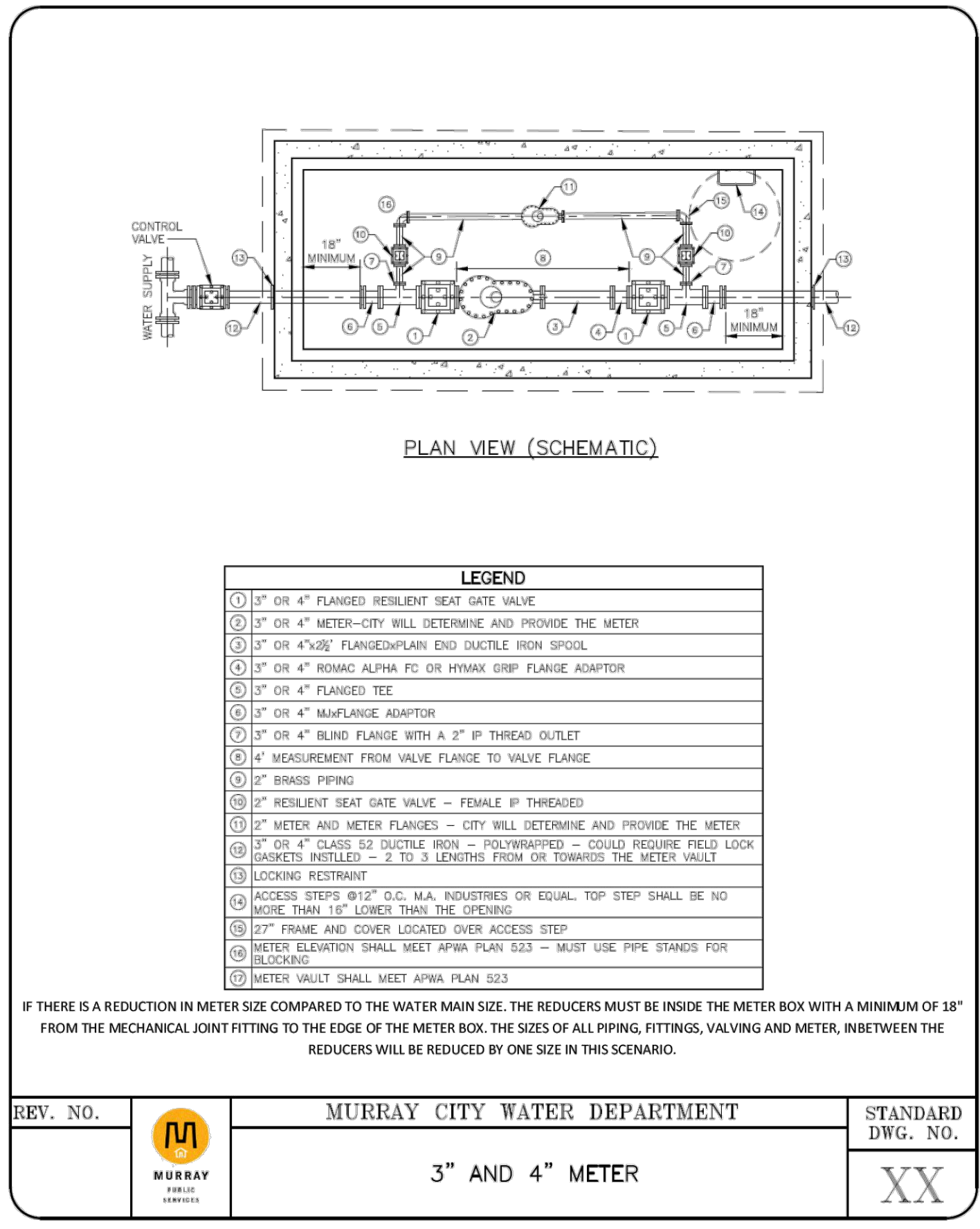
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4/20/04	RAMP UPDATES	JFS
1/20/06	GENERAL REVISIONS	JFS
4/10/09	GENERAL REVISIONS	NSP
4/10/09	GENERAL REVISIONS	CTZ
4/10/09	GENERAL REVISIONS	CTZ



MURRAY CITY CORPORATION
ENGINEERING DEPARTMENT
4444 SOUTH 100 WEST
MURRAY, UT 84123
801 270-2400

MURRAY CITY
SIDEWALK DRIVE APPROACH
SIDEWALK RAMP
DETAILS C - 2

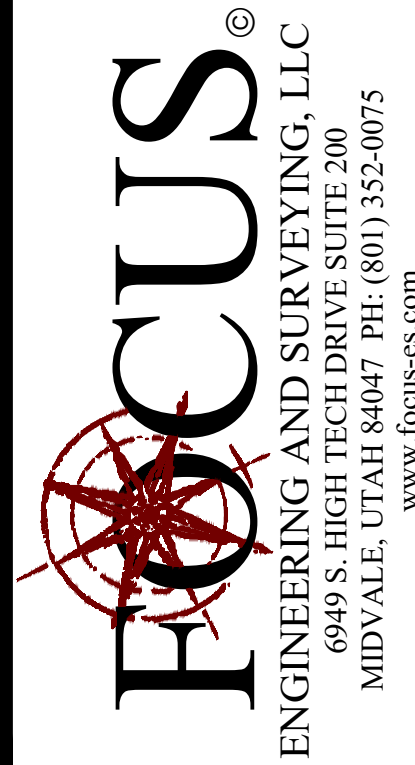
Installation (Continued)
3" & 4" Meters



Water Specifications & Requirements

18

Murray City Water



FOR REVIEW ONLY

MURRAY MOB
MURRAY, UTAH
DETAILS

REVISION BLOCK	DATE	DESCRIPTION
1	1	1
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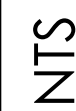
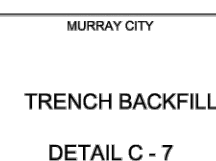
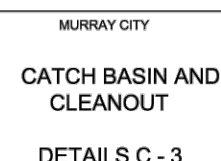
DETAILS

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Date: 06/10/25 Job #: 24-0028
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- 11 Except as provided in Section 2B.09, STOP signs and YIELD signs shall not be installed on different approaches to the same unsignalized intersection if those approaches conflict with or oppose each other.
- 12 Portable or part-time STOP or YIELD signs shall not be used except for emergency and temporary traffic control zone purposes.
- 13 A portable or part-time (folding) STOP sign that is manually placed into view and manually removed from view shall not be used during a power outage to control a signalized approach unless the maintaining agency establishes that the signal indication that will first be displayed to that approach upon restoration of power is a flashing red signal indication and that the portable STOP sign will be manually removed from view prior to stop-and-go operation of the traffic control signal.
- Option:
- 14 A portable or part-time (folding) STOP sign that is electrically or mechanically operated such that it only displays the STOP message during a power outage and ceases to display the STOP message upon restoration of power may be used during a power outage to control a signalized approach.
- Support:
- 15 Section 9B.03 contains provisions regarding the assignment of priority at a shared-use path/roadway intersection.

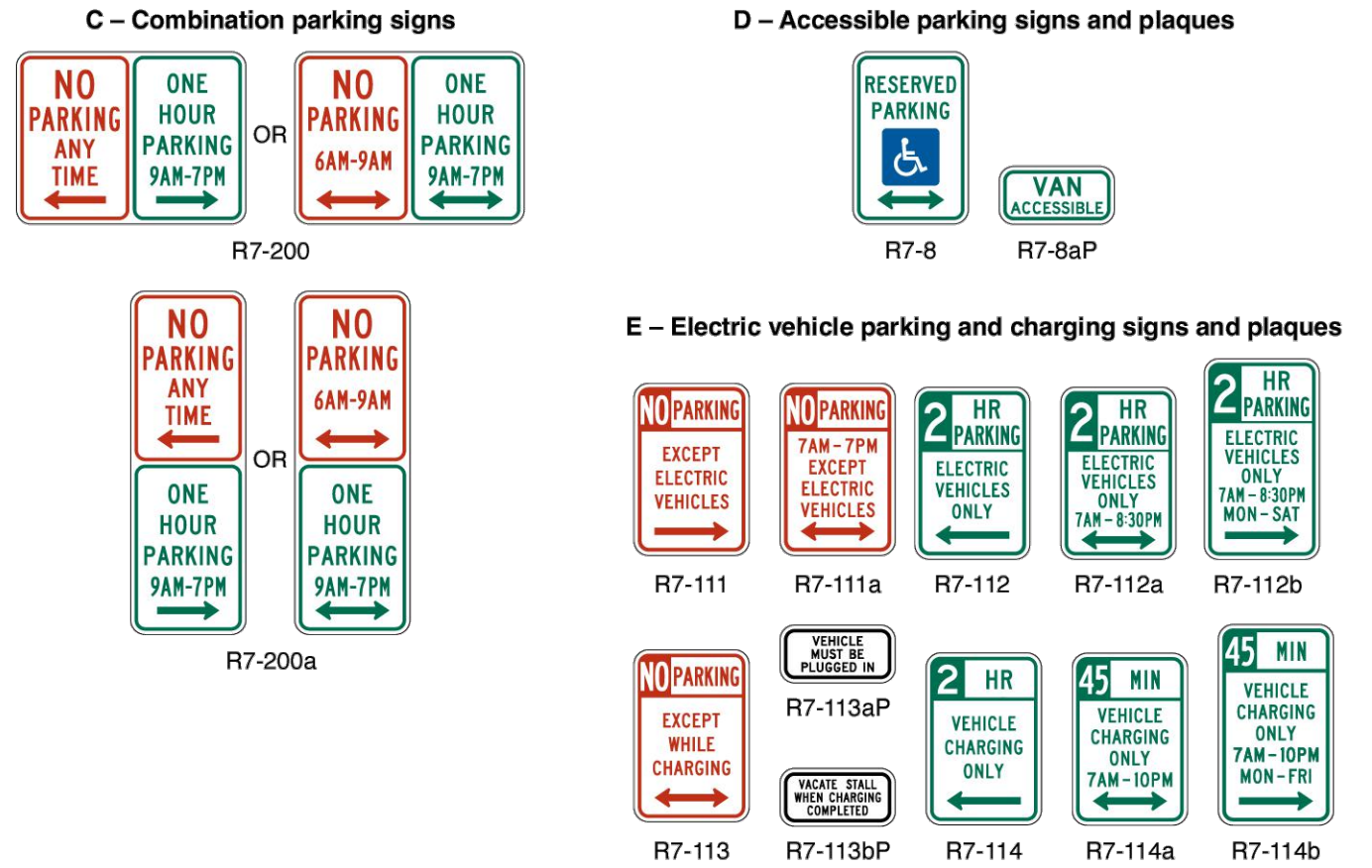
Section 2B.05 STOP Sign (R1-1) and ALL WAY Plaque (R1-3P)

- Standard:
- 01 When it is determined that a full stop is always required on an approach to an intersection, a STOP (R1-1) sign (see Figure 2B-1) shall be used.
- 02 The STOP sign shall be an octagon with a white legend and border on a red background.
- 03 Secondary legends shall not be used on STOP sign faces.
- 04 At intersections where all approaches are controlled by STOP signs (see Section 2B.07), an ALL WAY supplemental plaque (R1-3P) shall be mounted below each STOP sign. The ALL WAY plaque (see Figure 2B-1) shall have a white legend and border on a red background.
- 05 The ALL WAY plaque shall only be used if all intersection approaches are controlled by STOP signs.
- 06 Supplemental plaques with legends such as 2-WAY, 3-WAY, 4-WAY, or other numbers of ways shall not be used with STOP signs.
- Support:
- 07 The use of the CROSS TRAFFIC DOES NOT STOP (W4-4P) plaque (and other plaques with variations of this word message) is described in Section 2C.59.
- Guidance:
- 08 Plaques with the appropriate alternative messages of TRAFFIC FROM LEFT (RIGHT) DOES NOT STOP (W4-4aP) or ONCOMING TRAFFIC DOES NOT STOP (W4-4bP) should be used at intersections where STOP signs control all but one approach to the intersection, unless the only non-stopped approach is from a one-way street.
- Option:
- 09 An EXCEPT RIGHT TURN (R1-10P) plaque (see Figure 2B-1) may be mounted below the STOP sign if an engineering study determines that a special combination of geometry and traffic volumes is present that makes it possible for right-turning traffic on the approach to be permitted to enter the intersection without stopping.
- Support:
- 10 The design and application of Stop Beacons are described in Section 4L.05.

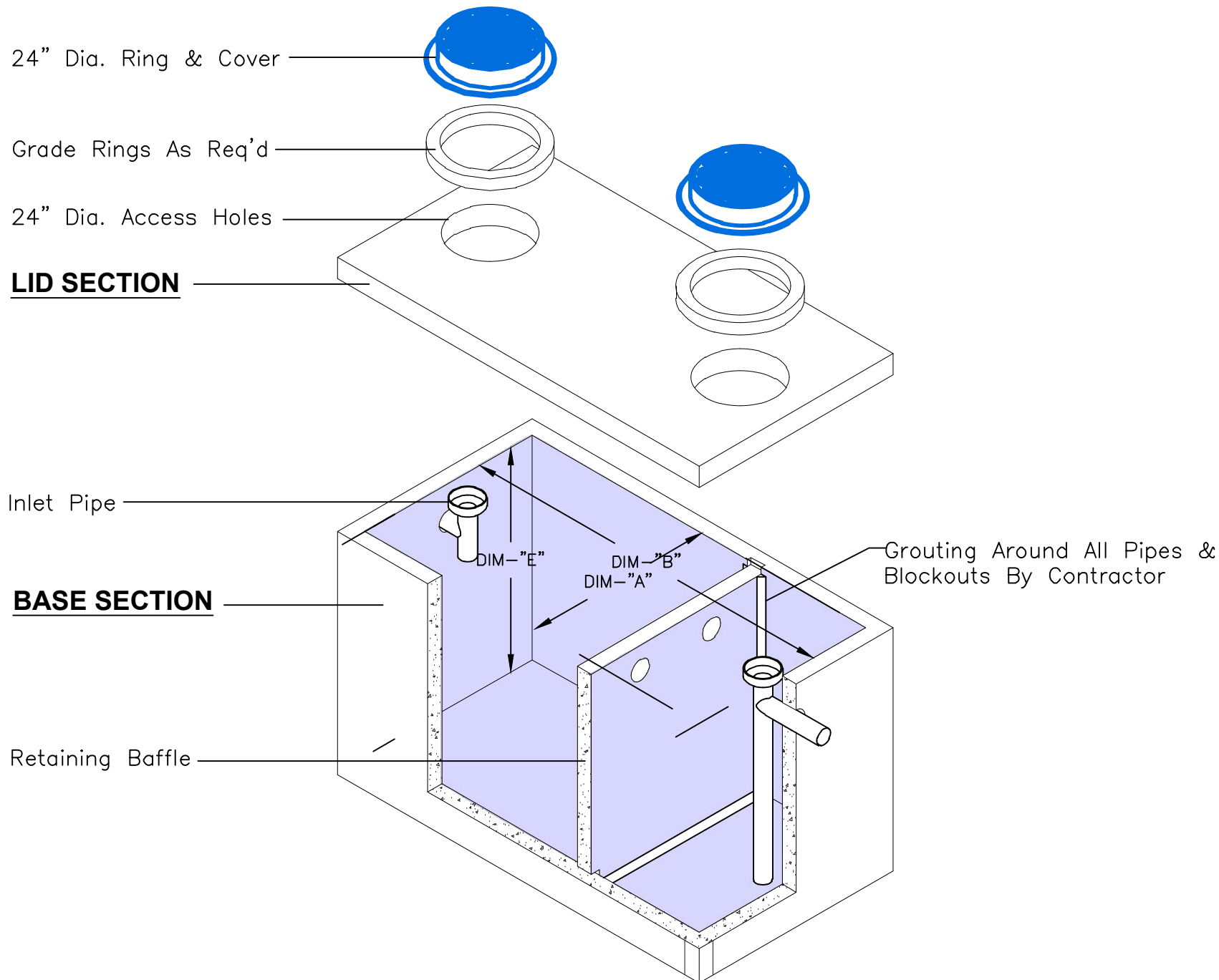
Figure 2B-1. STOP and YIELD Signs and Plaques



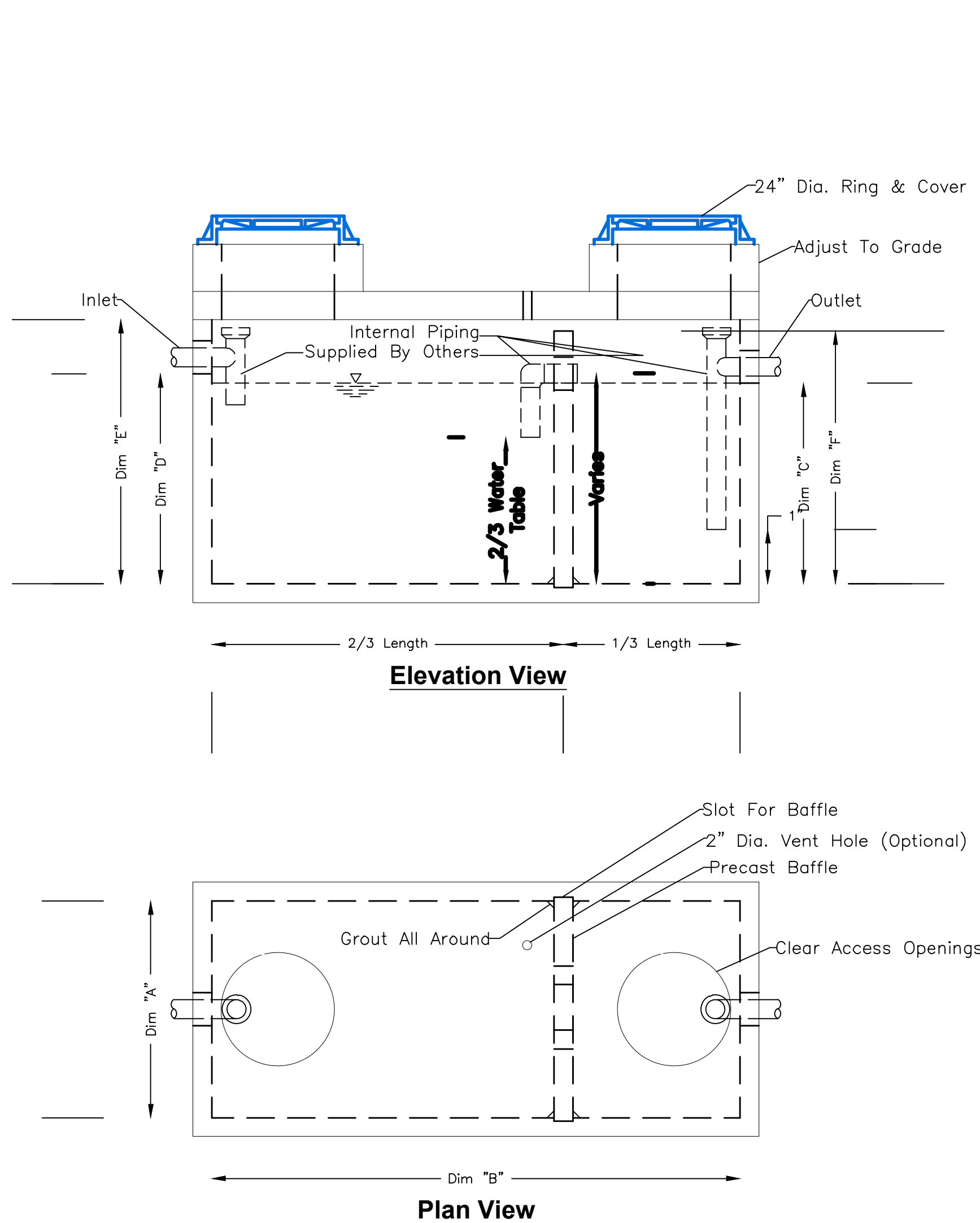
Figure 2B-25. Parking, Standing, and Stopping Signs and Plaques (R7 and R8 Series) (Sheet 2 of 2)



- Standard:
- 08 The times and days for which the parking regulations are in effect shall be posted if they are not in effect at all times of day or all days of the week.
- Option:
- 09 As an alternate to the use of arrows to show designated restriction zones, the following word messages may be used: BEGIN, END, HERE TO CORNER, HERE TO ALLEY, and THIS SIDE OF SIGN.
- 10 The R8 series signs (see Drawing A in Figure 2B-25) may be used where sufficient notice of a parking prohibition is satisfied by the use of single signs and are not needed to designate the beginning and end of a zone in which parking is prohibited or restricted. In rural and certain other areas the legends NO PARKING ON PAVEMENT (R8-1) or NO STOPPING ON PAVEMENT (R8-5) are generally suitable and may be used where parking or stopping is allowed on an unpaved shoulder or border adjacent to the paved portion of the road. If a roadway has an adjacent paved shoulder on which parking or stopping is allowed, the legend NO PARKING EXCEPT ON SHOULDER (R8-2) or NO STOPPING EXCEPT ON SHOULDER (R8-6) may be used. The R8-3 symbol sign or the word message NO PARKING may be used to prohibit any parking along a roadway. Word legend supplemental plaques may be mounted below the NO PARKING signs or the word legend may be incorporated within signs whose sizes are increased accordingly. The R8-3 series signs may include word legends such as ON PAVEMENT (R8-3a), ON BRIDGE (R8-3d), ON TRACKS (R8-3e), and EXCEPT ON SHOULDER (R8-3f).
- Guidance:
- 11 Where special parking restrictions are imposed during heavy snowfall or a declared snow emergency, a Snow Emergency Route (R7-203) sign (see Drawing A in Figure 2B-25) should be installed. The legend should be modified to display the specific regulations. The upper section of the sign should display the designation as a snow emergency route in a white legend and border on a red background.
- 12 If a fee is charged for on-street parking and payments are made at a multi-space parking meter, instead of individual parking meters for each parking space, Metered Parking (R7-21 and R7-22) signs (see Drawing B in Figure 2B-25) should be used to define the area where the multi-space parking meter applies. The Multi-Space Parking Meter (R7-20) sign (see Drawing B in Figure 2B-25) should be used at the meter location to direct road users to the meter.

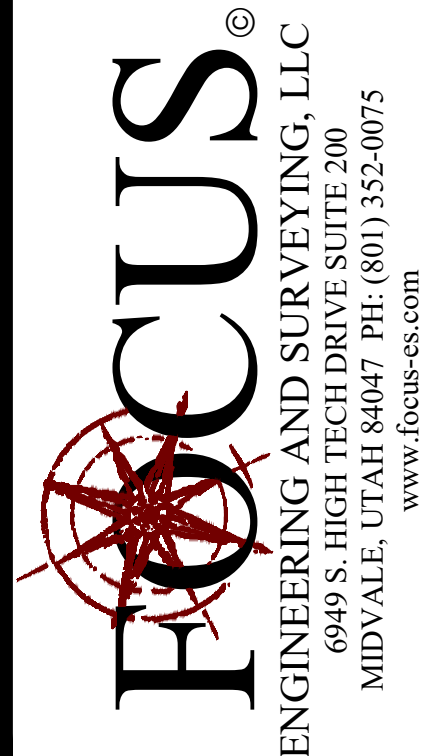


GALLON CAPACITY	MODEL No.	DIM "A"	DIM "B"	WATER DEPTH DIM "C"	DIM "D"	DIM "E"	DIM "F"	WEIGHT
320	463-SO	4'-0"	6'-0"	2'-0"	2'-2"	3'-0"	2'-10"	7,535
500	4113-SO	4'-0"	11'-0"	2'-0"	2'-2"	3'-0"	2'-10"	11,631
750	4114-SO	4'-0"	11'-0"	2'-6"	2'-8"	4'-0"	3'-10"	14,031
1000	41145-SO	4'-0"	11'-0"	3'-3"	3'-5"	4'-6"	4'-4"	16,231
1250	4115-SO	4'-0"	11'-0"	4'-0"	4'-2"	5'-0"	4'-10"	16,431
1500	4116-SO	4'-0"	11'-0"	5'-0"	5'-2"	6'-0"	5'-10"	18,831
1800	41165-SO	4'-0"	11'-0"	5'-6"	5'-8"	6'-6"	6'-4"	20,031
2000	4117-SO	4'-0"	11'-0"	6'-0"	6'-2"	7'-0"	6'-10"	21,231
2500	6126-SO	6'-0"	12'-6"	4'-6"	4'-8"	6'-0"	5'-10"	24,529
3000	61267-SO	6'-0"	12'-6"	5'-6"	5'-8"	7'-0"	6'-10"	27,454
3500	11125-SO	11'-0"	12'-0"	3'-8"	3'-10"	5'-0"	4'-10"	29,521
5000	11175-SO	11'-0"	17'-0"	3'-8"	3'-10"	5'-0"	4'-10"	37,702
5500	11176-SO	11'-0"	17'-0"	4'-0"	4'-2"	5'-9"	5'-7"	40,964
6000	11195-SO	11'-0"	19'-0"	4'-0"	4'-2"	5'-9"	5'-7"	44,462
7000	11225-SO	11'-0"	22'-0"	4'-0"	4'-2"	5'-0"	4'-10"	45,883
8000	11226-SO	11'-0"	22'-0"	4'-6"	4'-8"	5'-9"	5'-7"	49,708
9000	11276-SO	11'-0"	27'-0"	4'-0"	4'-2"	5'-9"	5'-7"	58,451
10000	11296-SO	11'-0"	29'-0"	4'-6"	4'-8"	5'-9"	5'-7"	61,949
11000	11348-SO	11'-0"	34'-0"	4'-0"	4'-2"	5'-9"	5'-7"	70,692



OLD CASTLE PRECAST SAND & OIL SEPARATOR

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MURRAY MOB
MURRAY, UTAH
DETAILS

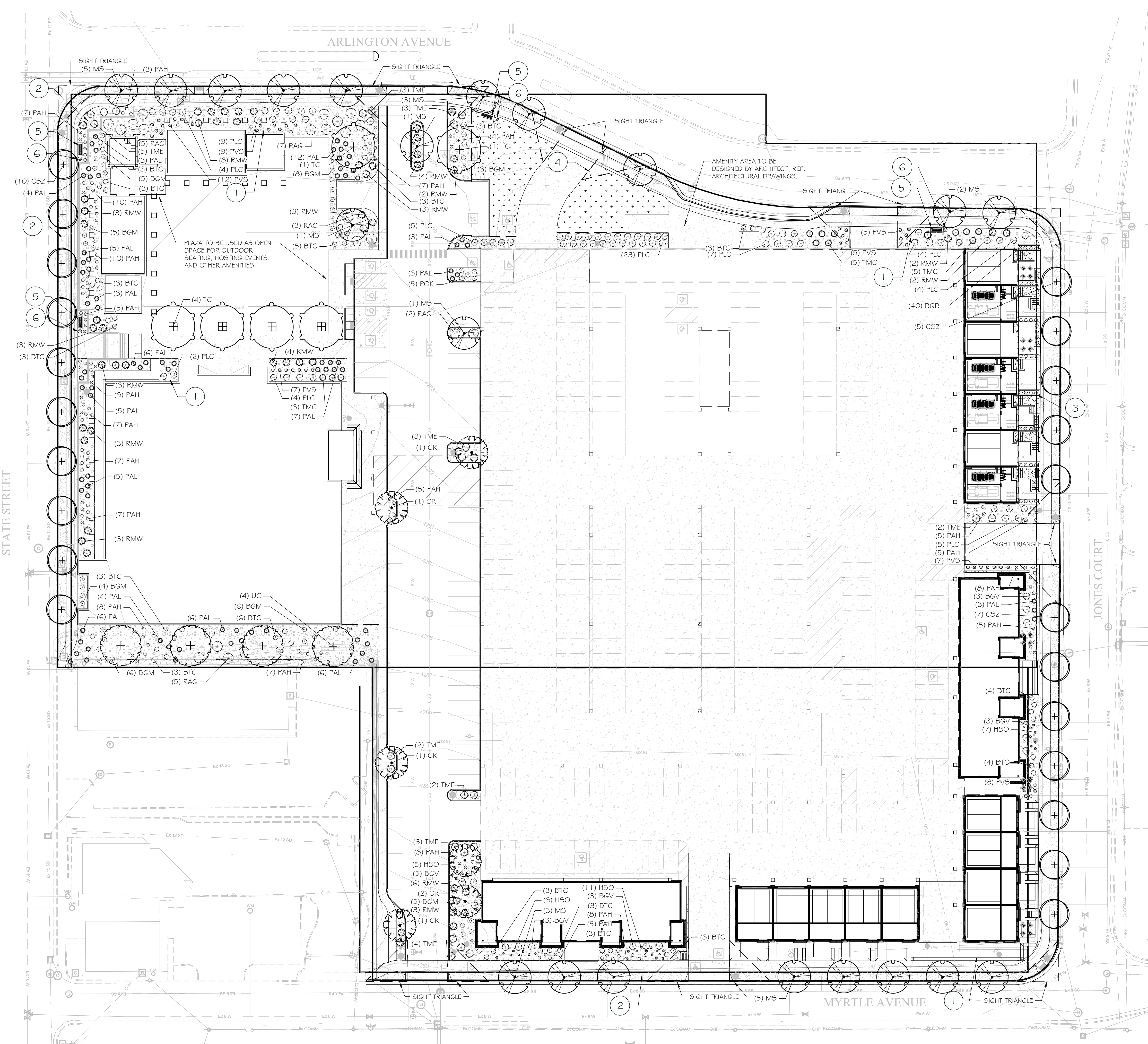
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3	11/11/23	5	6
4	11/11/23	7	8
5	11/11/23	9	10
6	11/11/23	11	12

DETAILS

Scale: 1"=XX'	Drawn: RRH
Date: 06/10/25	Job #: 24-0028
Sheet:	

D4.0





PLANT SCHEDULE

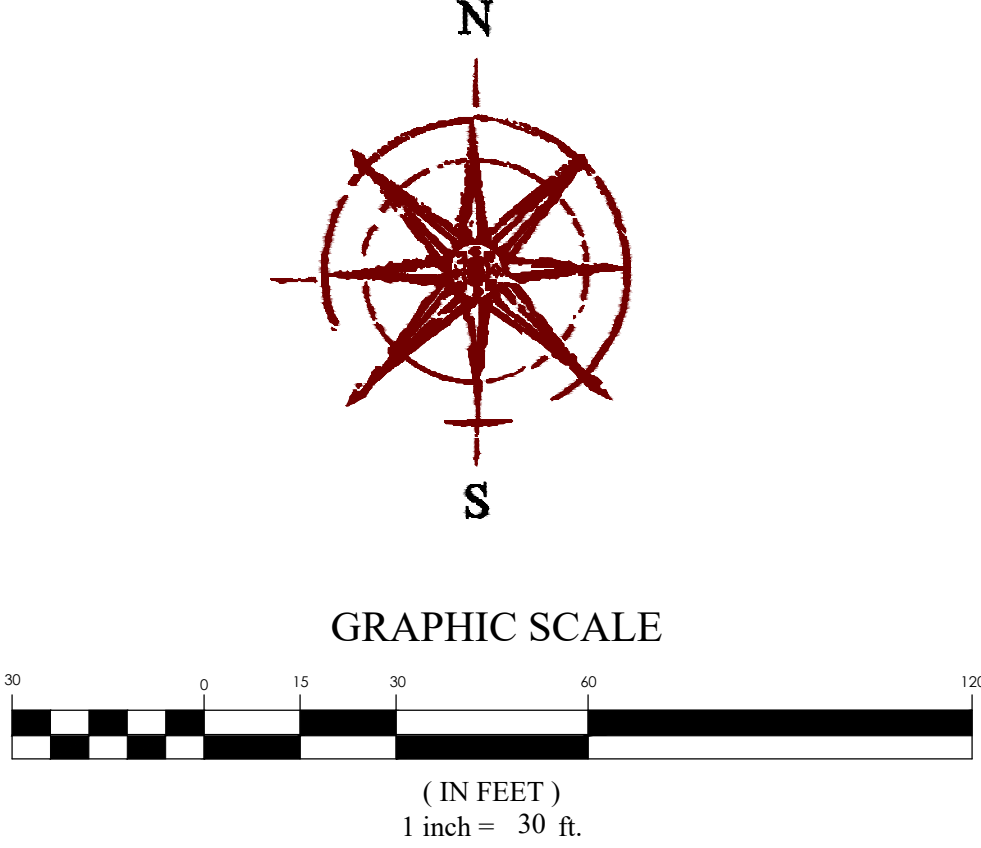
CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY
TREES				
CR	Cercis canadensis 'JN2'	The Rising Sun™ Eastern Redbud	2' Cal.	6
MS	Malus x 'Spring Snow'	Spring Snow Crabapple	2' Cal.	21
TC	Tilia cordata	Littleleaf Linden	2' Cal.	6
UC	Ulmus x 'Frontier'	Frontier Elm	2' Cal.	4
CSZ	Zelkova serrata 'JF5-KW1'	City Sprite® Japanese Zelkova	2' Cal.	22
SHRUBS				
BTC	Barbrens thunbergii 'Concorde'	Concorde Japanese Barberry	5 gal.	58
BGB	Buxus microphylla japonica 'Griegem'	Baby Gem™ Boxwood	2 gal.	40
BGM	Buxus x 'Green Mountain'	Green Mountain Boxwood	5 gal.	42
BGV	Buxus x 'Green Velvet'	Green Velvet Boxwood	5 gal.	17
PLC	Prunus laurocerasus 'Chestnut Hill'	Chestnut Hill English Laurel	5 gal.	67
RAG	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	5 gal.	22
RMW	Rosa Meidiland 'White'	White Meidiland Rose Groundcover	5 gal.	52
TMC	Taxus x media 'Chadwicki'	Chadwick's Anglo-Japanese Yew	5 gal.	13
TME	Taxus x media 'Everlow'	Everlow Yew	5 gal.	27
ORNAMENTAL GRASSES				
PVS	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	1 gal.	53
PAH	Pennisetum alopecuroides 'Hameln'	Hameln Fountain Grass	1 gal.	139
POK	Pennisetum alopecuroides 'Karley Rose'	Karley Rose Fountain Grass	1 gal.	5
PERENNIALS				
H50	Hemerocallis x 'Stella de Oro'	Stella de Oro Daylily	1 gal.	31
PAL	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	1 gal.	81

REFERENCE NOTES SCHEDULE

SYMBOL	CODE	DESCRIPTION	QTY
	1	ROCK MULCH TYPE 1	21,746 sf
	2	ROCK MULCH TYPE 2	7,620 sf
	3	RAISED PLANTER	
	4	ARTIFICIAL TURF	3,867 sf
	5	BENCH	4
	6	TRASH RECEPTACLE	4

LANDSCAPE NOTES

- LAWN AREAS WILL BE SODDED WITH KENTUCKY BLUEGRASS BLEND OVER 4 INCHES GOOD GRADE TOPSOIL.
- TOP DRESS ALL SHRUB BED AREAS AND OTHER AREAS LABELED ROCK MULCH WITH 4" DEEP OF ROCK TYPE(S) SPECIFIED IN THE REFERENCE NOTE SCHEDULE. PLACE ROCK OVER DEWITT PRO-5 WEED BARRIER FABRIC. FABRIC SHALL BE INSTALLED AFTER PRE-EMERGENT HAS BEEN APPLIED.
- INSTALL STEEL EDGING FOR MOW STRIPS BETWEEN LAWN AREAS AND PLANTING BEDS.
- CONTRACTOR TO CONDUCT THEIR OWN QUANTITY TAKE-OFFS IN THE PLAN AND VERIFY ANY DISCREPANCIES WITH THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL VERIFY ALL UTILITIES SHOWN ON THE PLANS AS WELL AS HAVE THE SITE UTILITIES LOCATED ON THE GROUND PRIOR TO THE START OF CONSTRUCTION ACTIVITIES. IN THE EVENT THAT THE CONTRACTOR DISCOVERS AN UNDERGROUND UTILITY THAT IS NOT REPRESENTED WITHIN THE CONSTRUCTION DOCUMENTS OR AS MARKED ON THE SITE, HE SHALL IMMEDIATELY CONTACT THE OWNERS REPRESENTATIVE TO DETERMINE NEXT STEPS PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN THE AREA OF THE NEWLY DISCOVERED UNDERGROUND UTILITY.
- THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE THROUGHOUT CONSTRUCTION ACTIVITIES FOR THE PROJECT. ACCUMULATION OF STANDING WATER WILL NOT BE PERMITTED.

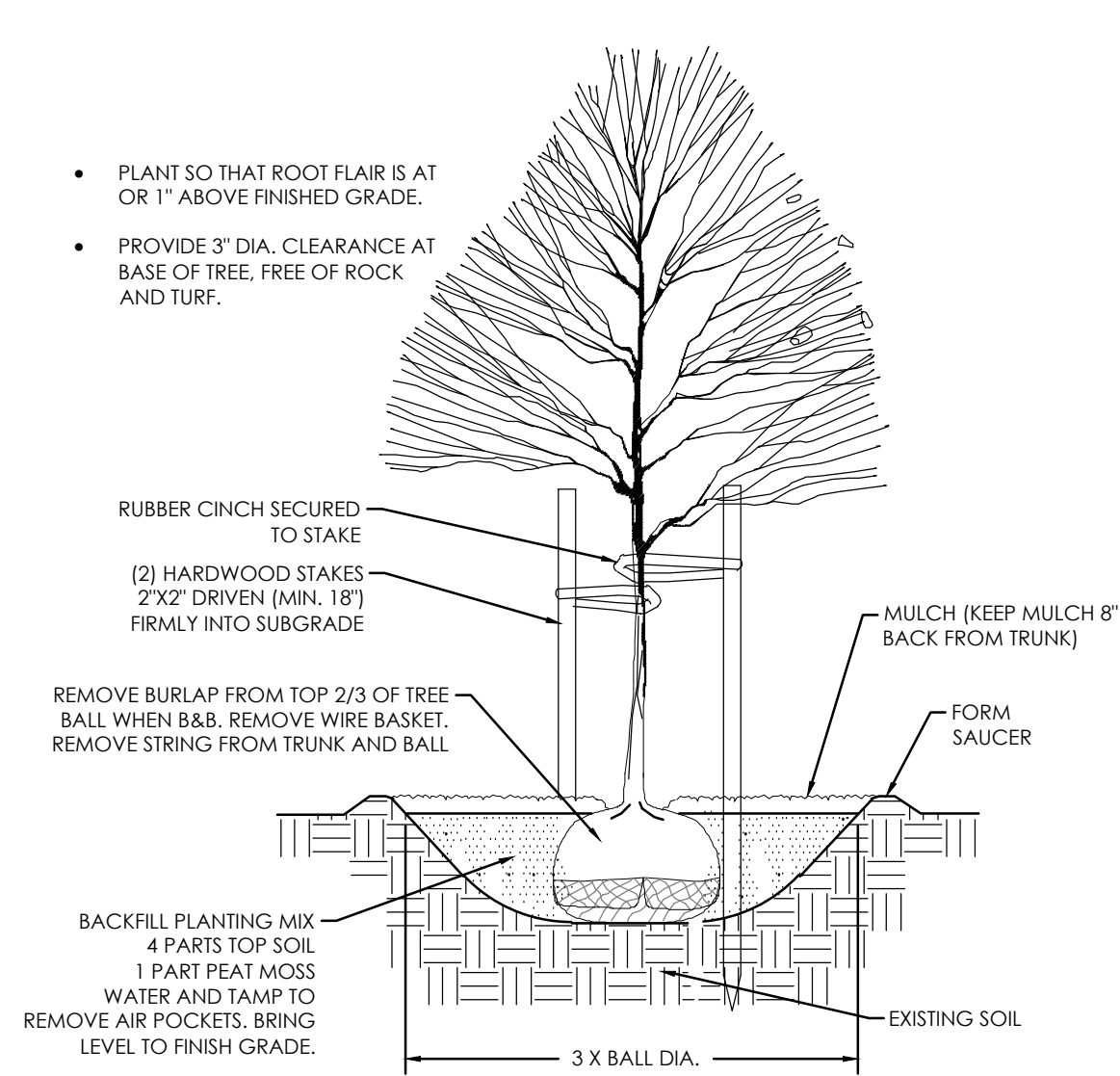


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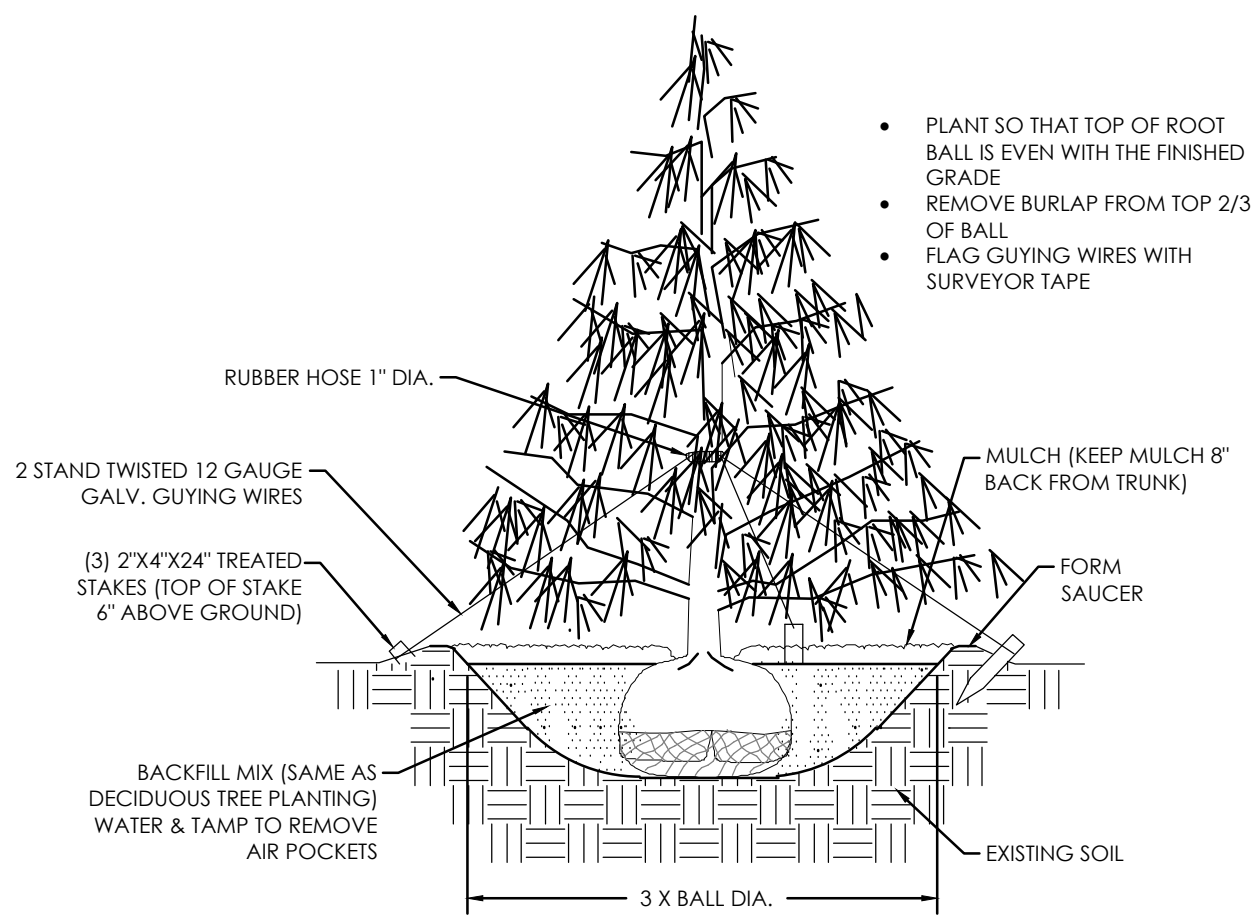
MURRAY MOB
MURRAY, UTAH
OVERALL LANDSCAPE PLAN

REVISION BLOCK		DESCRIPTION
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2	***	
3	***	
4	***	
5	***	
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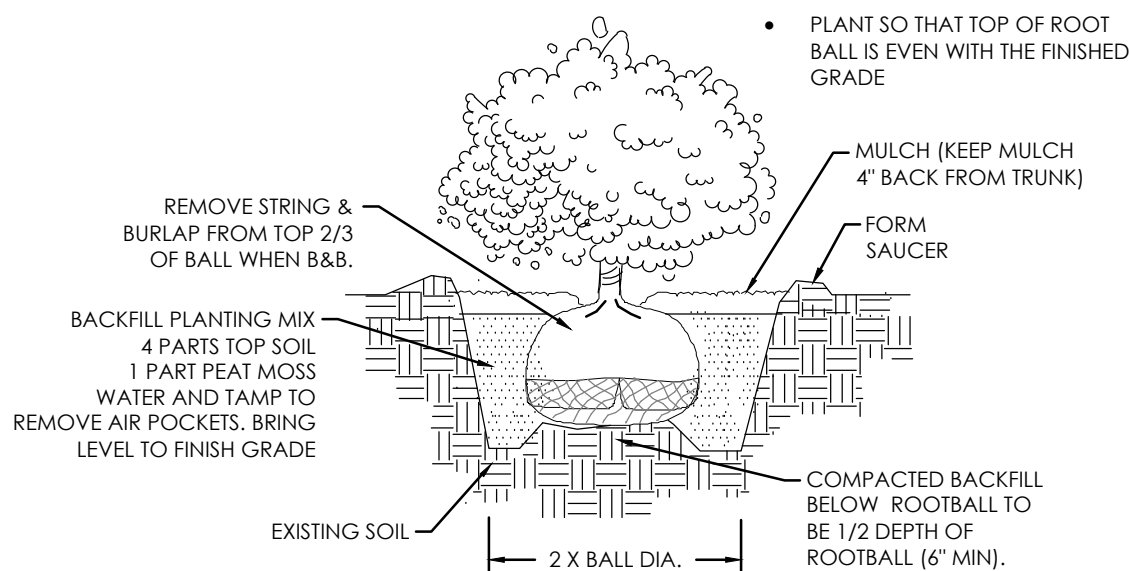




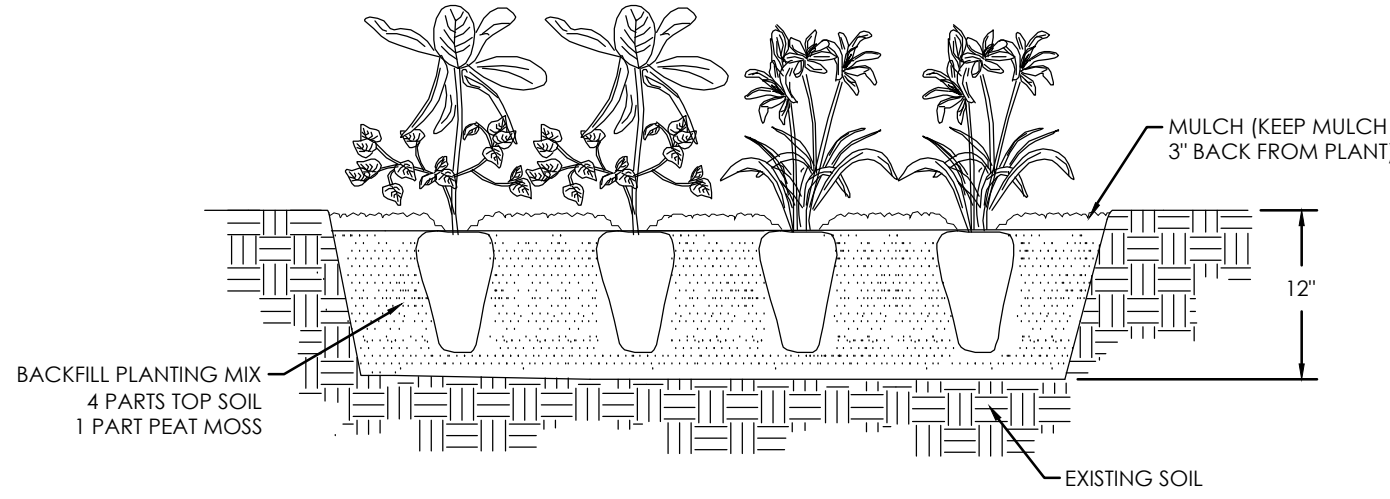
A TREE PLANTING & STAKING
NOT TO SCALE



B EVERGREEN PLANTING & GUYING
NOT TO SCALE



C SHRUB PLANTING
NOT TO SCALE



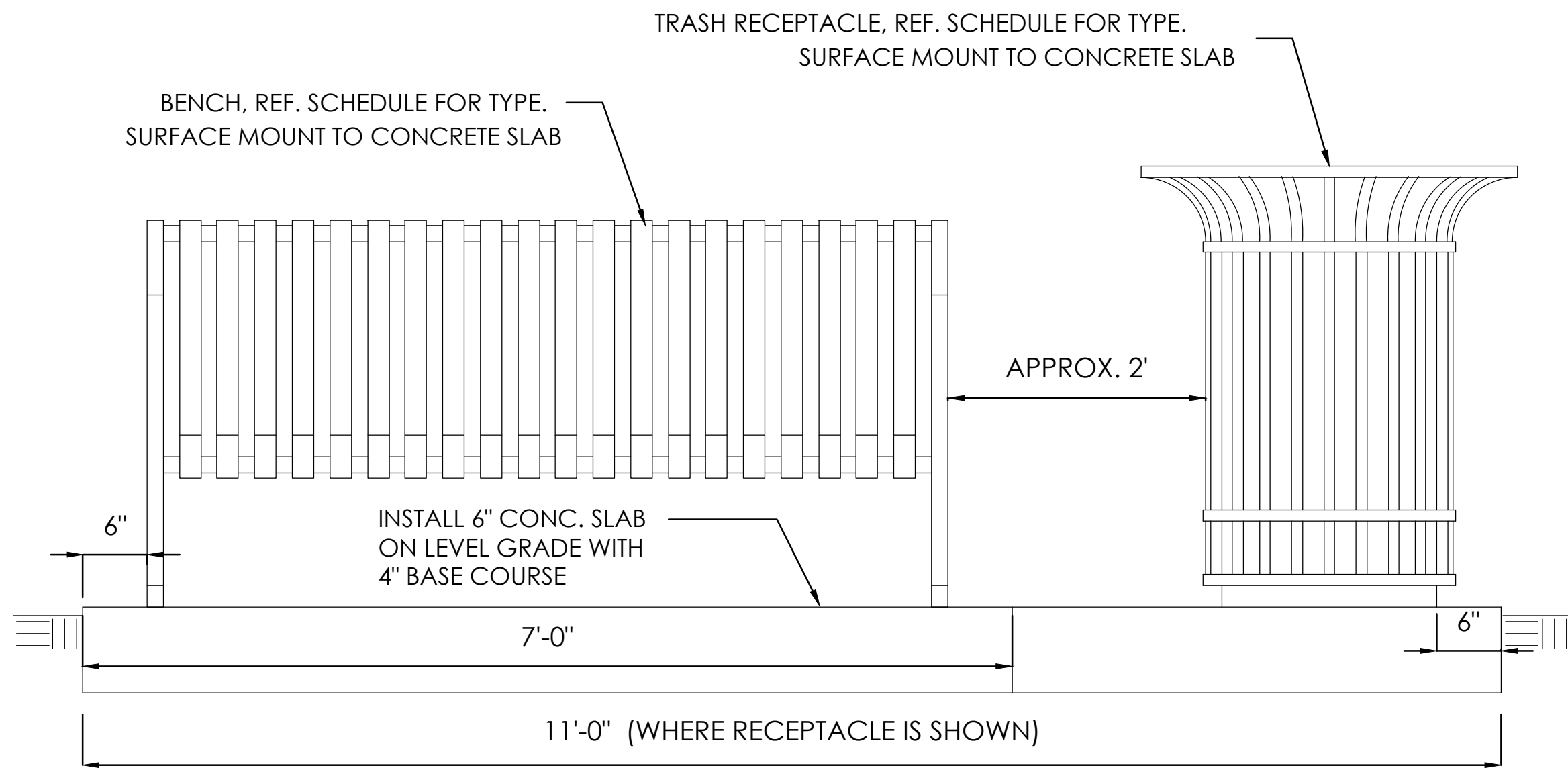
D PERENNIAL PLANTING
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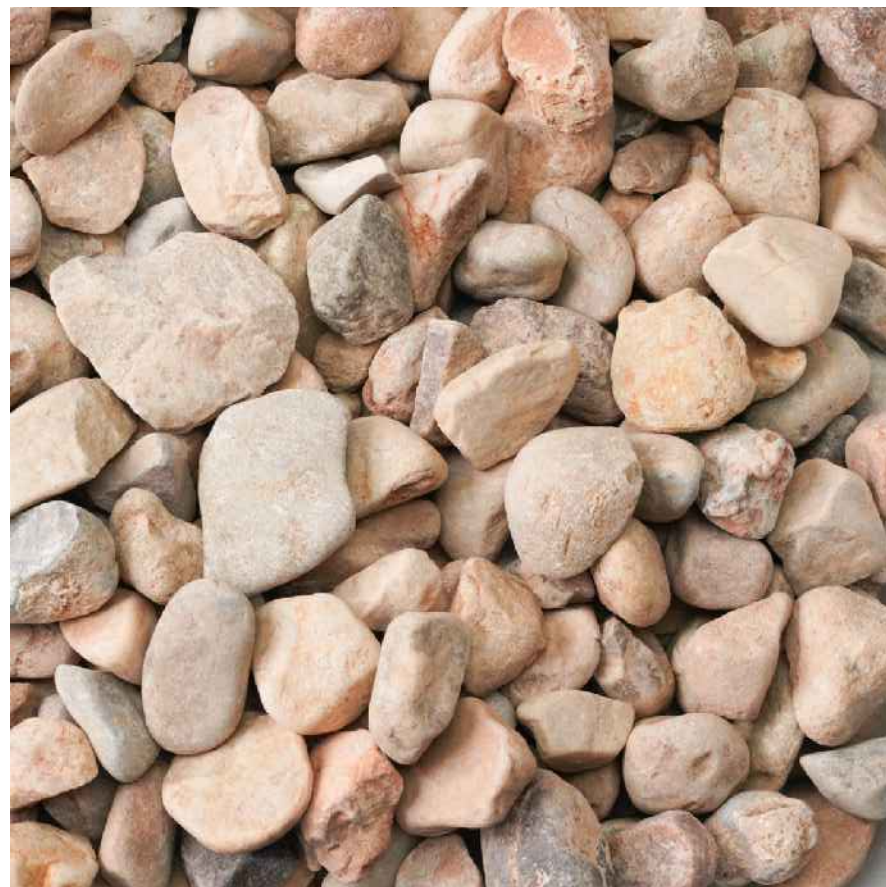
F BENCH EXAMPLE
NTS



G TRASH RECEPTACLE EXAMPLE
NTS



E BENCH & TRASH RECEPTACLE ELEVATION
1" = 1'-0"



H ROCK TYPE 1 EXAMPLE
NTS



I ROCK TYPE 2 EXAMPLE
NTS



J ARTIFICIAL TURF EXAMPLE
NTS

REVISION BLOCK		DESCRIPTION
#	DATE	
1	----	
2	----	
3	----	
4	----	
5	----	
6	----	

STATE STREET

ARLINGTON AVENUE











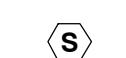

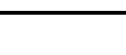
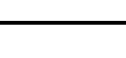
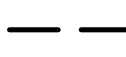
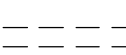
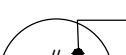

GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.

N

S

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird R-VAN-STRIP 1804-SAM-P45 Shrub Rotary, 5'x15' (LCS and RCS), 5'x30' (SST) Hand Adjustable Multi-Stream Rotary w/ 1800 turf spray body on 4" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	4
	Rain Bird R-VAN14 1804-SAM-P45 Turf Rotary, 8'-14' 45-270 degrees and 360 degrees. Hand Adjustable Multi-Stream Rotary w/ 1800 turf spray body on 4" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	6
	Rain Bird R-VAN18 1804-SAM-P45 Turf Rotary, 13'-18' 45-270 degrees and 360 degrees. Hand Adjustable Multi-Stream Rotary w/ 1800 turf spray body on 4" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	9
	Rain Bird R-VAN24 1804-SAM-P45 Turf Rotary, 17'-24' 45-270 degrees and 360 degrees. Hand Adjustable Multi-Stream Rotary w/ 1800 turf spray body on 4" pop-up, with check valve and 45 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	8
	Rain Bird KCZ-100-PRF 1" Medium Flow Drip Control Kit, 1" DV valve, 1" pressure regulating filter, 40psi pressure regulator. 3 GPM-15 GPM.	10
	Rain Bird XB-G Six-Outlet, Pressure Compensating, Drip Emitter, Flow rates of 0.5 GPH=blue, 1.0 GPH=black, and 2.0 GPH=red, at each emitter outlet. Comes with Barb Inlet x Barb Outlet.	55
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird PFSB(ZONE VALVES) 1" 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration. With Scrubber Technology for Reliable Performance in Dirty Water Irrigation Applications.	2
	Rain Bird 44-LRC 1" 1in. Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Locking Thermoplastic Rubber Cover, and 2-Piece Body.	1
	STOP AND WASTE VALVE 1.5" MUELLER MARK II ORISEAL 5#W VALVE MODEL H-10288	1
	Rain Bird PEB 1-1/2" 1in., 1-1/2in., 2in. Plastic Industrial Master Valves. Low Flow Operating Capability, Globe Configuration.	1
	Zurn 375 1-1/2" Reduced Pressure Principle Assembly. Sizes 1"	1
	Rain Bird ESPLXME2 w/ (1) ESPLXMSM 12 24 Station, Traditionally-Wired, Commercial Controller. (1) ESPLXME2 12-Station, Indoor/Outdoor, Plastic Wall-Mount Enclosure w/ (1) ESPLXMSM 12 - 12-Station Expansion Modules.	1
	Rain Bird WR2-RFC Wireless Rain and Freeze Sensor Combo, includes 1 receiver and 1 rain/freeze sensor transmitter.	1
	Water Meter 1-1/2"	1
	Irrigation Lateral Line: PVC Schedule 40 3/4"	376.9 lf
	Irrigation Lateral Line: PVC Schedule 40 1"	34.1 lf
	Irrigation Mainline: PVC Schedule 40 1 1/2"	2,002 lf
	Pipe Sleeve: PVC Schedule 40	837.4 lf
	Valve Callout Valve Number Valve Flow Valve Size	
	RAINBIRD 3/4" XB5 TUBING WITH 1/4" TUBING TO EMITTER	
	1" POLY PIPE CONNECTING DRIPLINE SECTIONS	
	3/4" MANUAL FLUSH VALVE IN 10" ROUND VALVE BOX	

IRRIGATION NOTES

- THIS SYSTEM IS BASED UPON AN AVAILABLE STATIC PRESSURE OF 50 PSI MINIMUM. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CONFIRM THE STATIC WATER PRESSURE AND THE SIZE OF THE POINT OF CONNECTION (POC).
- COORDINATE AND LOCATE ALL EXISTING UTILITIES ON THE SITE PRIOR TO EXCAVATION.
- THIS PLAN IS DIAGRAMMATIC. SOME EQUIPMENT MAY BE SHOWN IN PAVED AREAS AND BUILDINGS FOR PLAN CLARITY.
- INSTALL PVC SCHEDULE 40 SLEEVES UNDER ALL PAVED SURFACES WHERE LINES AND CONTROL WIRES CROSS INCLUDING ALL SIDEWALKS. SLEEVE SIZE SHALL BE 2 TIMES LARGER THAN THE LINE. EXTEND 6" BEYOND THE PAVED SURFACE ON EACH SIDE. INSTALL A SEPARATE SLEEVE FOR THE CONTROL WIRES.
- INSTALL MANUAL DRAIN VALVES AT ALL LOW POINTS ALONG IRRIGATION MAIN LINE AND EACH SIDE OF DRIVEWAY WHERE MAIN LINE CROSSES UNDER.
- INSTALL VARIABLE ARC NOZZLES ON SPRINKLER HEADS WHERE ANGLE IS DIFFERENT THAN STANDARD NOZZLES.
- ALL PIPE FITTINGS SHALL BE SCHEDULE 80 ON MAIN LINE.
- XB5 TUBING SHALL BE INSTALLED UNDER BARK OR ROCK MULCH.
- INSTALL 3/4" MANUAL FLUSH VALVE IN AN 10" ROUND VALVE BOX AT THE END OF ALL DRIP LINES.
- DRIP EMITTERS SHALL BE RAINBIRD XB-20PC (2 GPH)XERI-BUG EMITTER, 1 EMITTER PER PLANT FOR PERENNIALS AND ORNAMENTAL GRASSES AND 2 EMITTERS PER PLANT FOR SHRUBS.
- RAINBIRD MULTI-OUTLET XERI-BUG EMITTER XB-20-6 (12 GPH) SHALL BE USED ON TREES IN PLANTING BEDS WITH DIFFUSER BUG CAP AT ENDS OF TUBING. DISTRIBUTE EMITTERS AROUND ROOTBALL OF TREE.

811

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MURRAY MOB
MURRAY, UTAH
OVERALL IRRIGATION PLAN

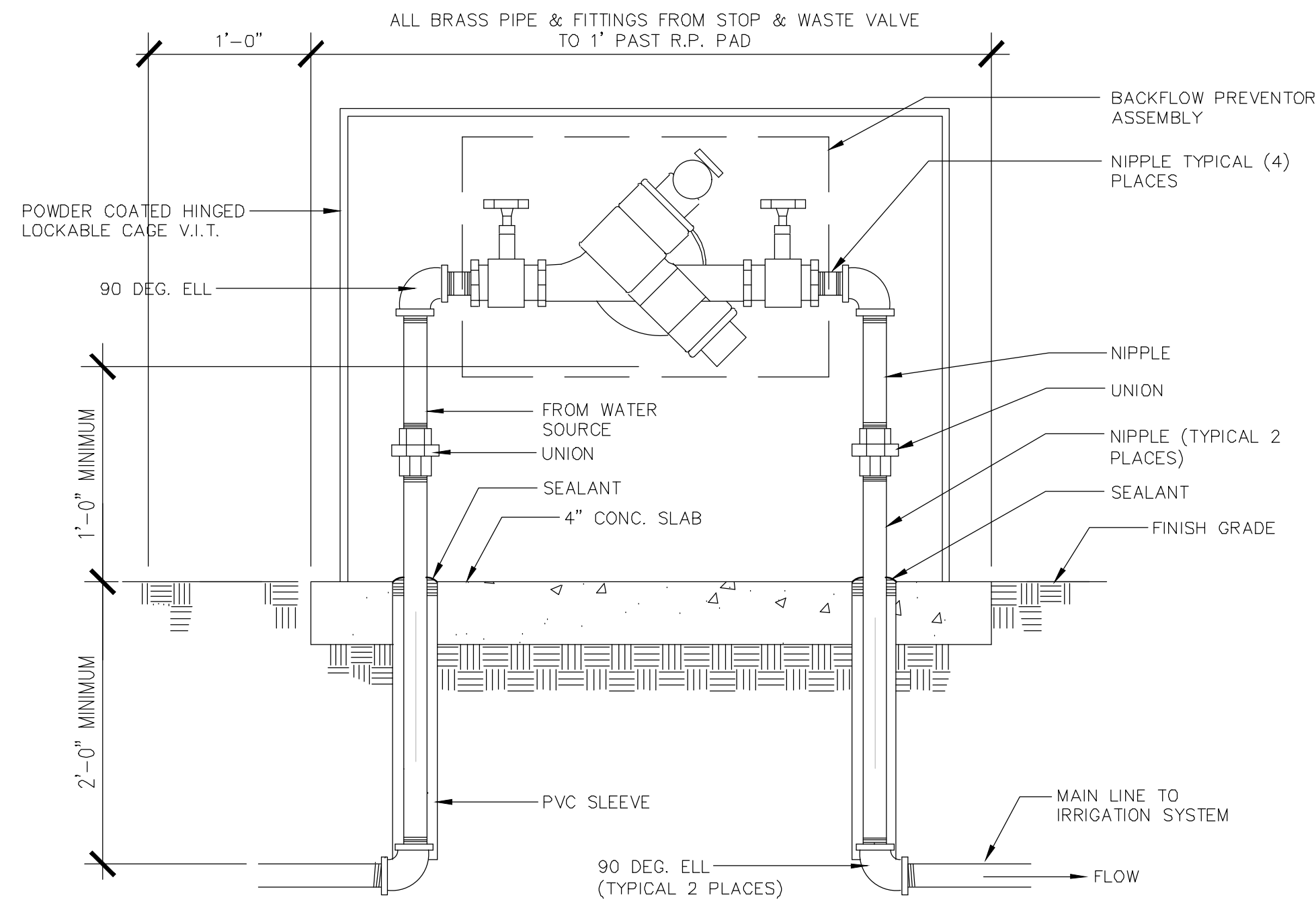
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#	5	5
#	6	6

OVERALL
IRRIGATION
PLAN

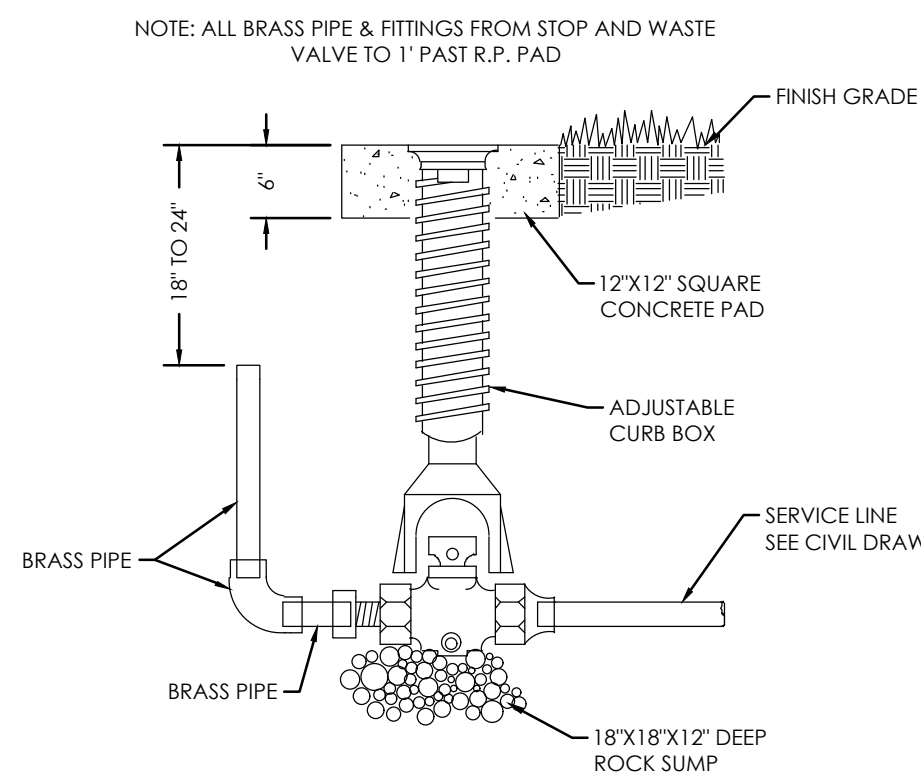
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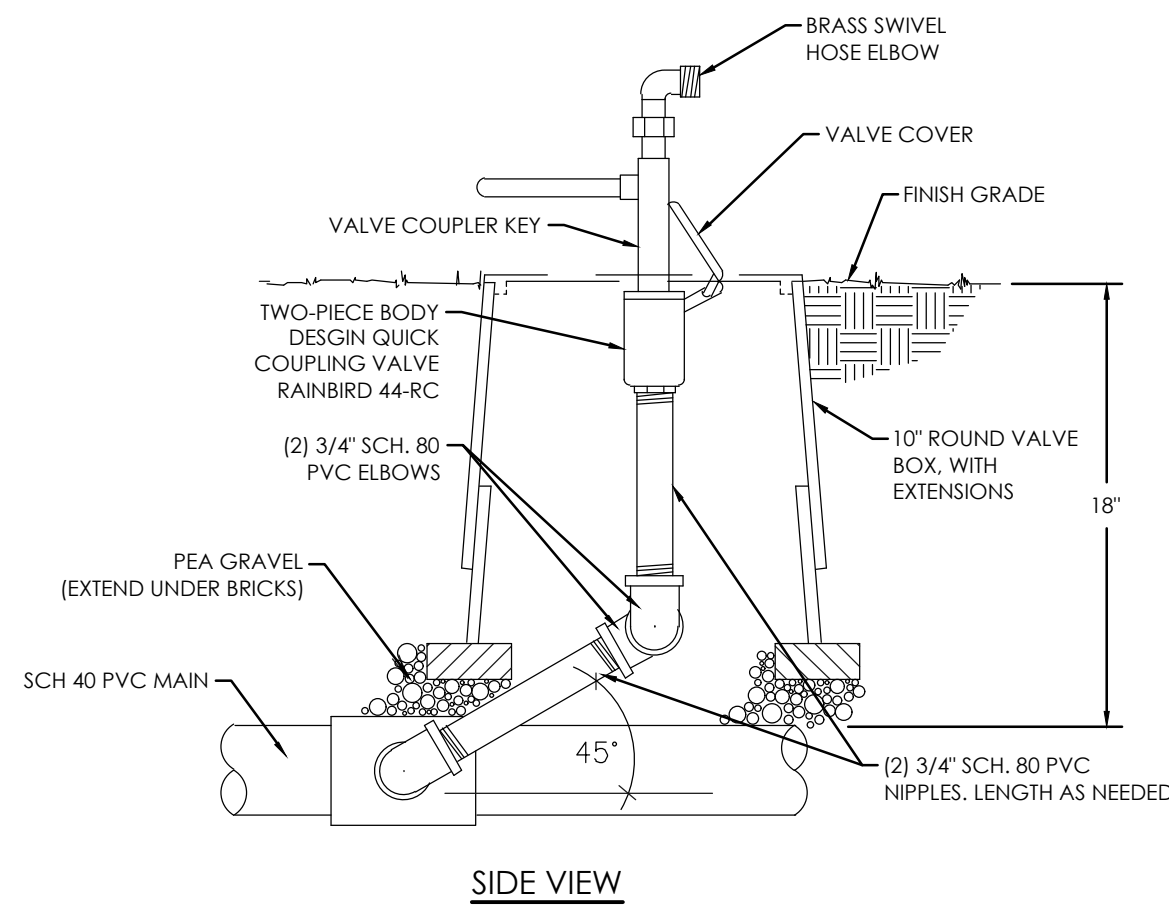
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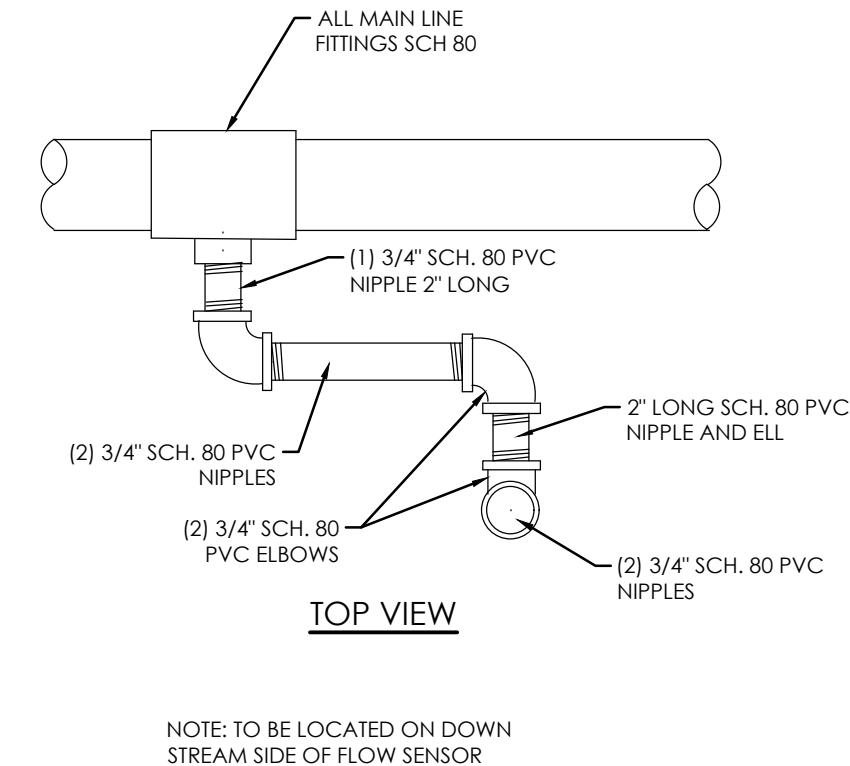
A REDUCED PRESSURE BACK FLOW PRESSURE
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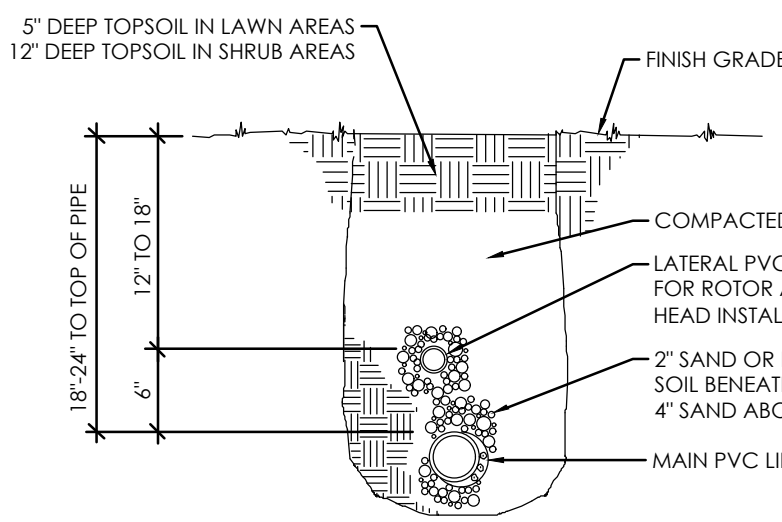
B STOP & WASTE VALVE DETAIL
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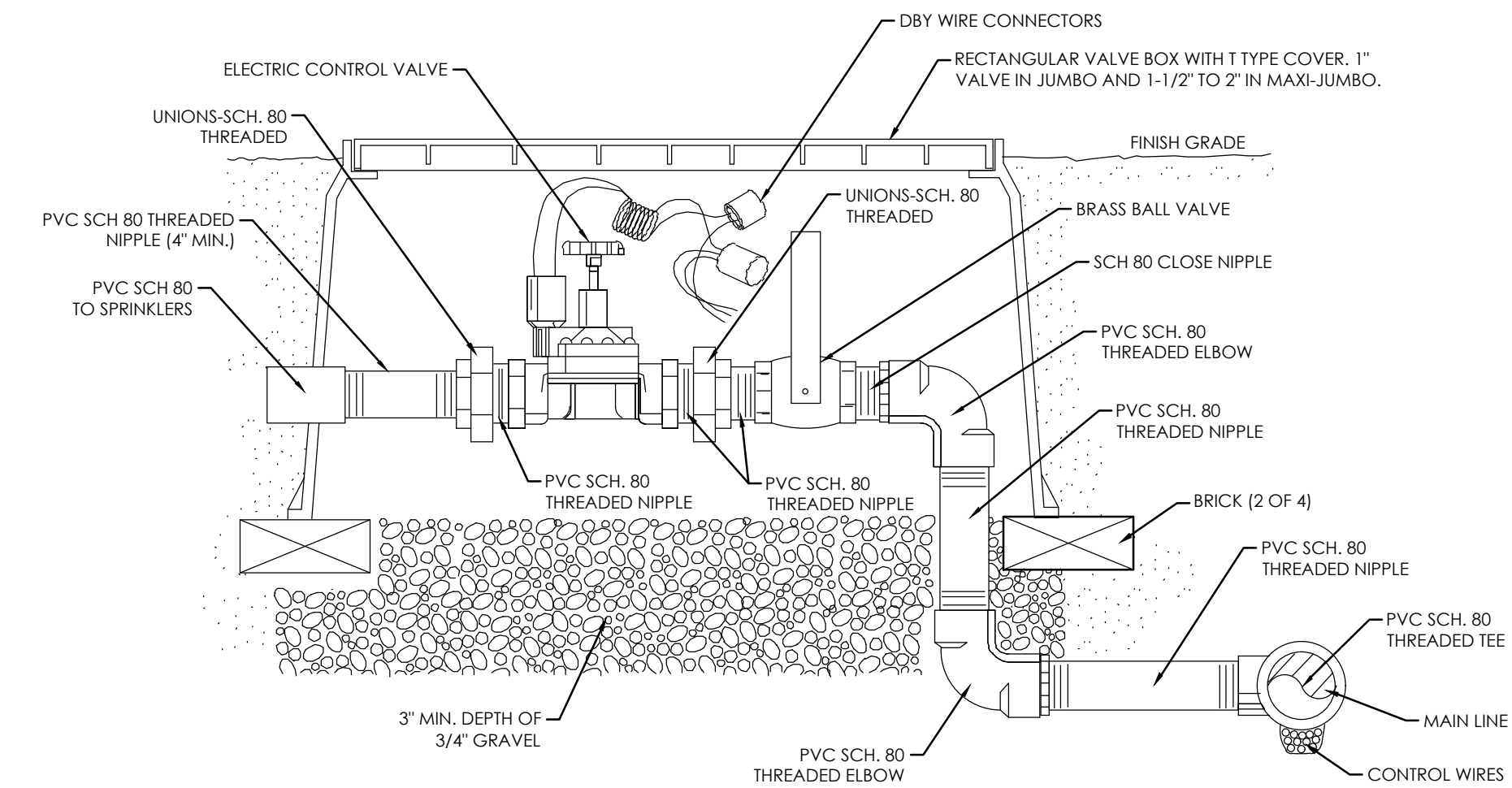
C QUICK COUPLING VALVE
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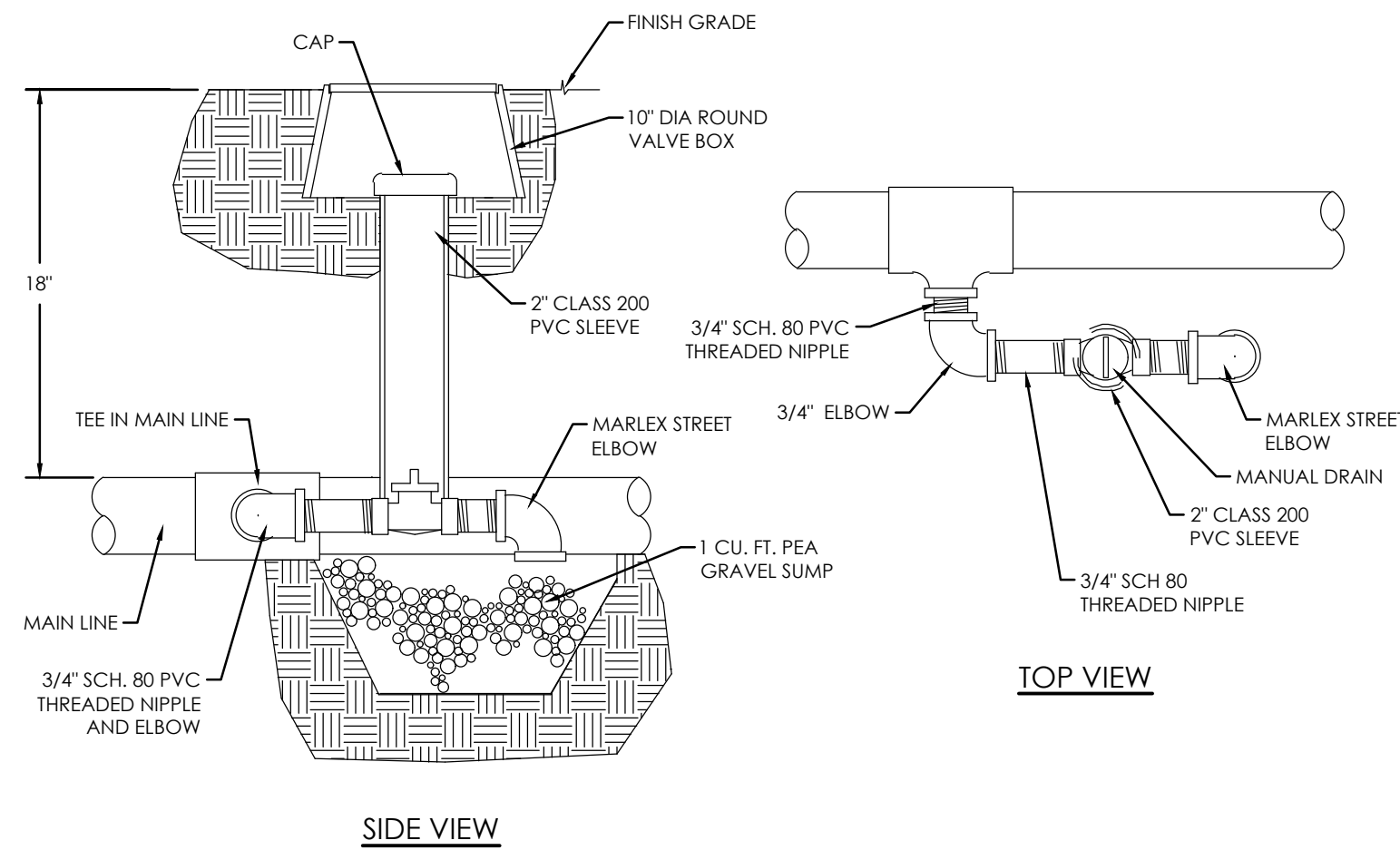
D PIPE TRENCH DETAIL (NEW PAVEMENT AREAS)
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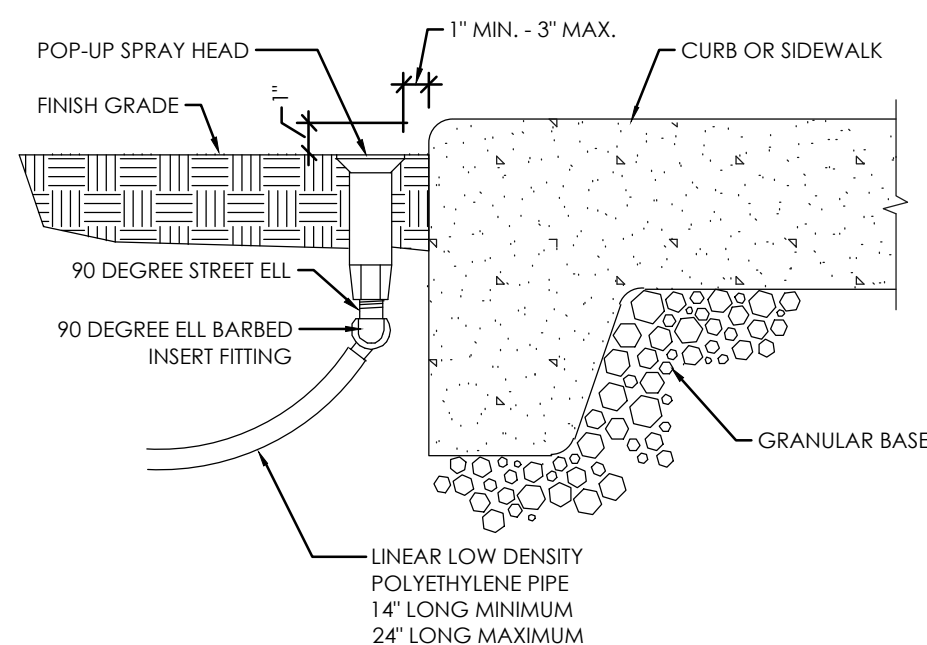
E TRENCH SECTION
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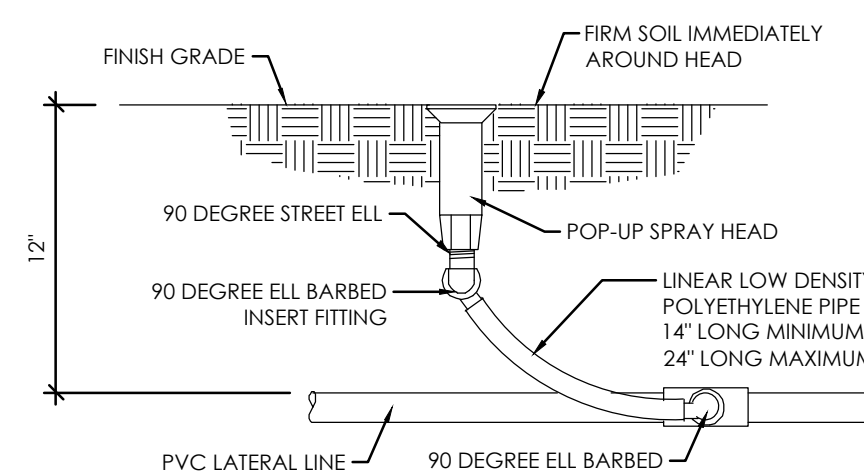
F ELECTRONIC CONTROL VALVE
NOT TO SCALE



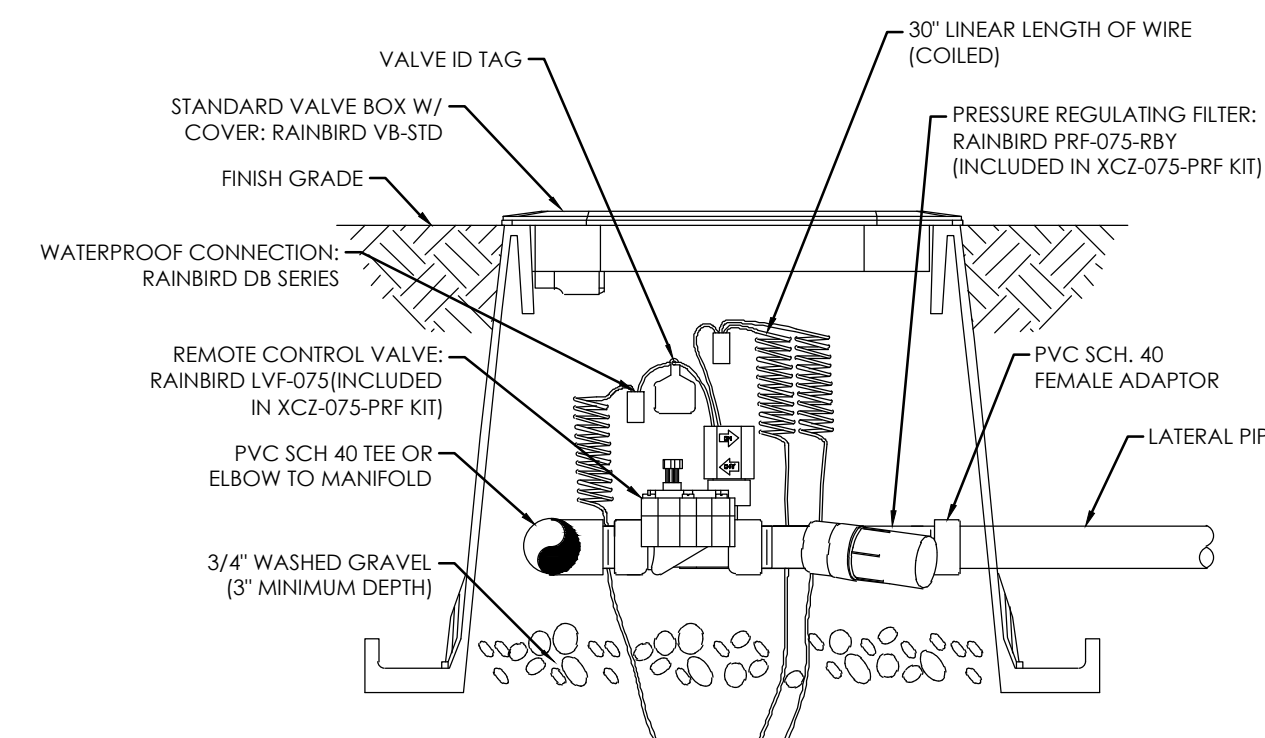
G MANUAL DRAIN VALVE
NOT TO SCALE



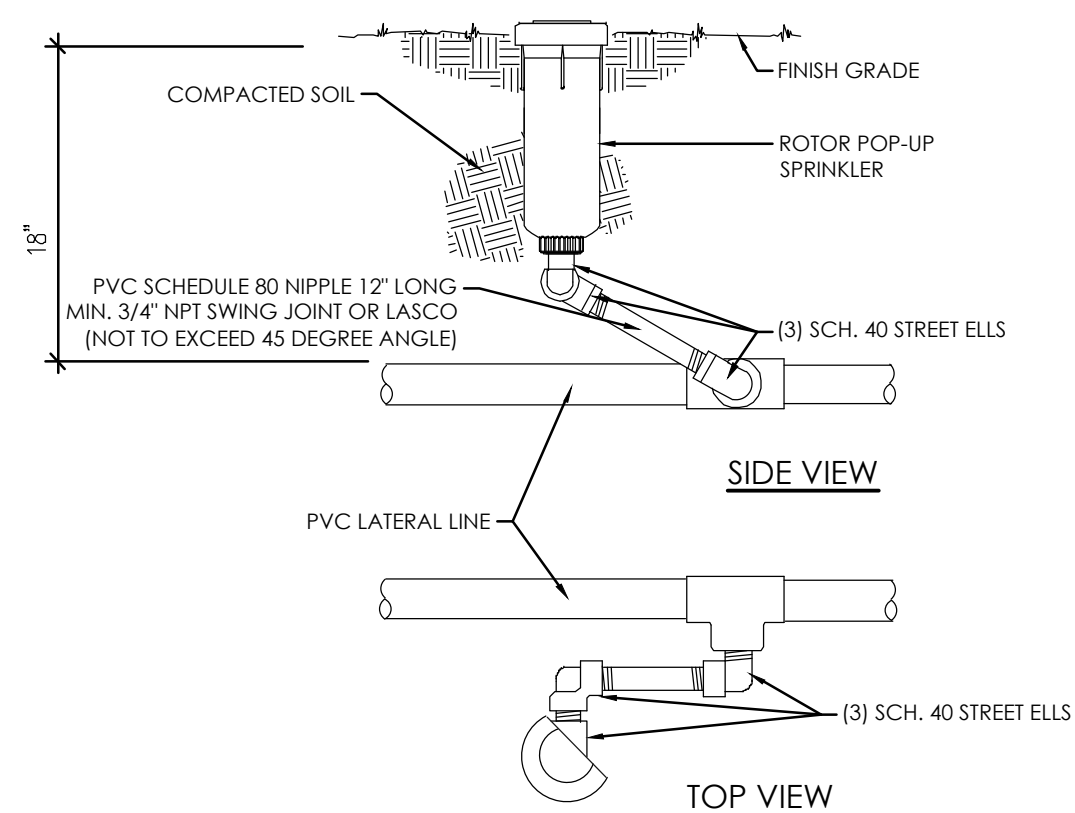
H SPRAY HEAD NEXT TO CURB OR WALK
NOT TO SCALE



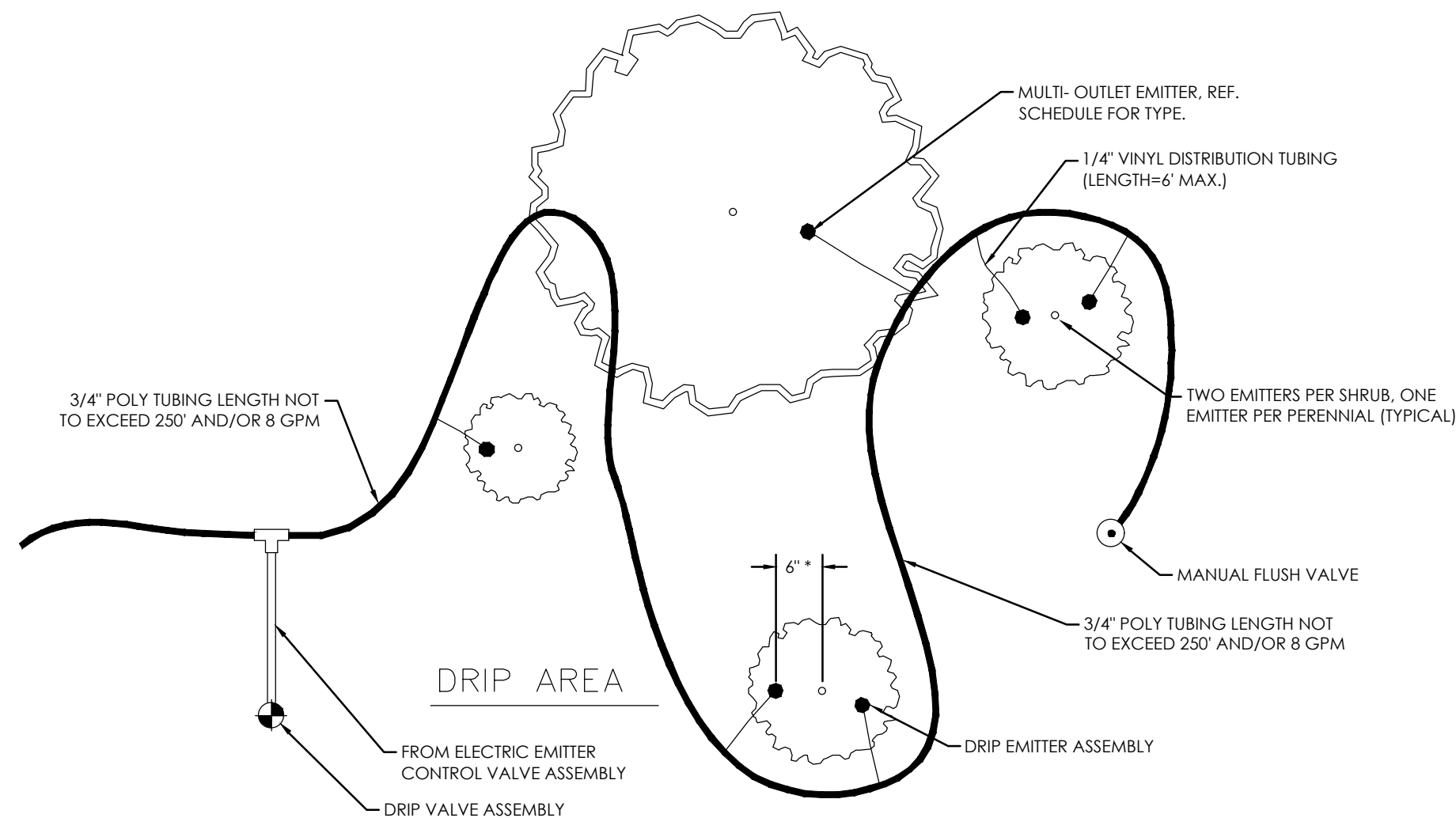
I SPRAY HEAD ASSEMBLY
NOT TO SCALE



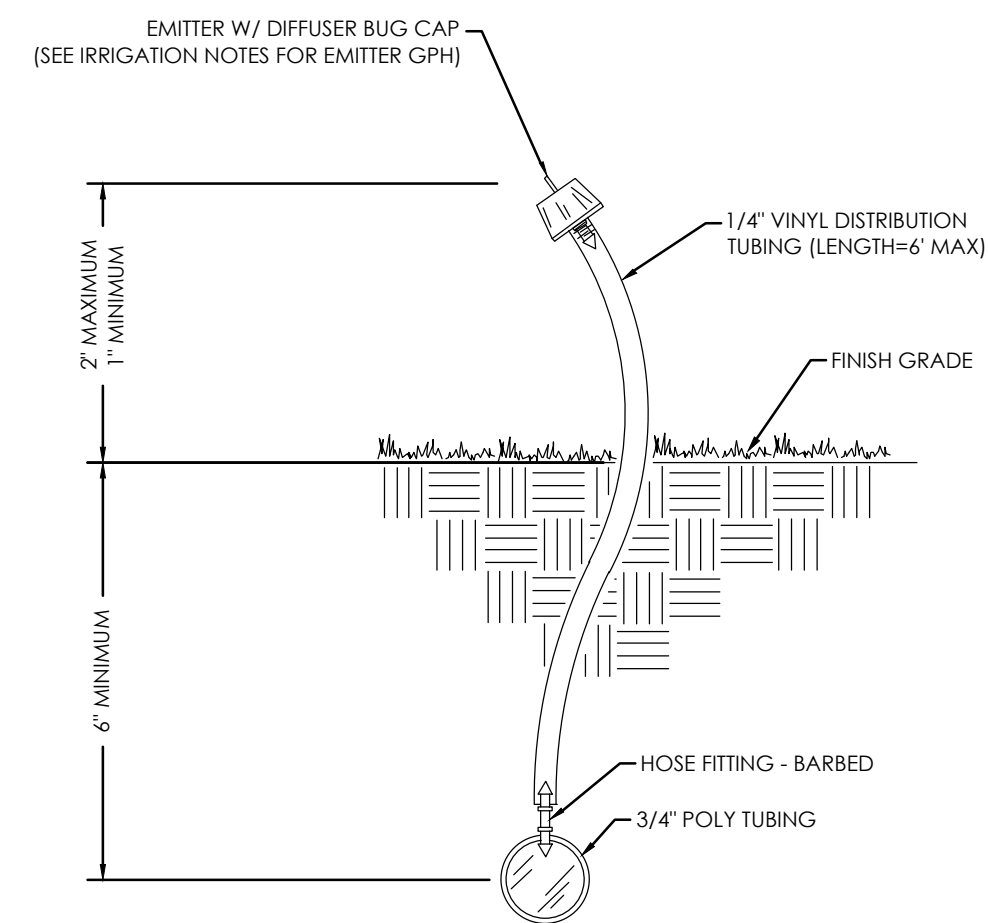
J CONTROL ZONE KIT
NOT TO SCALE



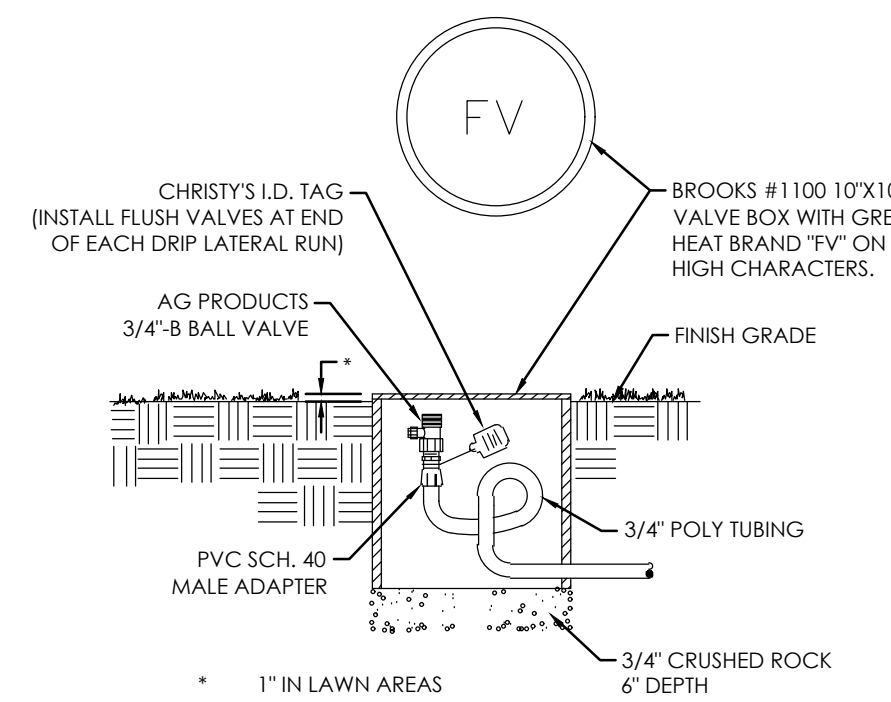
K ROTOR POP-UP HEAD
NOT TO SCALE



L TYPICAL DRIp EMITTER LAYOUT
NOT TO SCALE



M DRIp EMITTER ON VINYL TUBING RISER
NOT TO SCALE

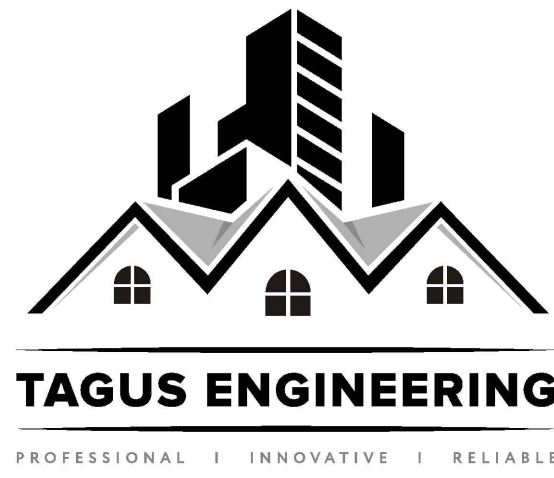


N MANUAL FLUSH VALVE
NOT TO SCALE

REVISION BLOCK		DESCRIPTION
#	DATE	
1	06/10/2025	
2		
3		
4		
5		
6		

IRRIGATION
DETAILS

Scale:	Drawn:
Date: 06/10/2025	Job #: 24-0028
Sheet:	



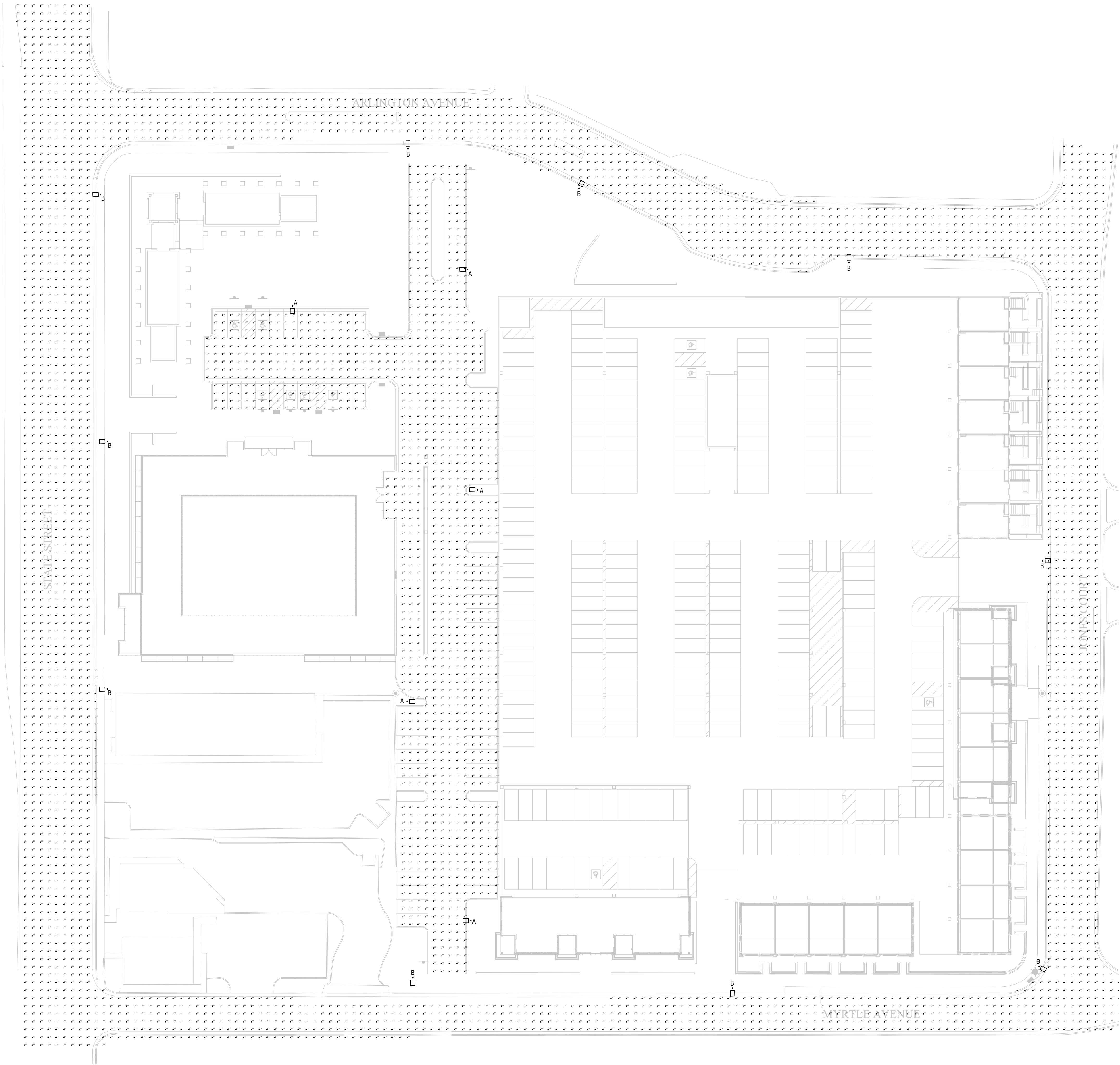
MURRAY SITE
PHOTOMETRIC

DRAWN BY: SM		
CHECKED BY: PCH		
PROJECT NO.: 25002.01		
NO.	DATE	DESCRIPTION

SITE PHOTOMETRIC PLAN

DRAWING NO.




E1.1




A SITE PHOTOMETRIC PLAN
E1.1 SCALE: 1/32" = 1'-0"



MURRAY SITE
PHOTOMETRIC

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING	+	2.6 fc	6.7 fc	0.2 fc	33.5:1	13.0:1
ROADWAY	+	1.6 fc	2.3 fc	0.0 fc	N/A	N/A

Schedule										
Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
	A		5	Lithonia Lighting	DSX2 LED P3 40K 80CRI T2M	D-Series Size 2 Area Luminaire P3 Performance Package 4000K CCT 80 CRI Type 2 Medium	1	26687	1	219.4
	B		10	N/A	MURRAY CITY ROADWAY LIGHTING STANDARD COBRA HEAD		1	N/A	1	N/A



D-Series Size 2 LED Area Luminaire

Specifications

EPA: 1.06 ft² (0.10 m²)

Length: 40.59" (103.1 cm)

Width: 16.76" (42.6 cm)

Height H1: 8.11" (20.5 cm)

Height H2: 3.96" (10.1 cm)

Weight: 46 lbs (20.7 kg)

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of up to 80% vs. 100W HID and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX2 LED P7 40K 70CRI T3M MVOLT SPA NLTAR2 PIRHN DDBXD

Series	LEDs	Color temperature*	Color Rendering Index†	Distribution	Voltage	Mounting
DSX2 LED	Forward optics (this section 70CRI only)					
	P1 P5	30K 3000K	70CRI	AFR Automotive front row	TSM Type I medium	MVOLT (120V-277V) 16
	P2 P6	40K 4000K	70CRI	TTS Type I short	TSLG Type IV low glare	PHOET (147V-480V) 16
	P3 P7	50K 5000K	70CRI	T2M Type II medium	TSM Type IV wide	RVOLT (277V-480V) 16
	P4 P8	(this section 80CRI only, extended lead times apply)		T3M Type III medium	BLCS Type II backlight control	SPAS Square pole mounting #5 drilling 120" 16
	P10† P13†	27K 2700K	80CRI	TSLG Type III low glare†	BLCA Type IV backlight control	RPAS Round pole mounting #5 drilling 240" 16
	P11† P14†	30K 3000K	80CRI	TSM Type III medium	LECO Left corner cutoff†	SPARN Square narrow pole mounting #4 drilling 277" 16
	P12†	35K 3500K	80CRI	TALG Type IV low glare†	RECO Right corner cutoff†	WBA Wall bracket 16
		40K 4000K	80CRI	TFTM Forward throw medium		MA Mast arm adapter (mounts on 2.38" OD horizontal beam)
		50K 5000K	80CRI			
	Control options					
	Shipped installed		Other options		Shipped separately	
NLTAR2 PIRHN Night All-geo 2 enabled with 0-10V dimming / ambient sensor, 8-40' mounting height, ambient sensor enabled at 20' 16-16		PER7 Seven-pin receptacle only (external wiring required) 16		SPD20KV 20KV surge protection 16		
PIR High/low, motion/ambient sensor, 8-40' mounting height, ambient sensor enabled at 20' 16-16		FAD Field adjustable output 16		HS Horizontal shield (black finish) (a/c rated) 16		
PER Remote two-pin receptacle only (controls ordered separately) 16		BL30 0-10V switched dimming, 30% 16-16		L90 Left rotated optics† 16		
PERS Five-pin receptacle only (controls ordered separately) 16		BL50 0-10V switched dimming, 50% 16-16		R90 Right rotated optics† 16		
		DIAG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) 16		KCE Coastal Construction 16		
		DS Dual switching 16-16		HA 500' ambient sensor 16		
				BAA Bay America's Act and/or Build America Bay America Qualified 16		
				SF Single fuse (120, 277, 347V) 16		
				DF Double fuse (120, 240, 480V) 16		
				3G Vibration rated for 3G 16		

Shipped included

SPA Square pole mounting (X5 drilling)

RPA Round pole mounting (X5 drilling)

SPAS Square pole mounting #5 drilling

RPAS Round pole mounting #5 drilling

SPARN Square narrow pole mounting #4 drilling

WBA Wall bracket 16

MA Mast arm adapter (mounts on 2.38" OD horizontal beam)

Shipped installed

SPD20KV 20KV surge protection

HS Horizontal shield (black finish) (a/c rated)

L90 Left rotated optics†

R90 Right rotated optics†

KCE Coastal Construction 16

HA 500' ambient sensor 16

BAA Bay America's Act and/or Build America Bay America Qualified

SF Single fuse (120, 277, 347V) 16

DF Double fuse (120, 240, 480V) 16

3G Vibration rated for 3G 16

Shipped separately

EGSR External Gase Shield (removable, field install required, matches housing finish)

BGB88 Best Gases (field install required)

DOBKD Dark Bronze

DBLKD Black

DBAKD Natural Aluminum

DBWBD White

DOBTD Textured dark bronze

DBLTD Textured black

DBATD Textured natural aluminum

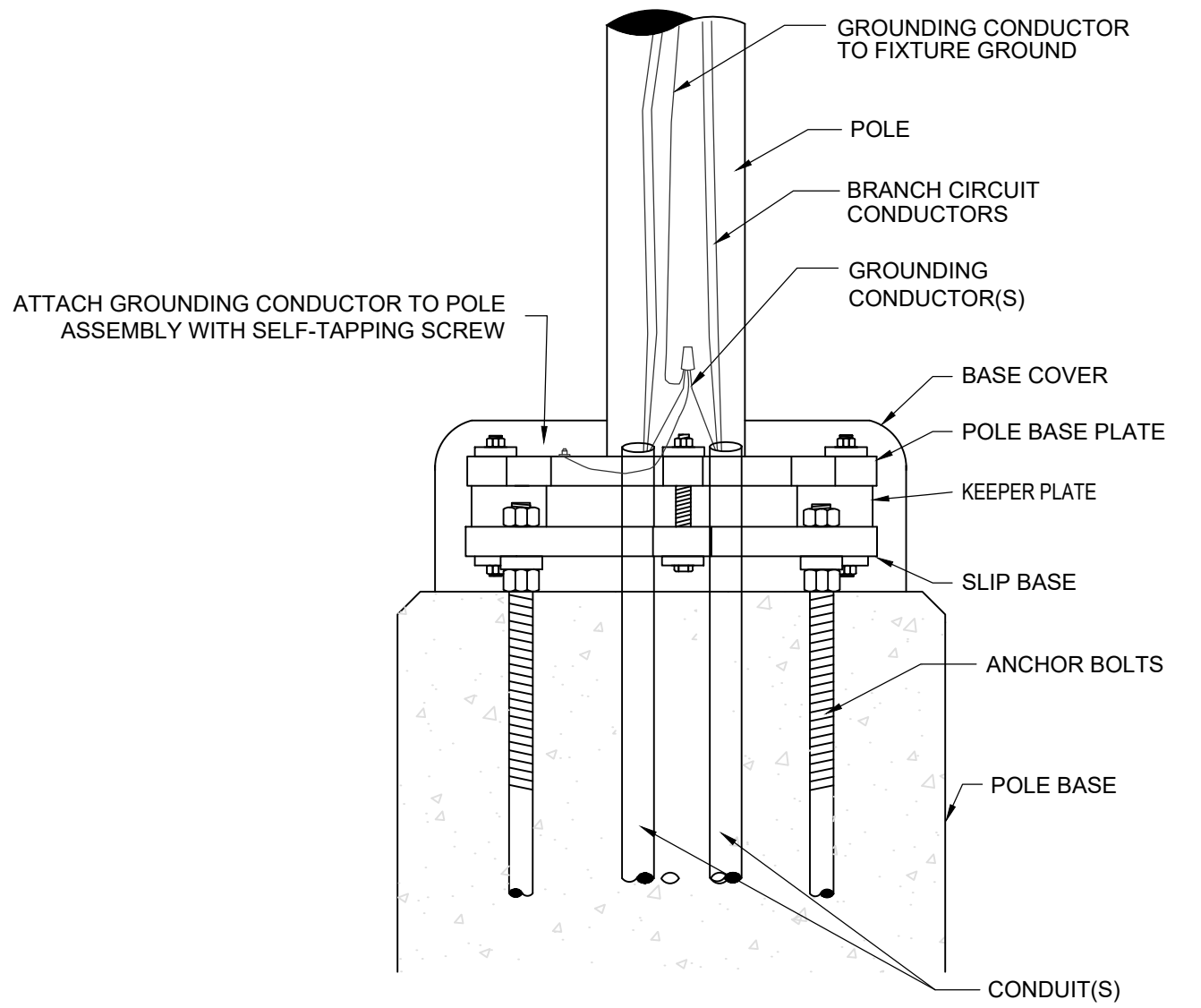
DBWTD Textured white

Finish/notes

Design Select options indicated by this color background.

Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.acuitybrands.com/designselect.

***See ordering tree for details**



A

E1.2
SAFETY BASE - BREAK AWAY POLE DETAIL

DRAWN BY: SM		
CHECKED BY: PCH		
PROJECT NO.: 25002.01		
NO.	DATE	DESCRIPTION

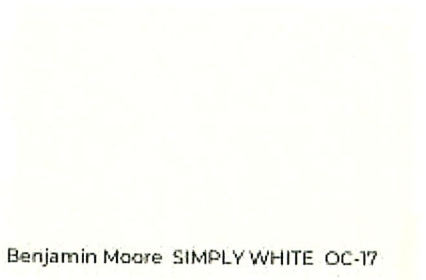
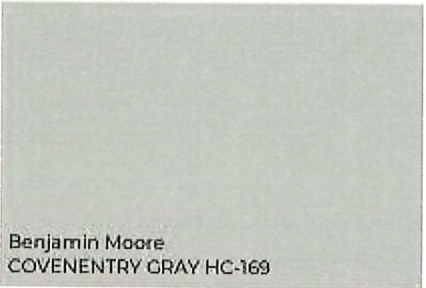
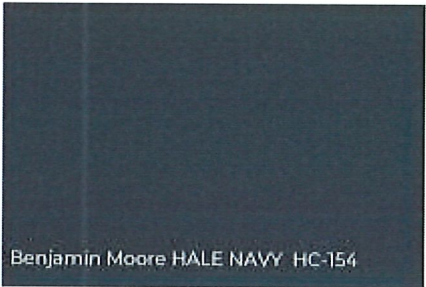
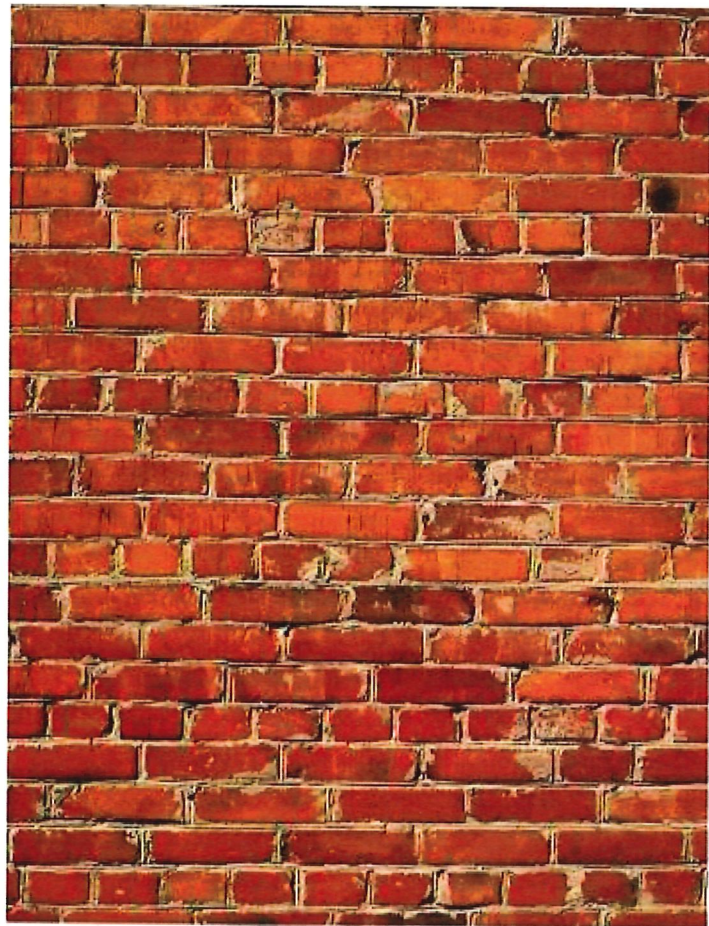
SITE PHOTOMETRIC DATA

DRAWING NO.

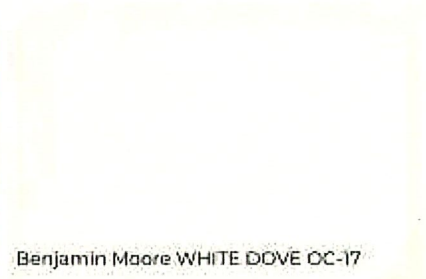
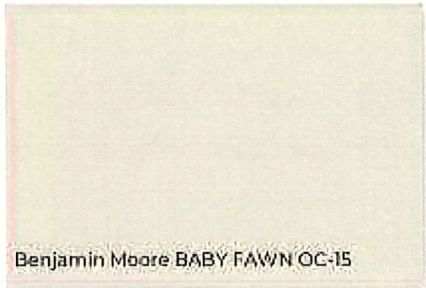
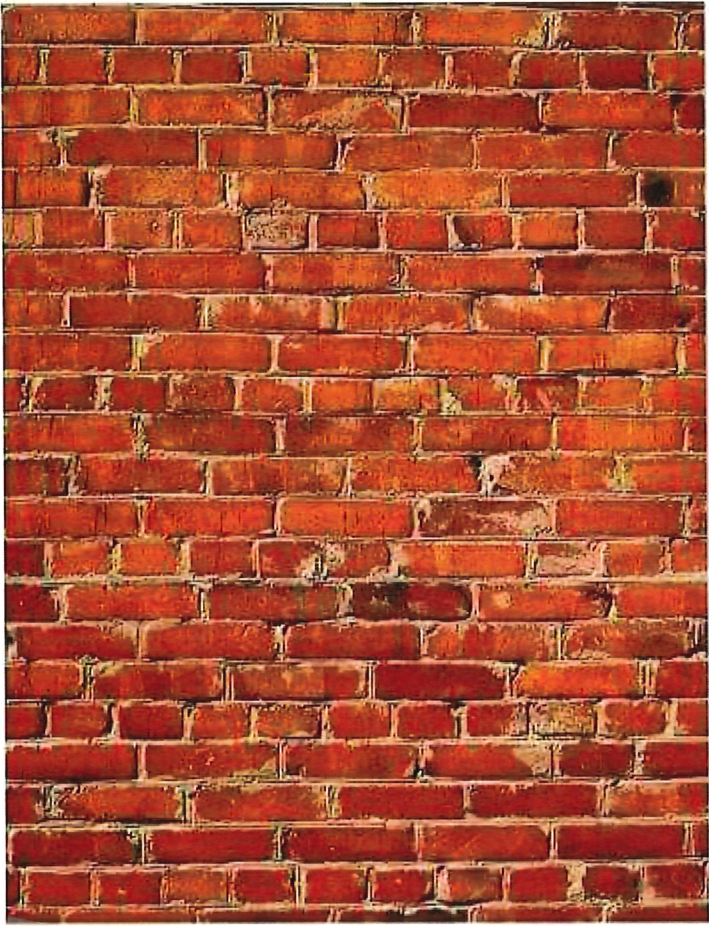
E1.2

EXHIBIT "B"

HALE NAVY HC-154
COVENTRY GRAY HC-169
SIMPLY WHITE OC-17



BLACK 2132-10
BABY FAWN OC-15
WHITE DOVE OC-17



METAL

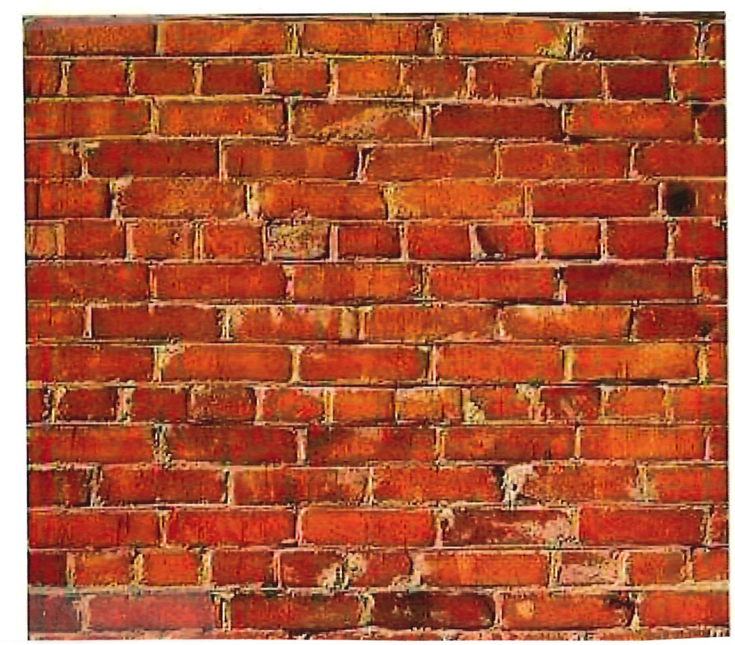
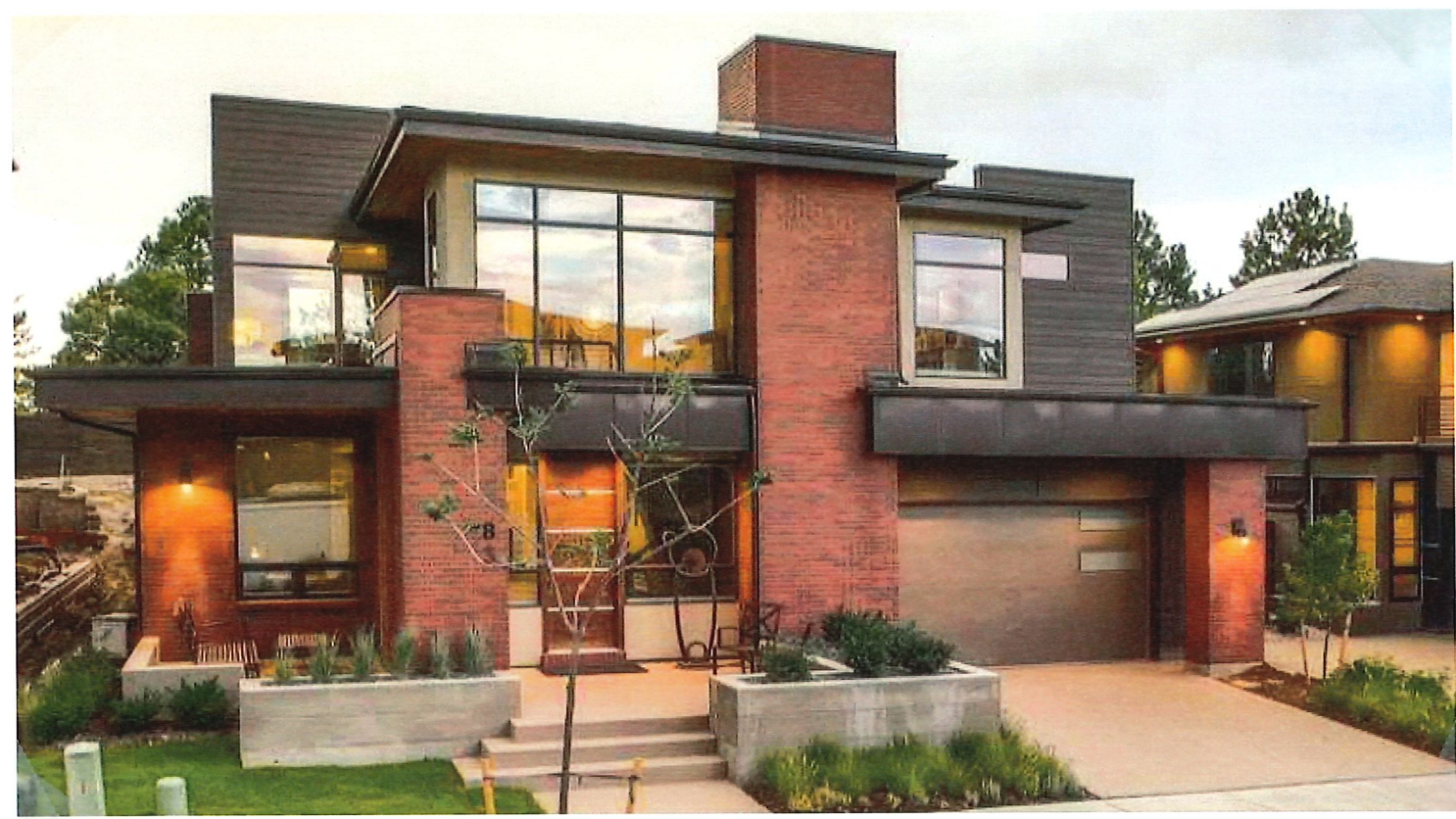
SIDING
AND STUCCO

TRIM

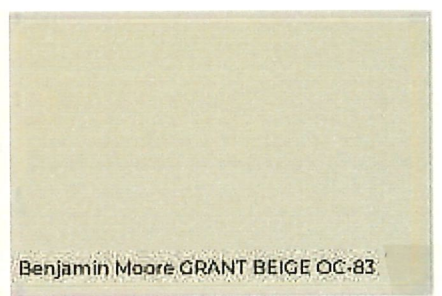
PROPOSED BUILDING COLORS

EXHIBIT "B"

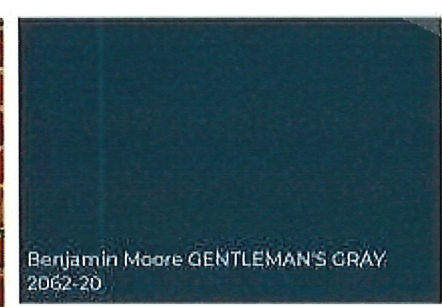
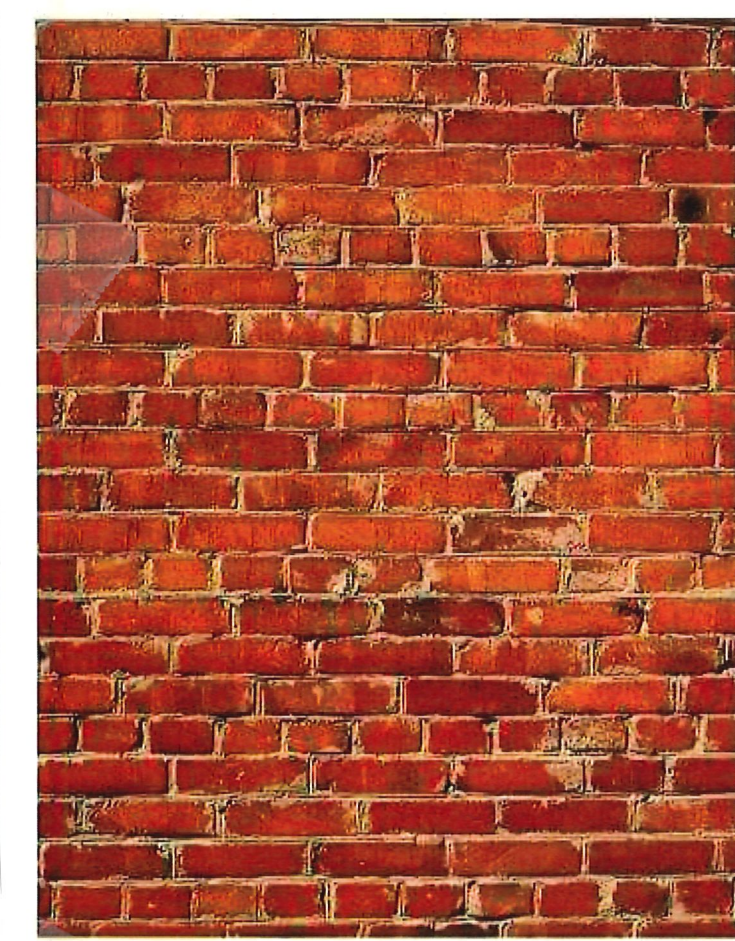
BRICK, METAL, SIDING, CONCRETE



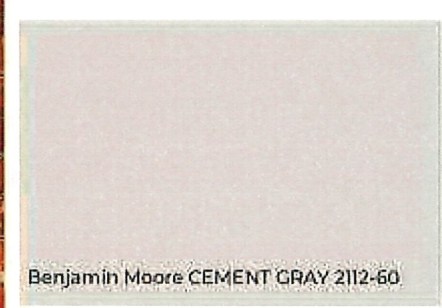
METAL



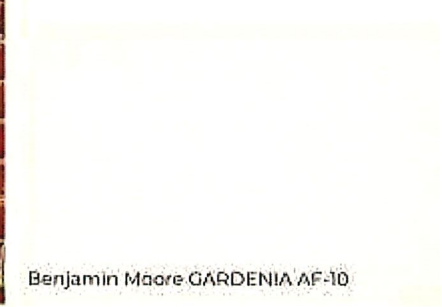
SIDING



METAL



SIDING AND STUCCO



TRIM

(No subject)

From James Alfred <jamesalfred@mac.com>
Date Tue 6/10/2025 2:29 PM
To Jim Alfred <jima@triumphcmg.com>

EXHIBIT "B"



← BRICK OR
STUCCO ON
BACK OF
TOWN HOMES.

EXHIBIT "B"

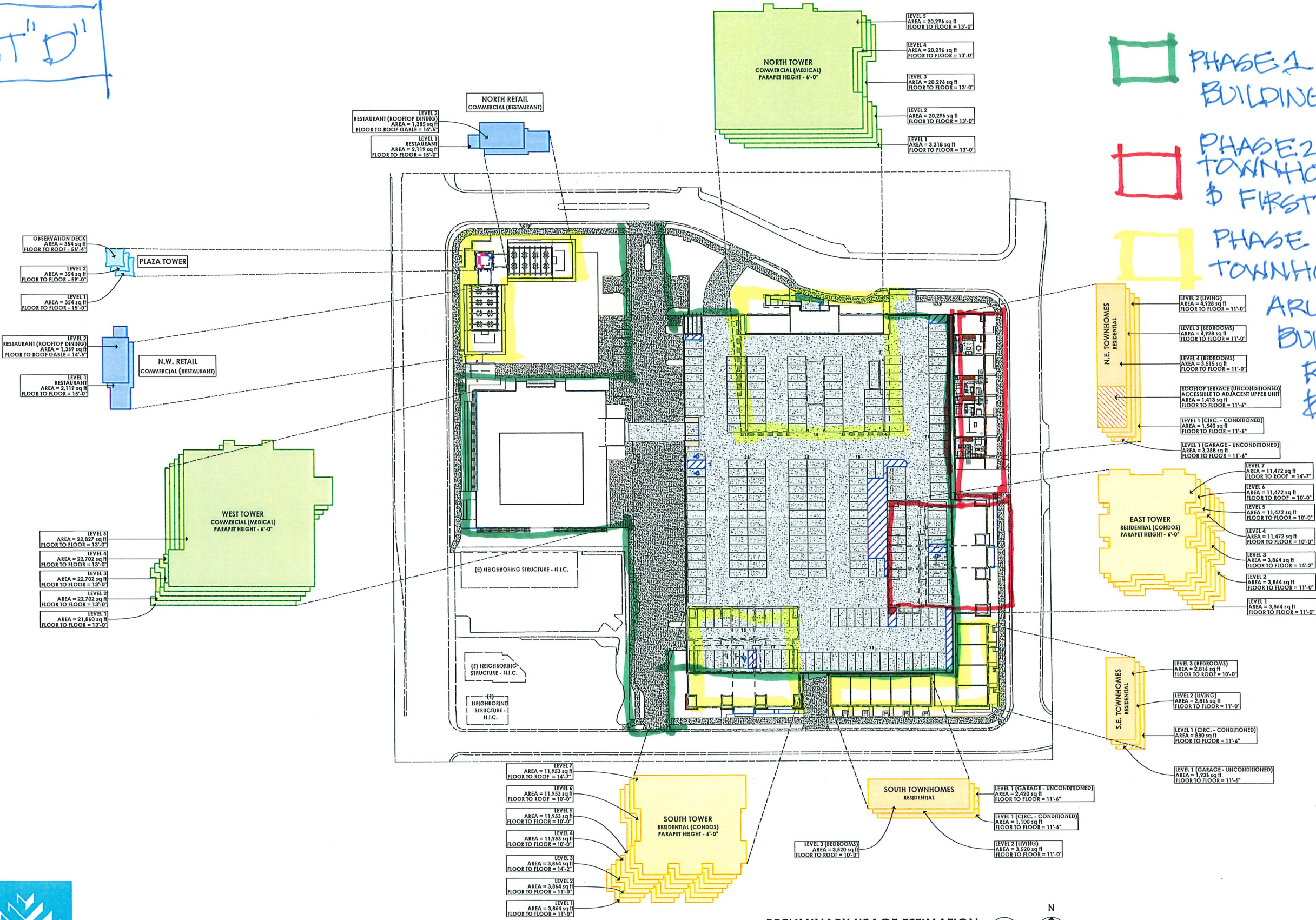


RESIDENTIAL
TOWERS
BRICK

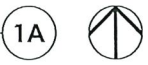
CONCRETE
COLORED TRIM

LIGHTER
COLORED
BRICK AT
BOTTOM LEVELS

EXHIBIT "D"

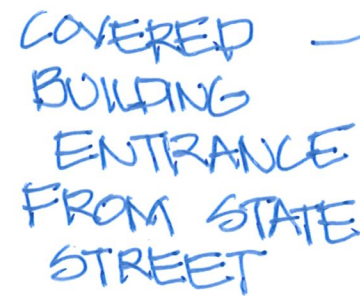


PRELIMINARY USAGE ESTIMATION
Scale: 1" = 50'



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RESTAURANT ←
ENTRANCE FROM
PLAZZA



1A





EXHIBIT "A"

MAIN
ENTRANCE
TO ARLINGTON
BUILDING

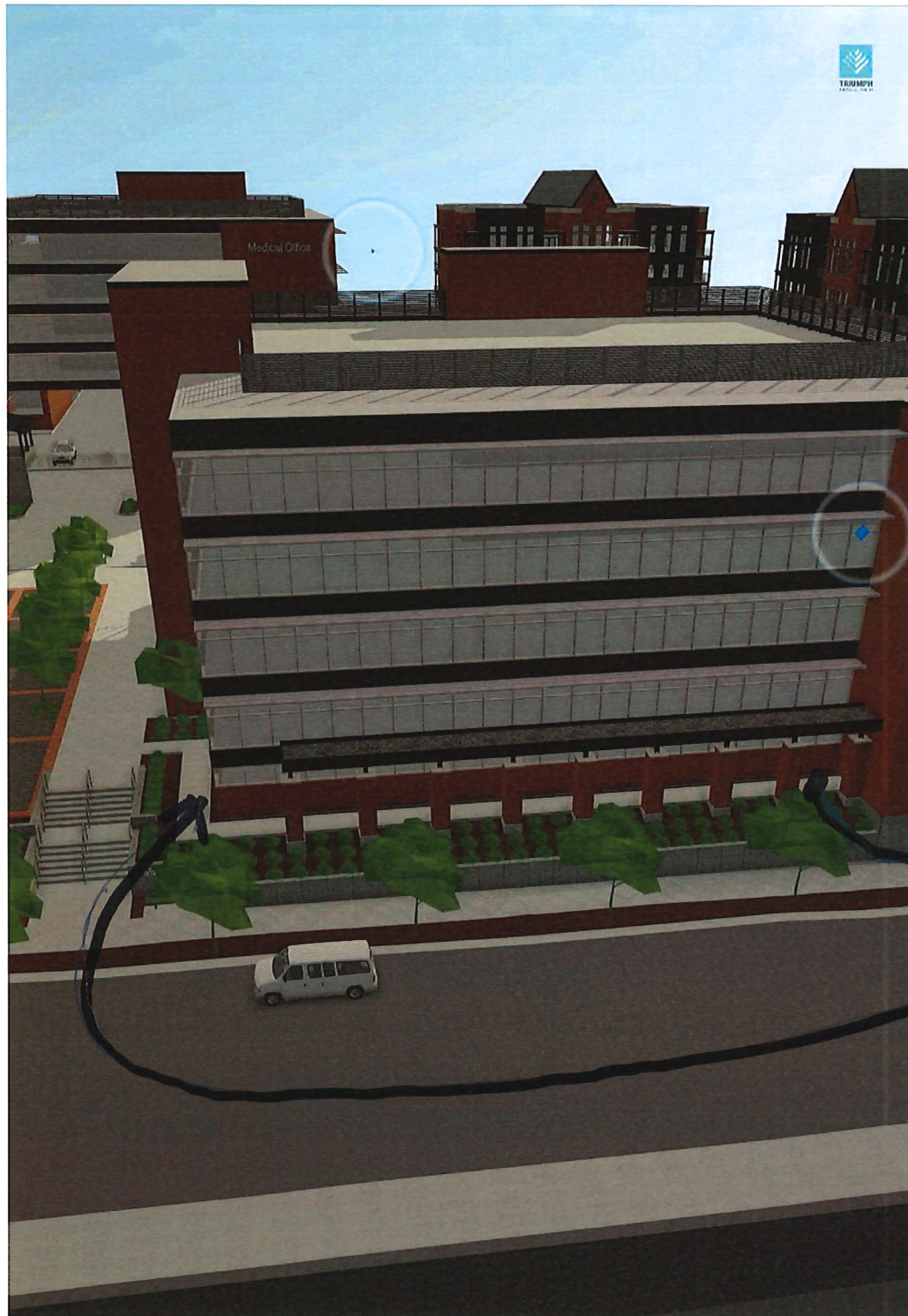


EXHIBIT "A"

SIDEWALK TO ENTRANCE
TO BUILDING

(No subject)

From James Allred <jamesallred@mac.com>

Date Tue 6/10/2025 3:02 PM

To Jim Allred <jima@triumphcmg.com>

EXHIBIT "C"



From Jim Allred

(No subject)

From James Allred <jamesallred@mac.com>
Date Tue 6/10/2025 2:28 PM
To Jim Allred <jima@trumphong.com>



EXHIBIT "C"



VISUAL AID - NORTH WEST PERSPECTIVE



VISUAL AID - NORTH PERSPECTIVE



VISUAL AID - WEST PERSPECTIVE



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VISUAL AID - SOUTH EAST CORNER



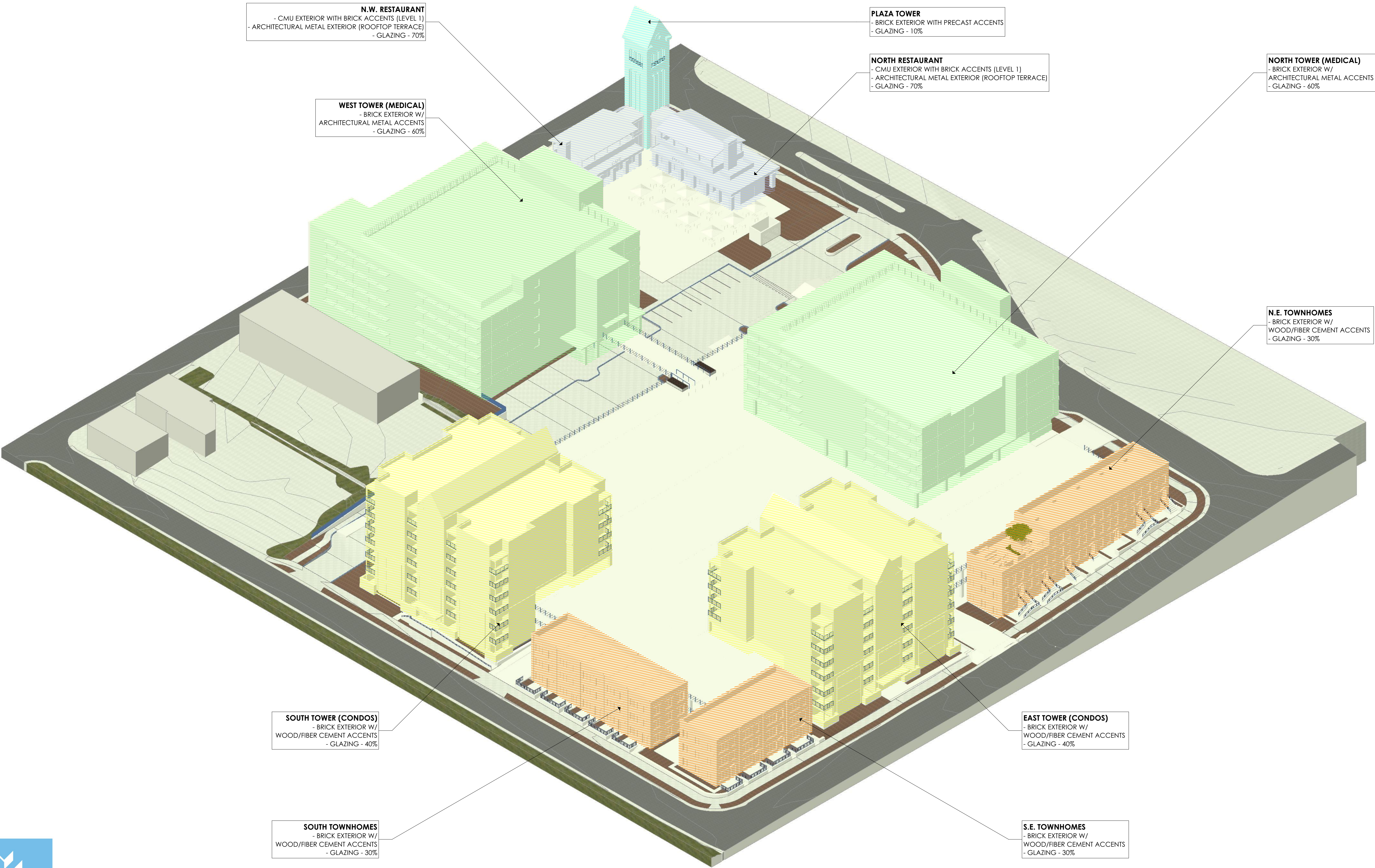
VISUAL AID - NORTH EAST CORNER



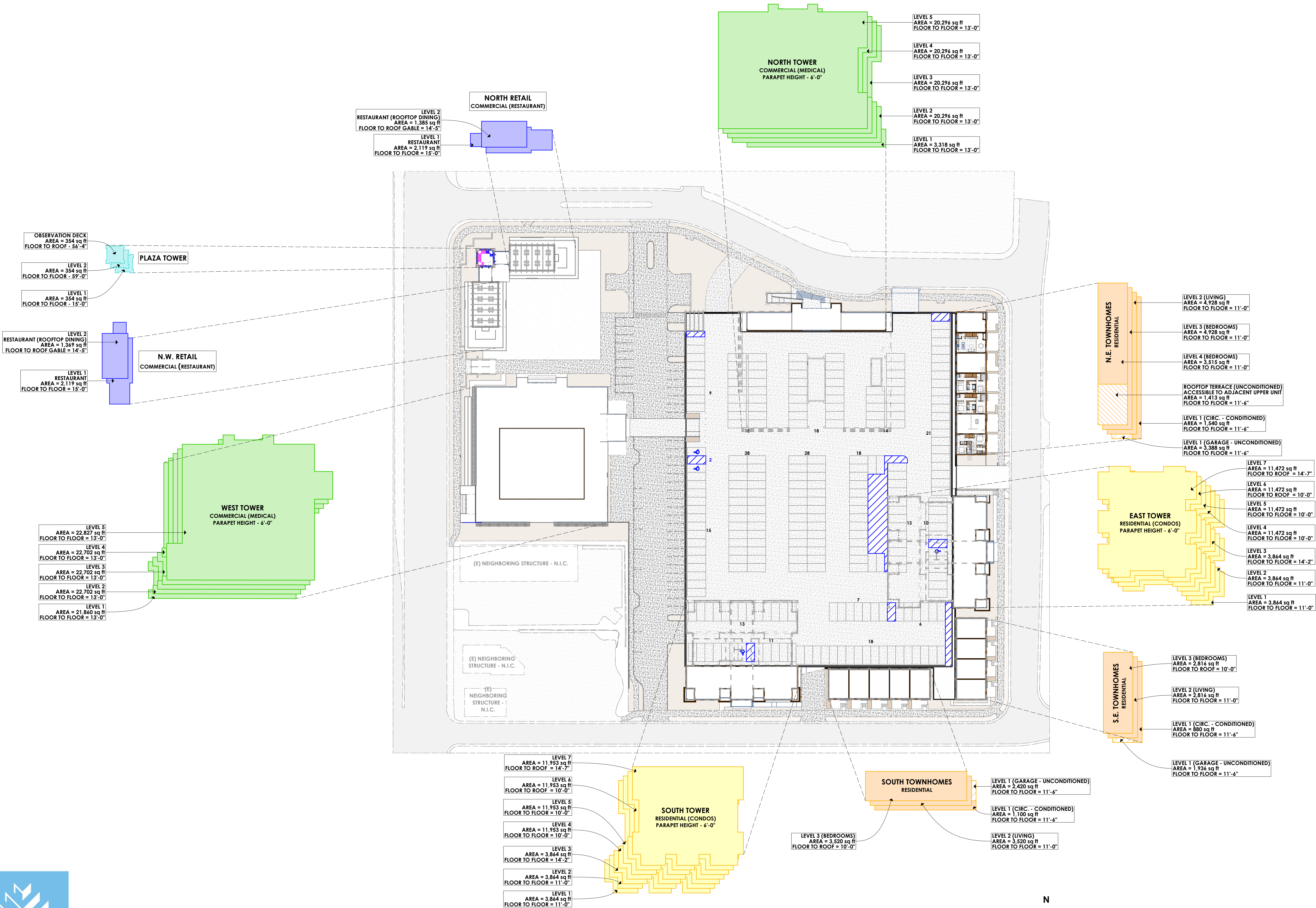
VISUAL AID - SOUTH PERSPECTIVE



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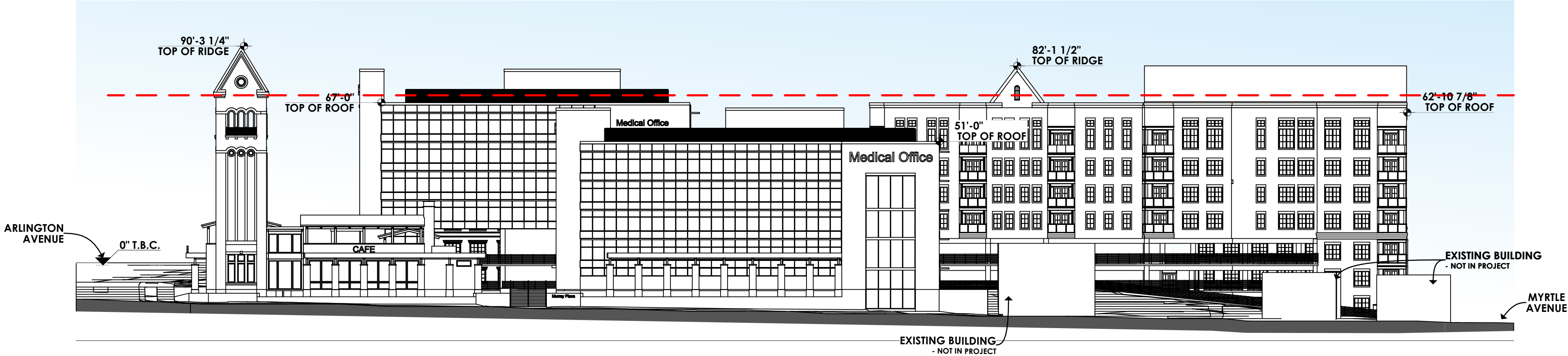
SALT LAKE CITY
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T: 801 269 1508 E: projects@arcflo.com



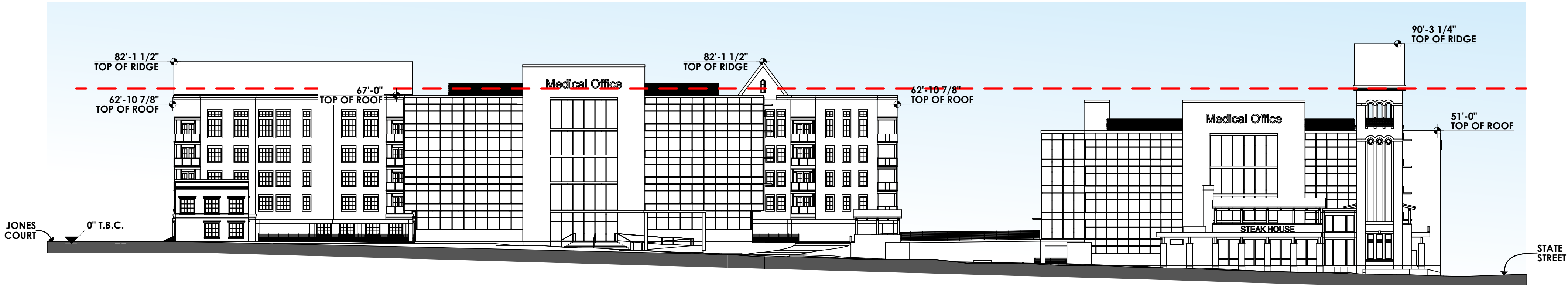
PRELIMINARY USAGE ESTIMATION 1A

Scale: 1" = 50'





WEST ELEVATION @ STATE STREET 3B
Scale: 1/32" = 1'-0"



NORTH ELEVATION @ ARLINGTON AVENUE 1A
Scale: 1/32" = 1'-0"

BUILDING HEIGHT
ELEVATION PLANS

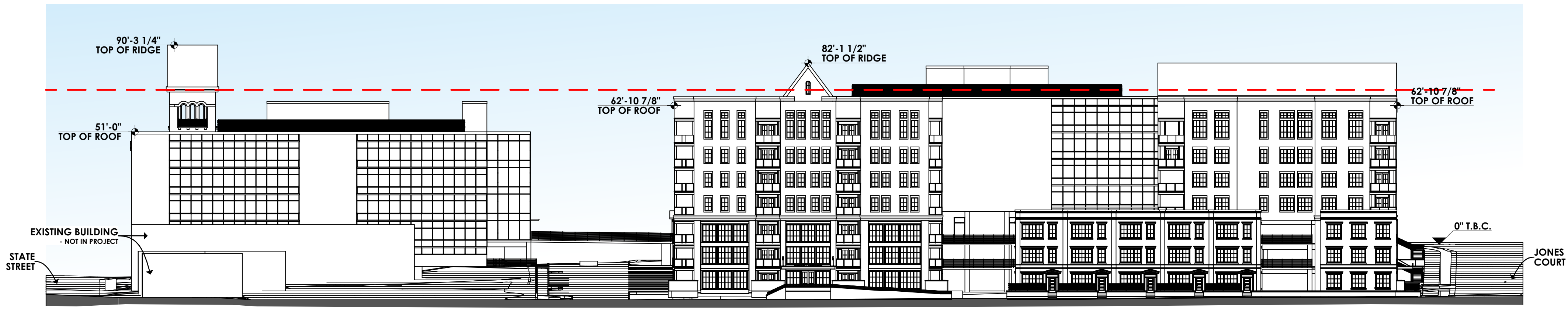


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EAST ELEVATION @ JONES COURT
Scale: 1/32" = 1'-0"

3B



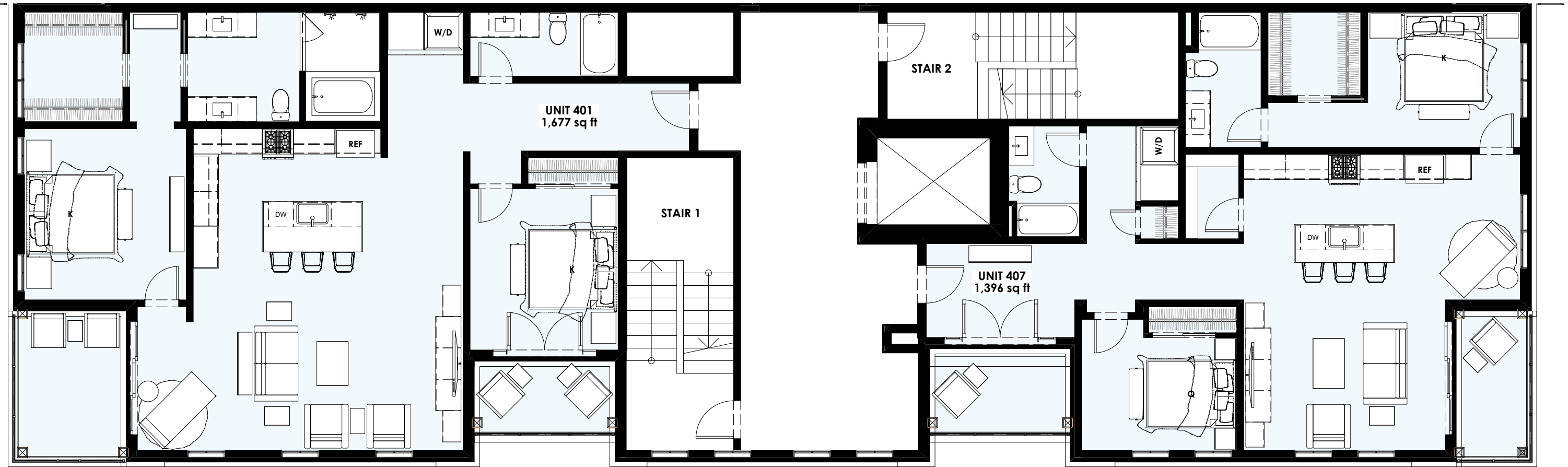
SOUTH ELEVATION @ MYRTLE AVENUE
Scale: 1/32" = 1'-0"

1A

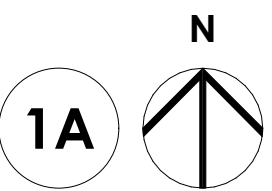
BUILDING HEIGHT
ELEVATION PLANS



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FLOOR PLATE - LEVEL 3
Scale: 1/8" = 1'-0"



CONDO TOWERS
FLOORS 1, 2, AND 3

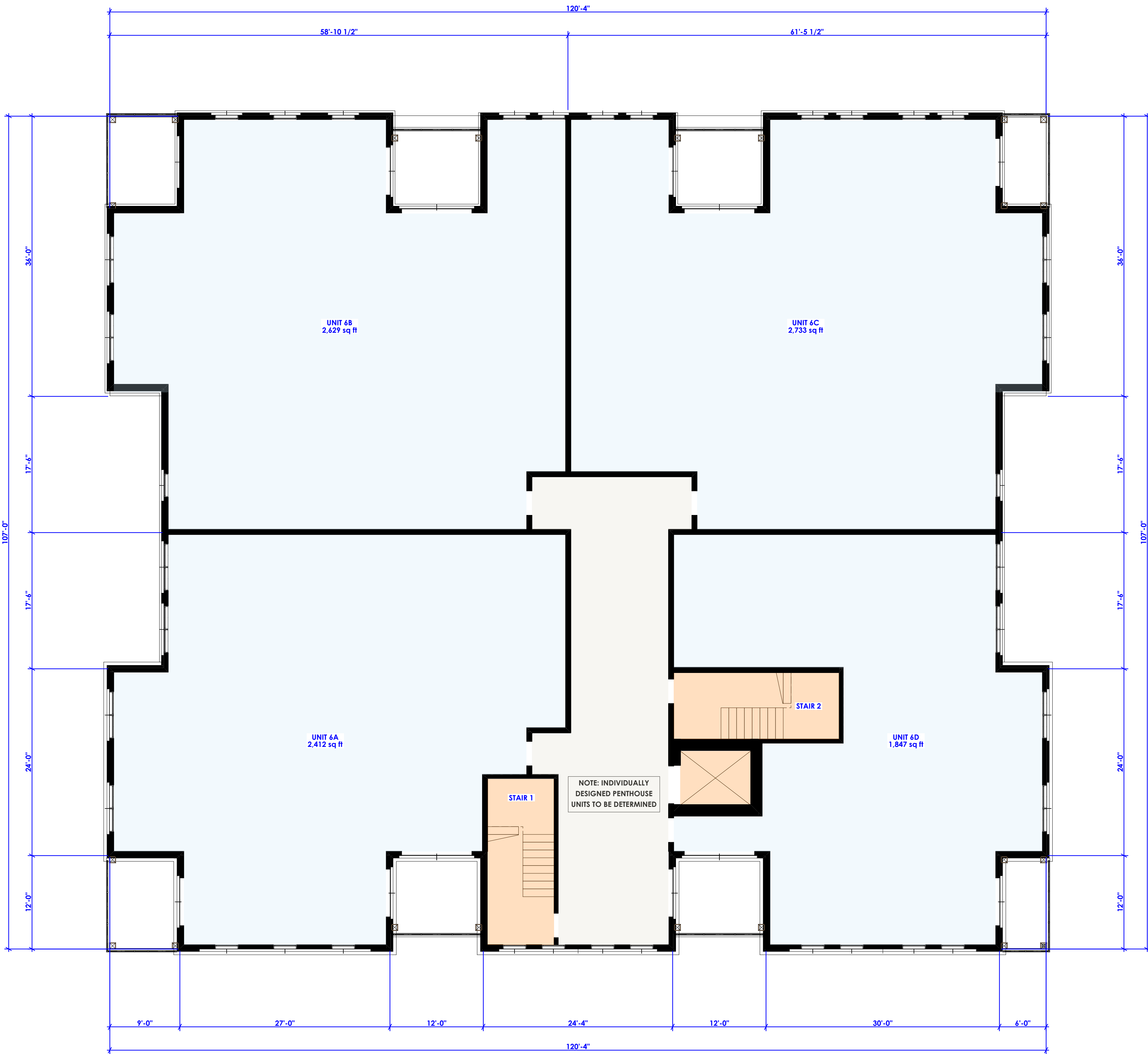


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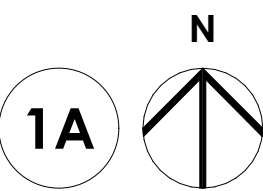


A diagram of a compass rose with North (N) at the top. A point labeled '1A' is marked on the left side, corresponding to the West direction.

A-3.2



FLOOR PLATE - LEVEL 7 (PENTHOUSE)
Scale: 1/8" = 1'-0"

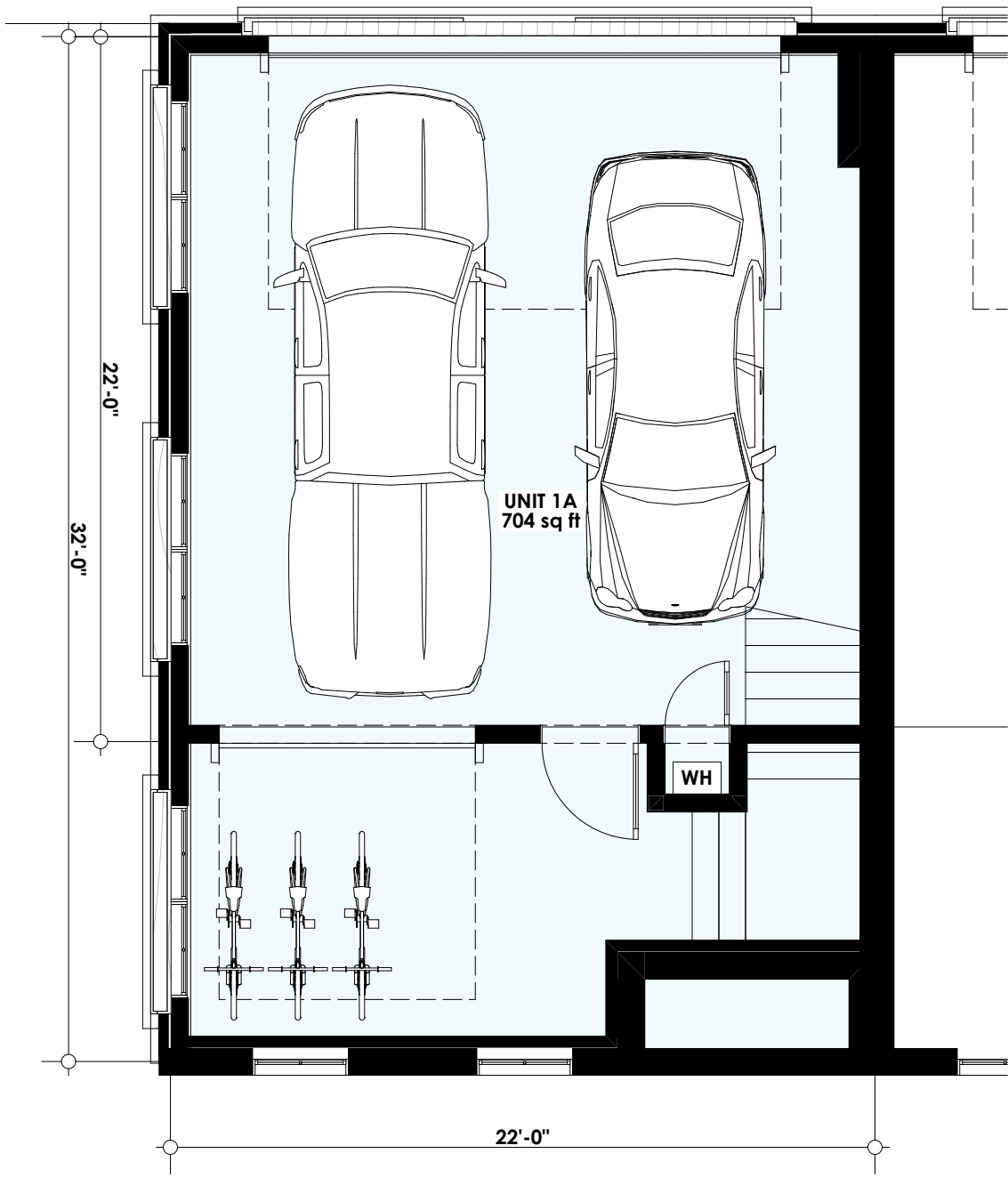


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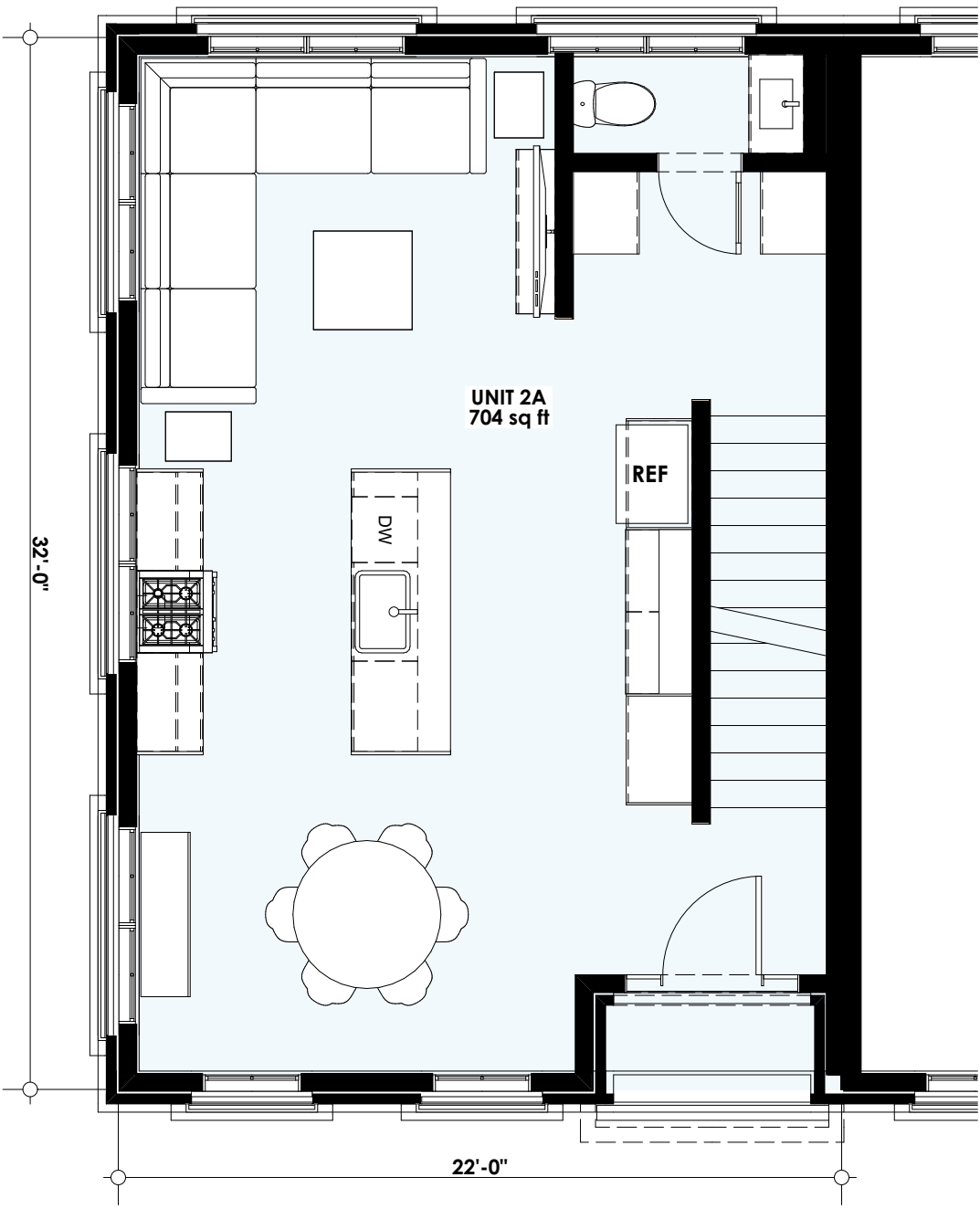
EAST ELEVATION: 7 UNIT TOWNHOME
Scale: 1/16" = 1'-0"

4A



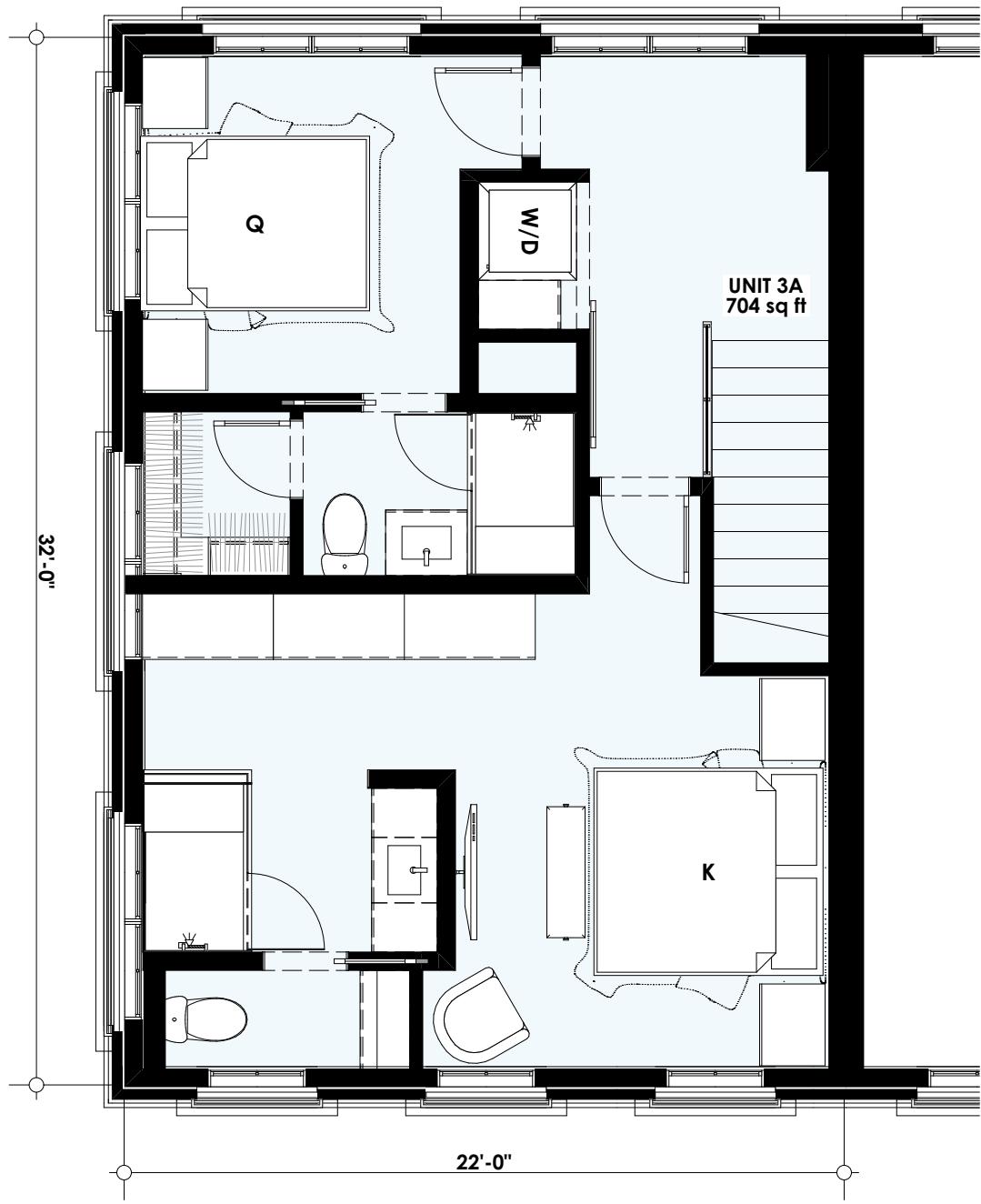
FLOOR PLATE - LEVEL 1
Scale: 3/16" = 1'-0"

1D



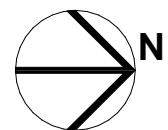
FLOOR PLATE - LEVEL 2
Scale: 3/16" = 1'-0"

1C



FLOOR PLATE - LEVEL 3
Scale: 3/16" = 1'-0"

1A



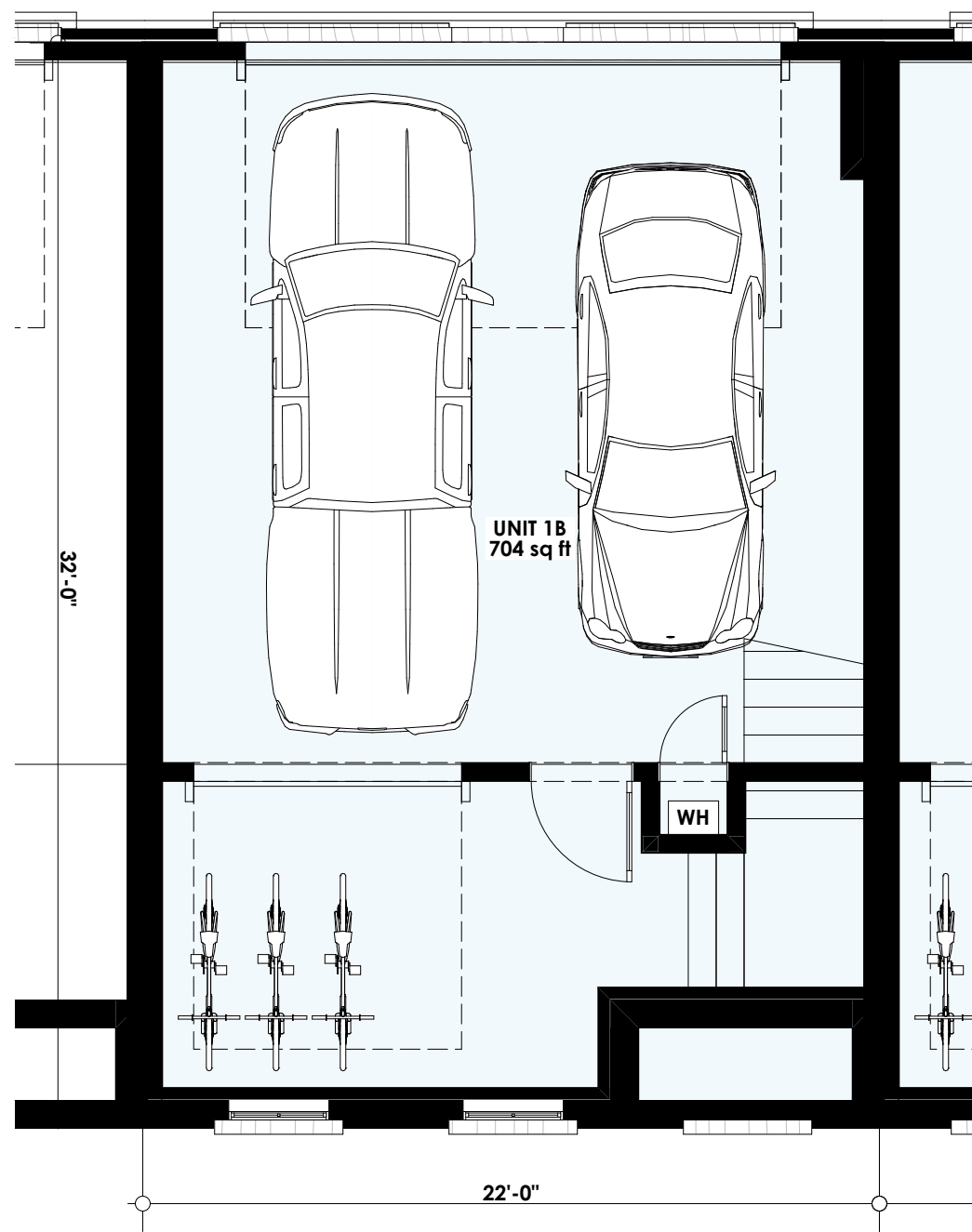
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84117, UTAH
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MU-XXXX-23_TRIUMPH_MURRAY_MU_v4_2025-04-09 5/13/2025 5:33 PM BIMbaud: arcflo BIMbaud: arcflo as a Service/ TRIUMPH CONSTRUCTION/ MU-XXXX-23_TRIUMPH_MURRAY_MU_v4_2025-04-09



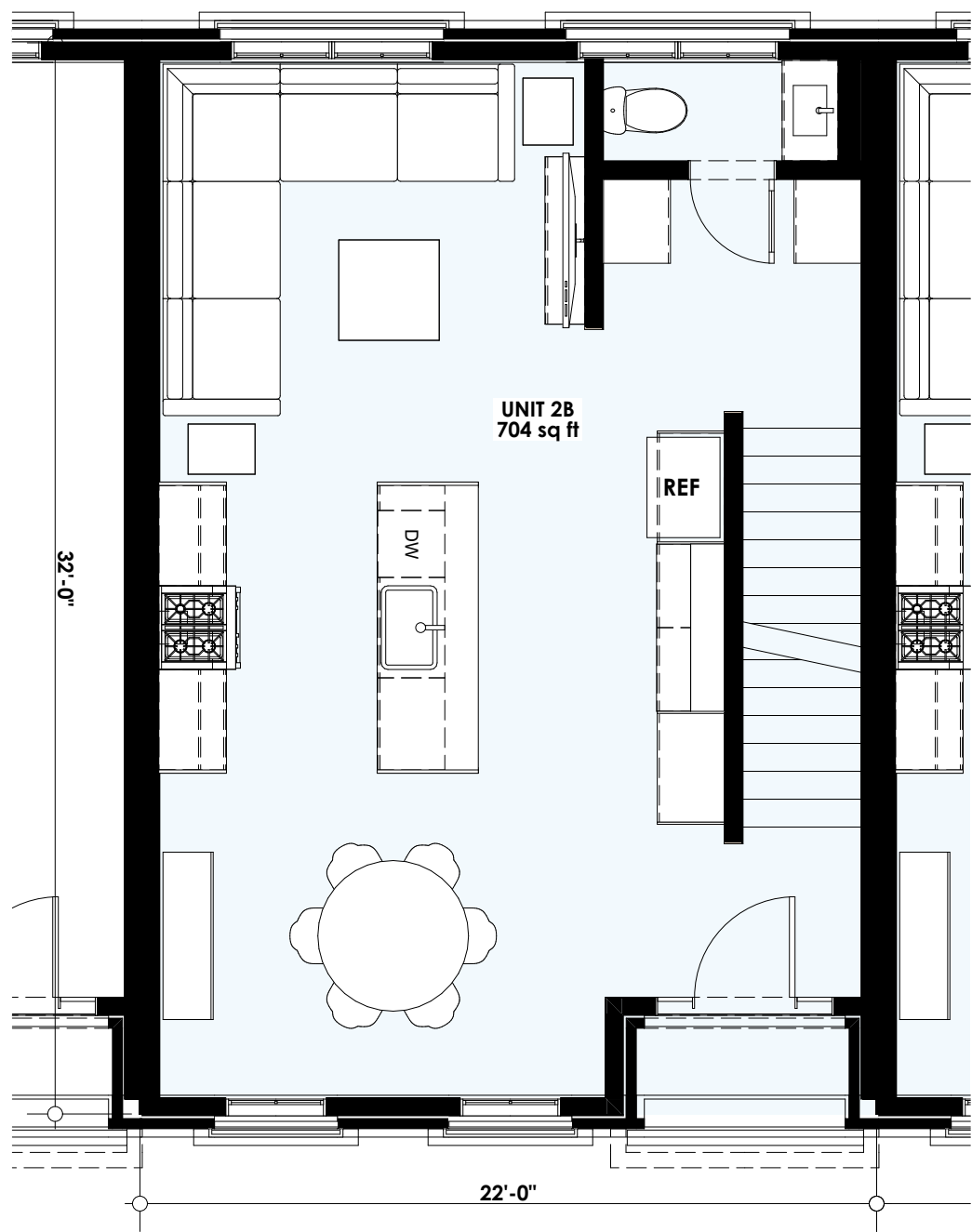
EAST ELEVATION: 7 UNIT TOWNHOME
Scale: 1/16" = 1'-0"

4A



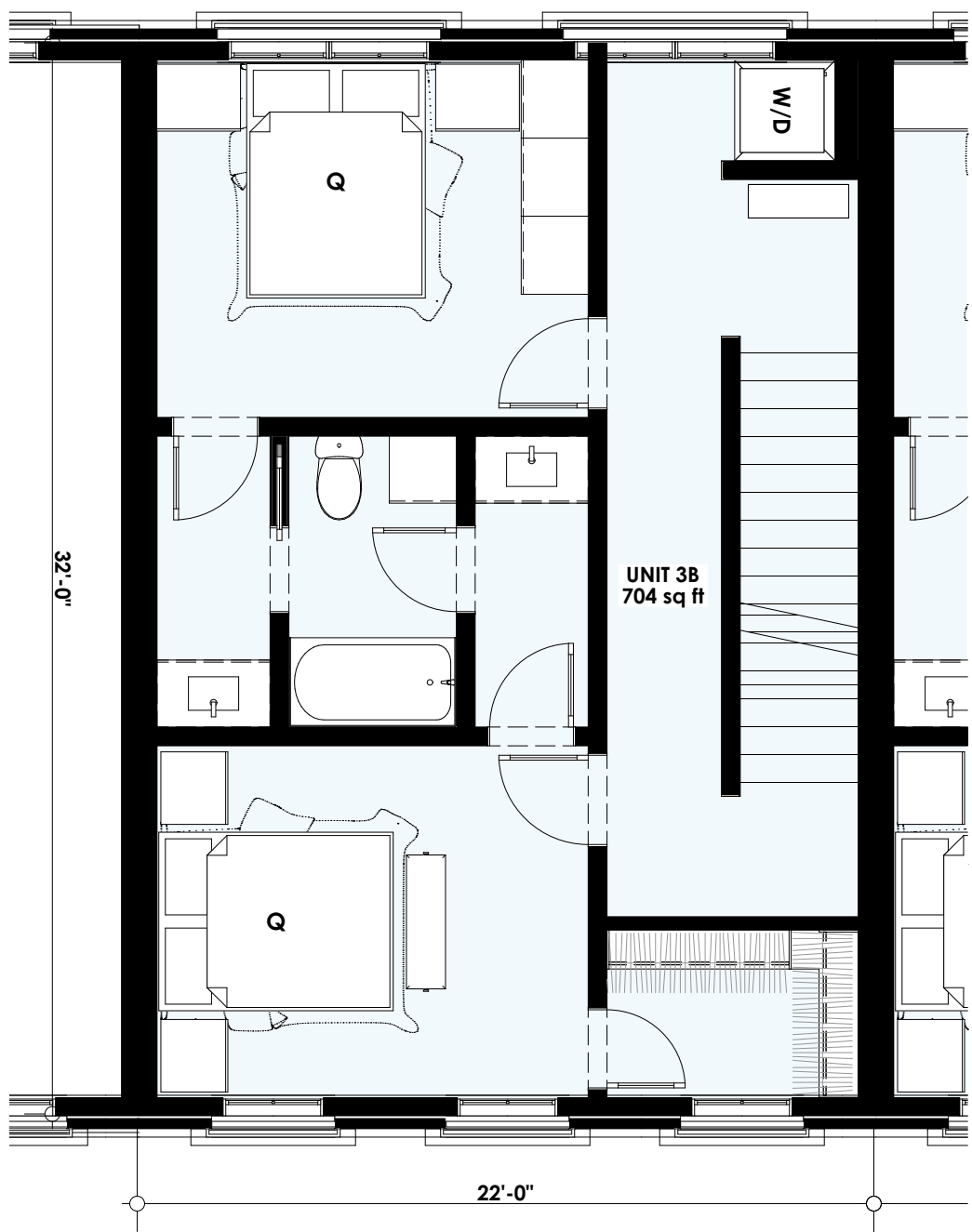
FLOOR PLATE - LEVEL 1
Scale: 3/16" = 1'-0"

1E



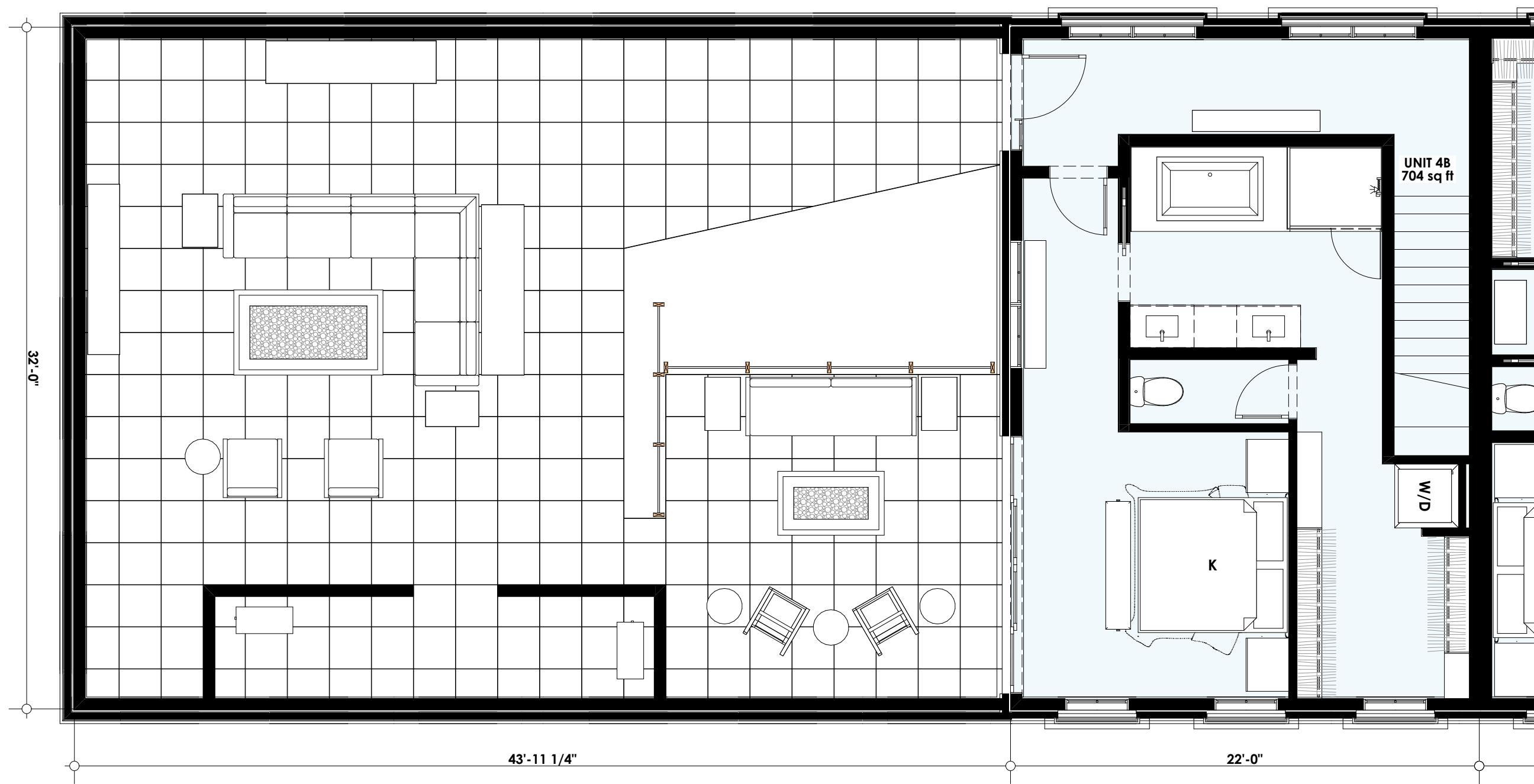
FLOOR PLATE - LEVEL 2
Scale: 3/16" = 1'-0"

1D



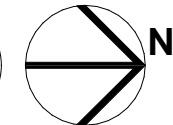
FLOOR PLATE - LEVEL 3
Scale: 3/16" = 1'-0"

1C

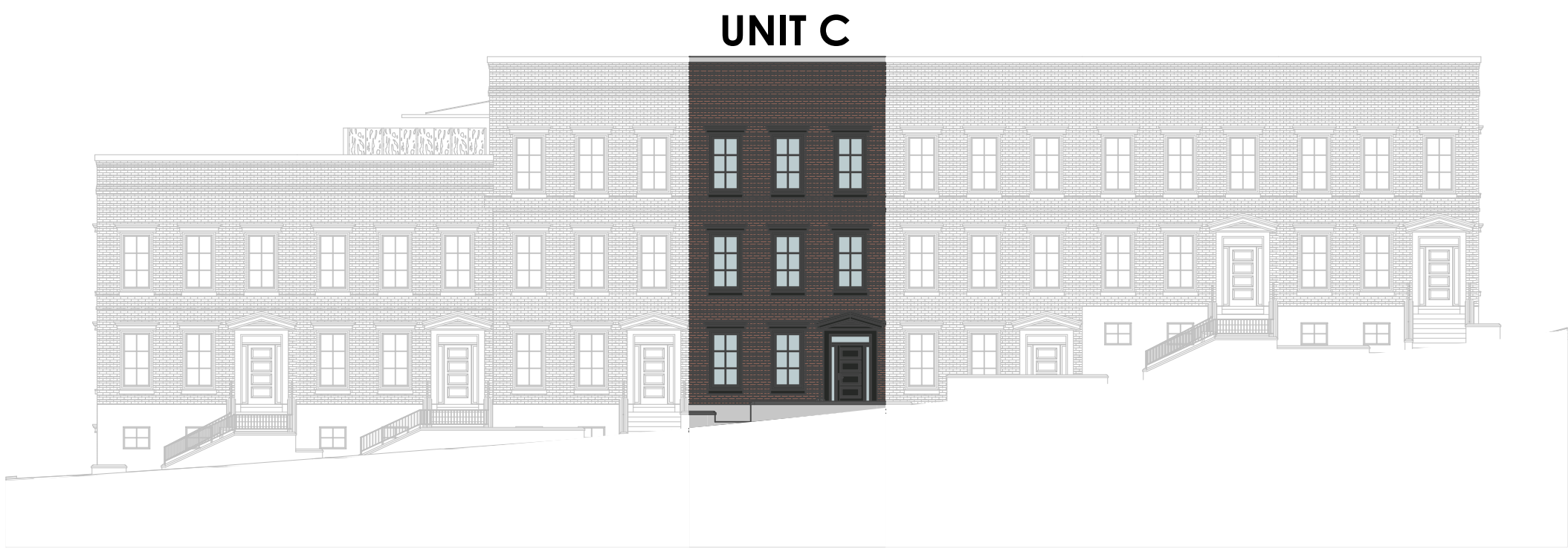


FLOOR PLATE - LEVEL 4
Scale: 3/16" = 1'-0"

1A

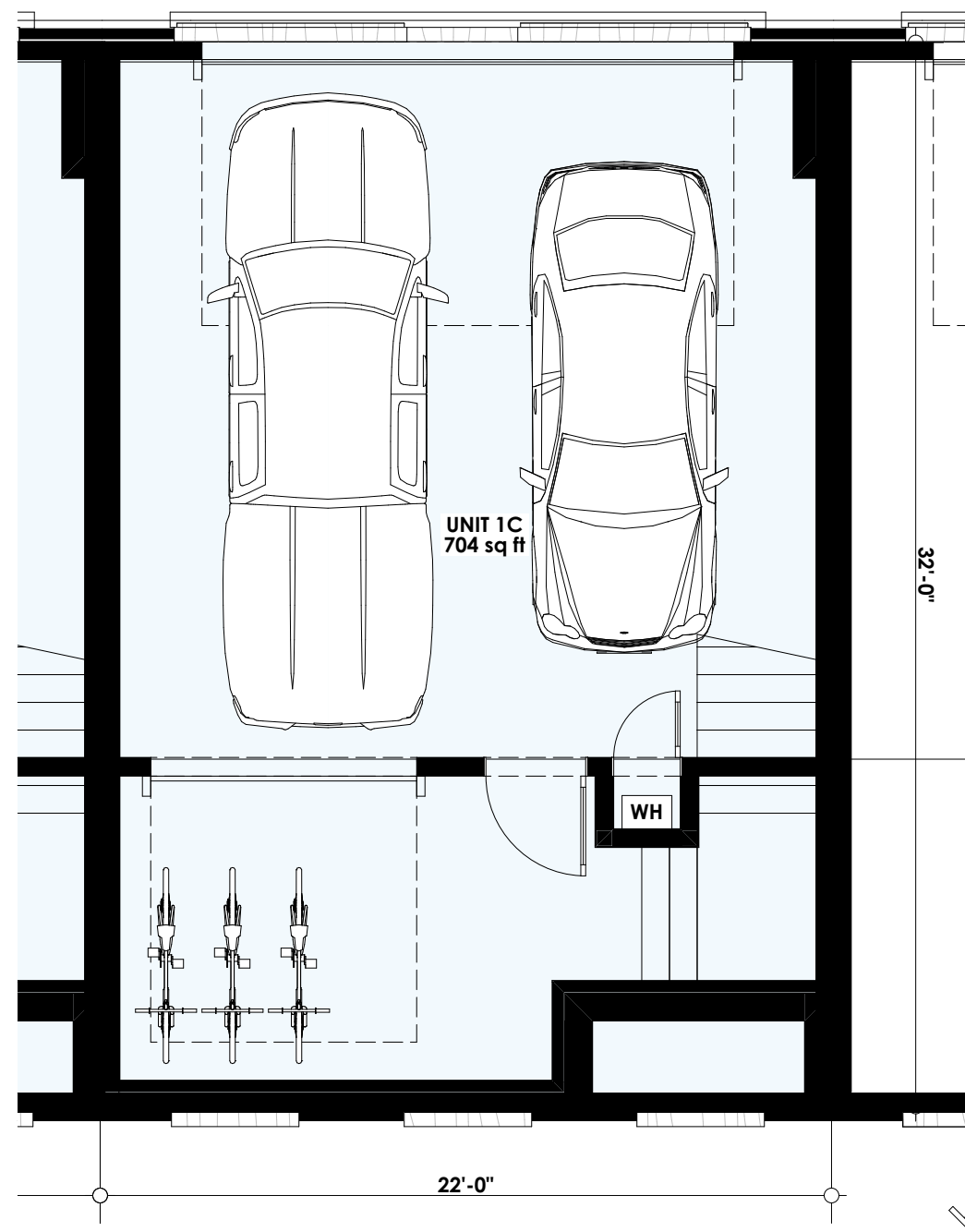


SALT LAKE CITY
5151 S 900 E, SUITE 250
84117, UTAH
T: 801 269 1508 E: projects@arcflo.com



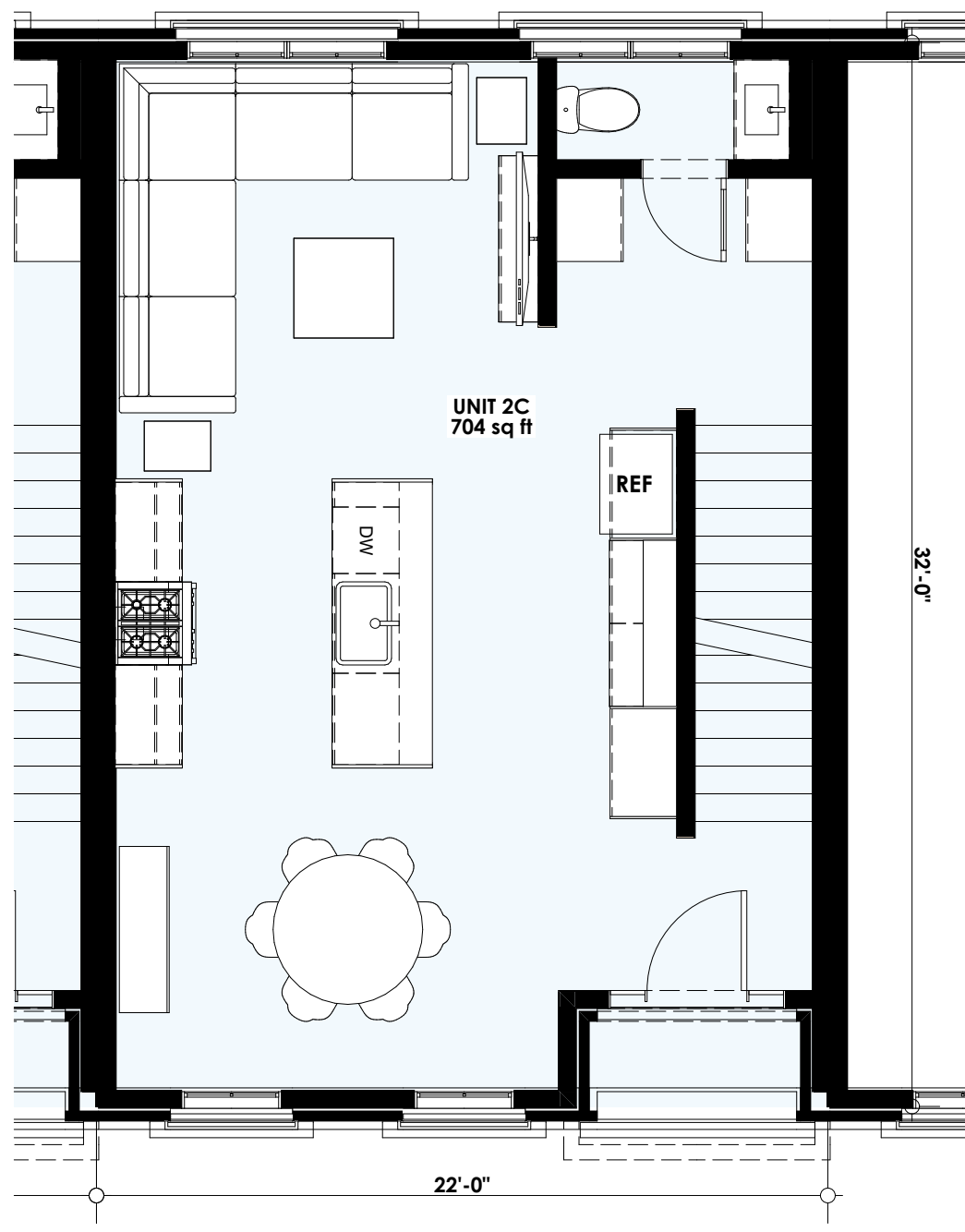
EAST ELEVATION: 7 UNIT TOWNHOME
Scale: 1/16" = 1'-0"

4A



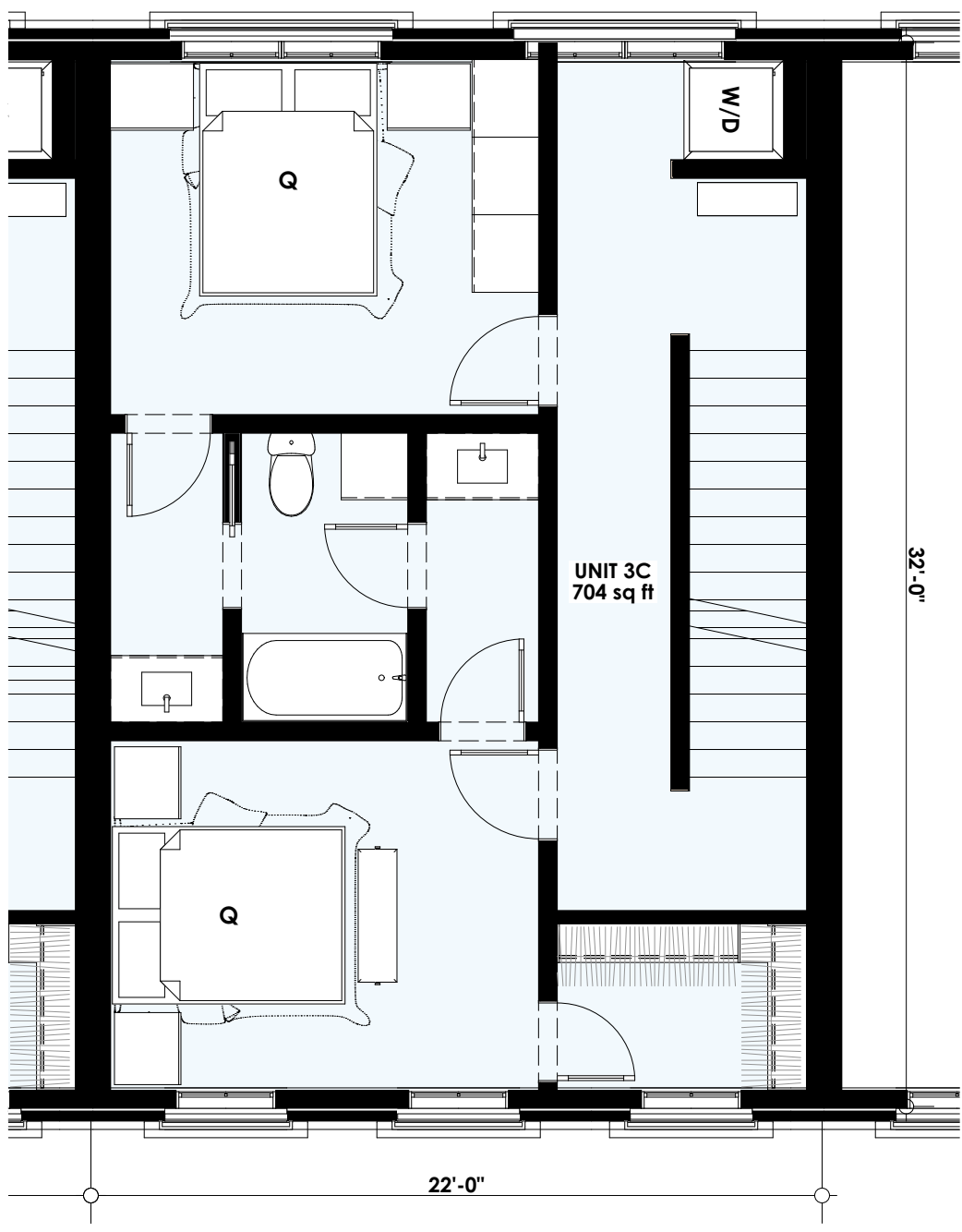
FLOOR PLATE - LEVEL 1
Scale: 3/16" = 1'-0"

1D



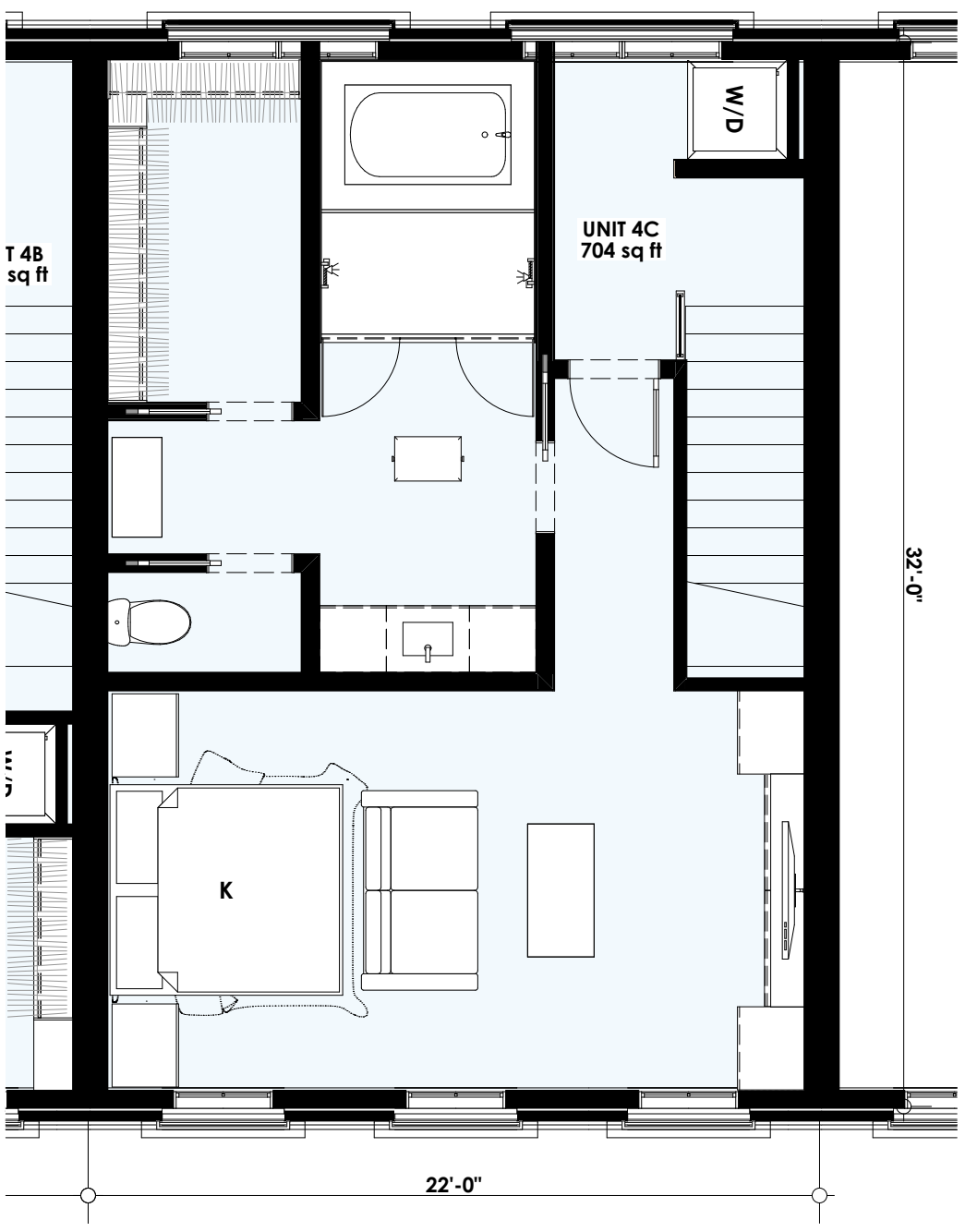
FLOOR PLATE - LEVEL 2
Scale: 3/16" = 1'-0"

1C



FLOOR PLATE - LEVEL 3
Scale: 3/16" = 1'-0"

1B



FLOOR PLATE - LEVEL 4
Scale: 3/16" = 1'-0"

1A



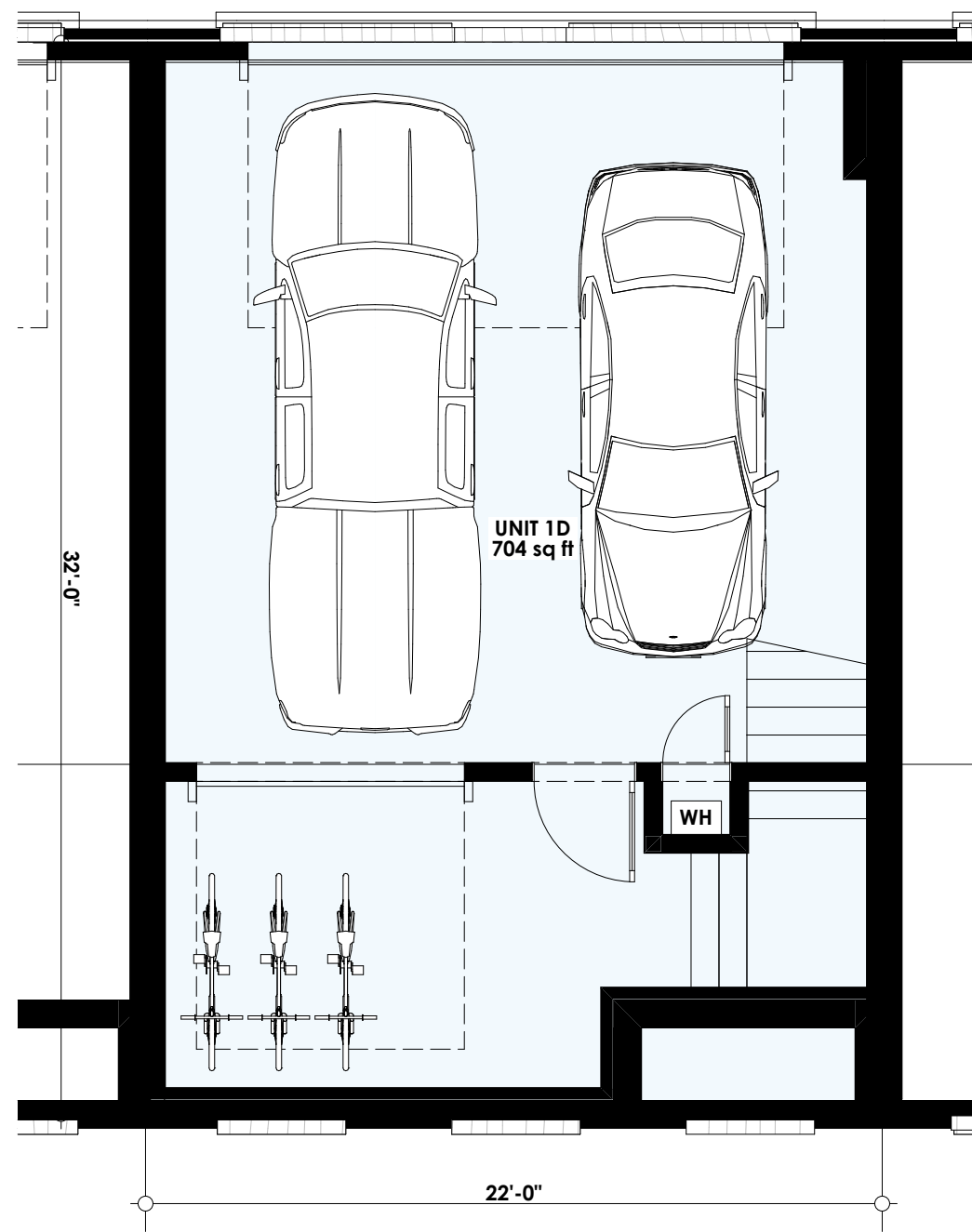
SALT LAKE CITY
5151 S 900 E, SUITE 250
84117, UTAH
T: 801 269 1508 E: projects@arcflo.com

MU-XXXX-23_TRIUMPH_MURRAY_MU_v4_2025-04-09 5/13/2025 5:33 PM BIMbaud: arcflo BIMbaud: arcflo as a Service/ TRIUMPH CONSTRUCTION/ MU-XXXX-23_TRIUMPH_MURRAY_MU_v4_2025-04-09



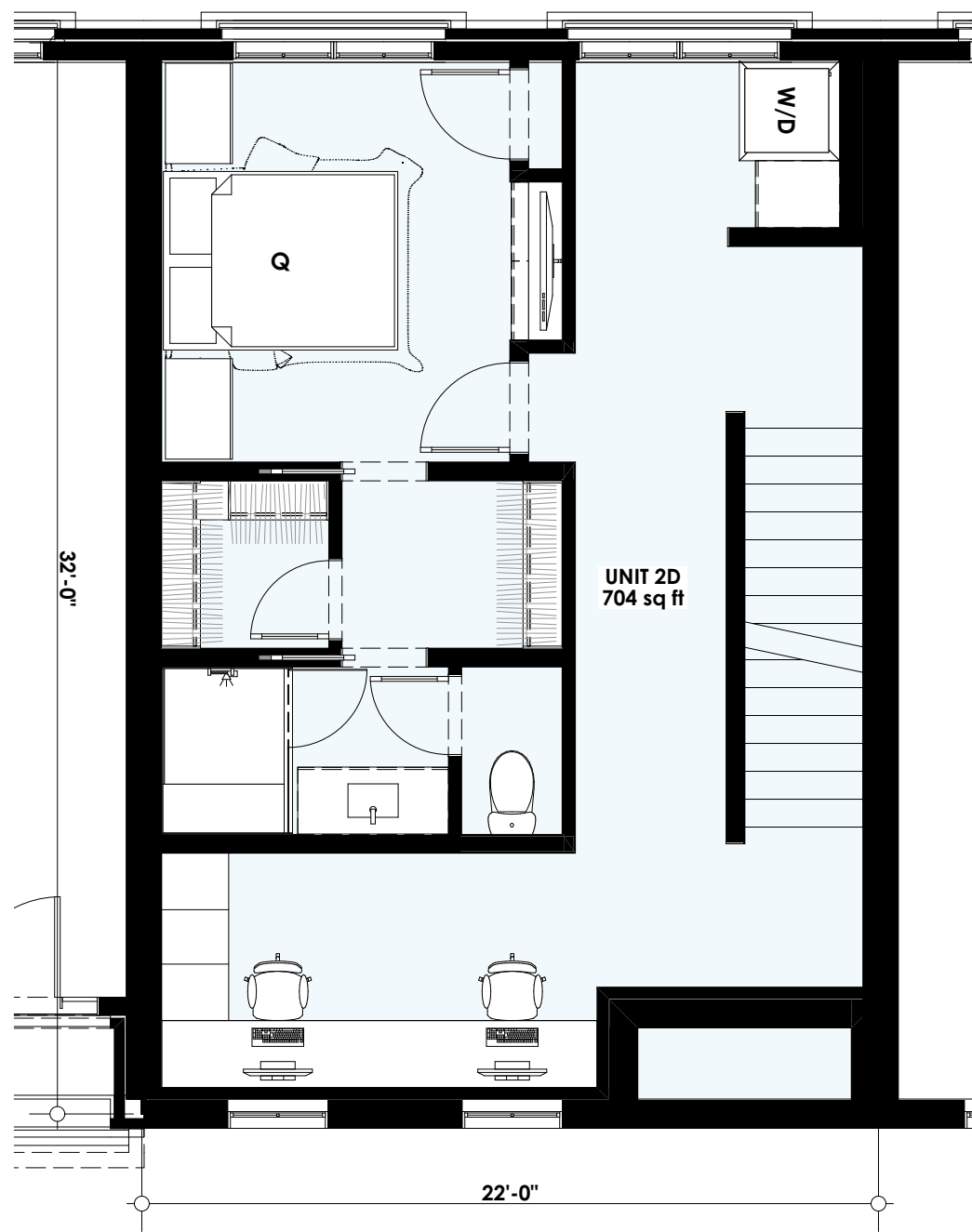
EAST ELEVATION: 7 UNIT TOWNHOME
Scale: 1/16" = 1'-0"

4A



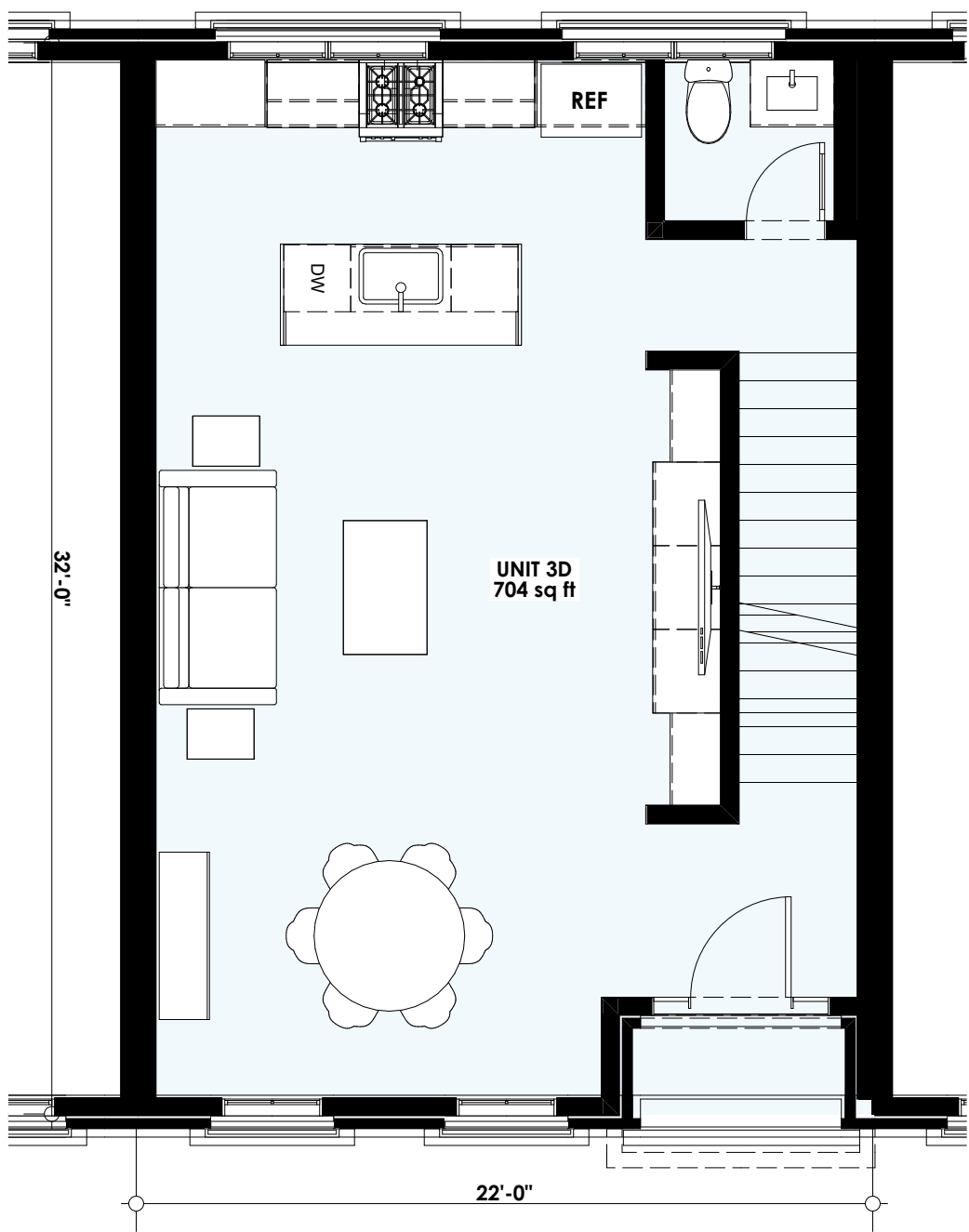
FLOOR PLATE - LEVEL 1
Scale: 3/16" = 1'-0"

1D



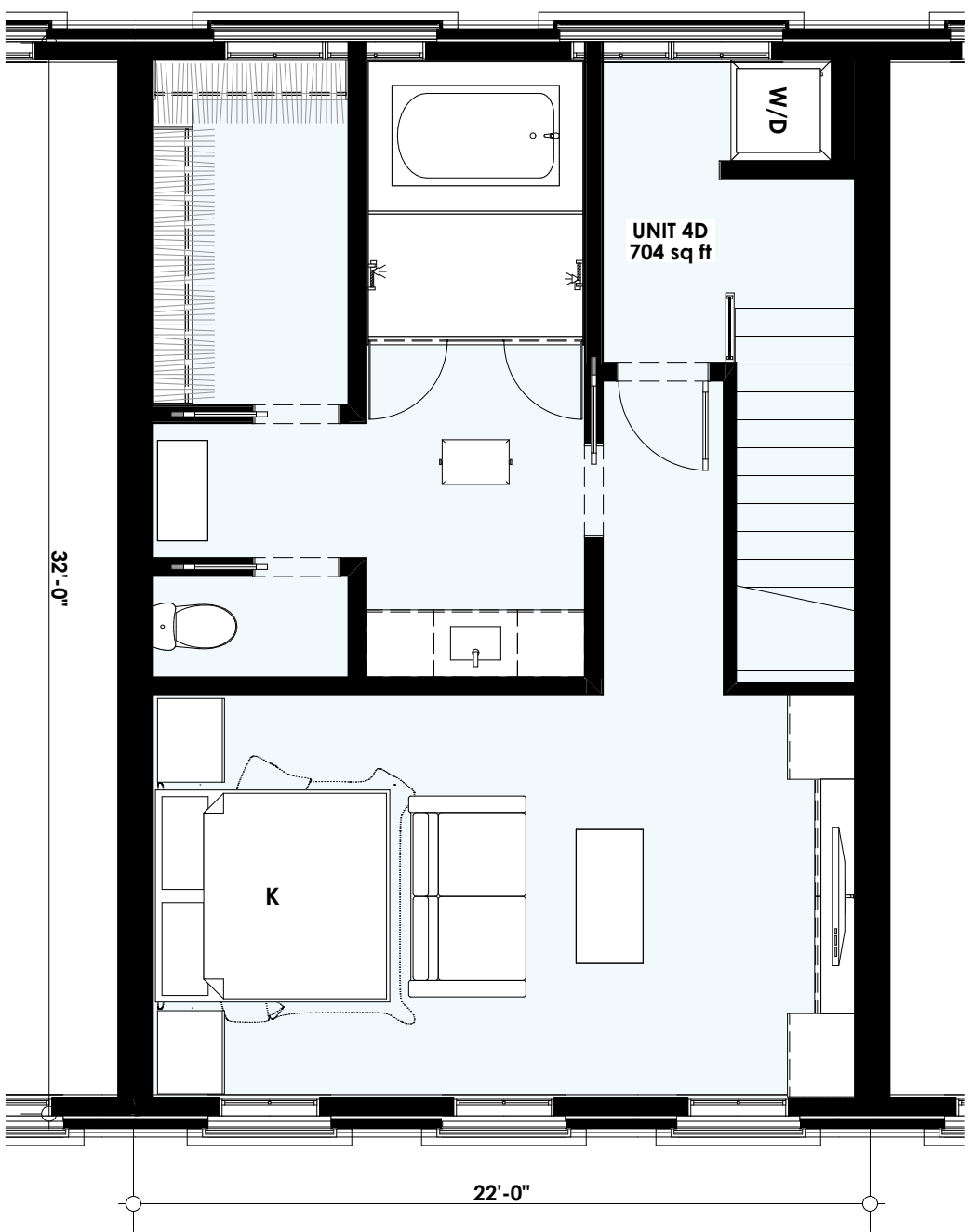
FLOOR PLATE - LEVEL 2
Scale: 3/16" = 1'-0"

1C



FLOOR PLATE - LEVEL 3
Scale: 3/16" = 1'-0"

1B

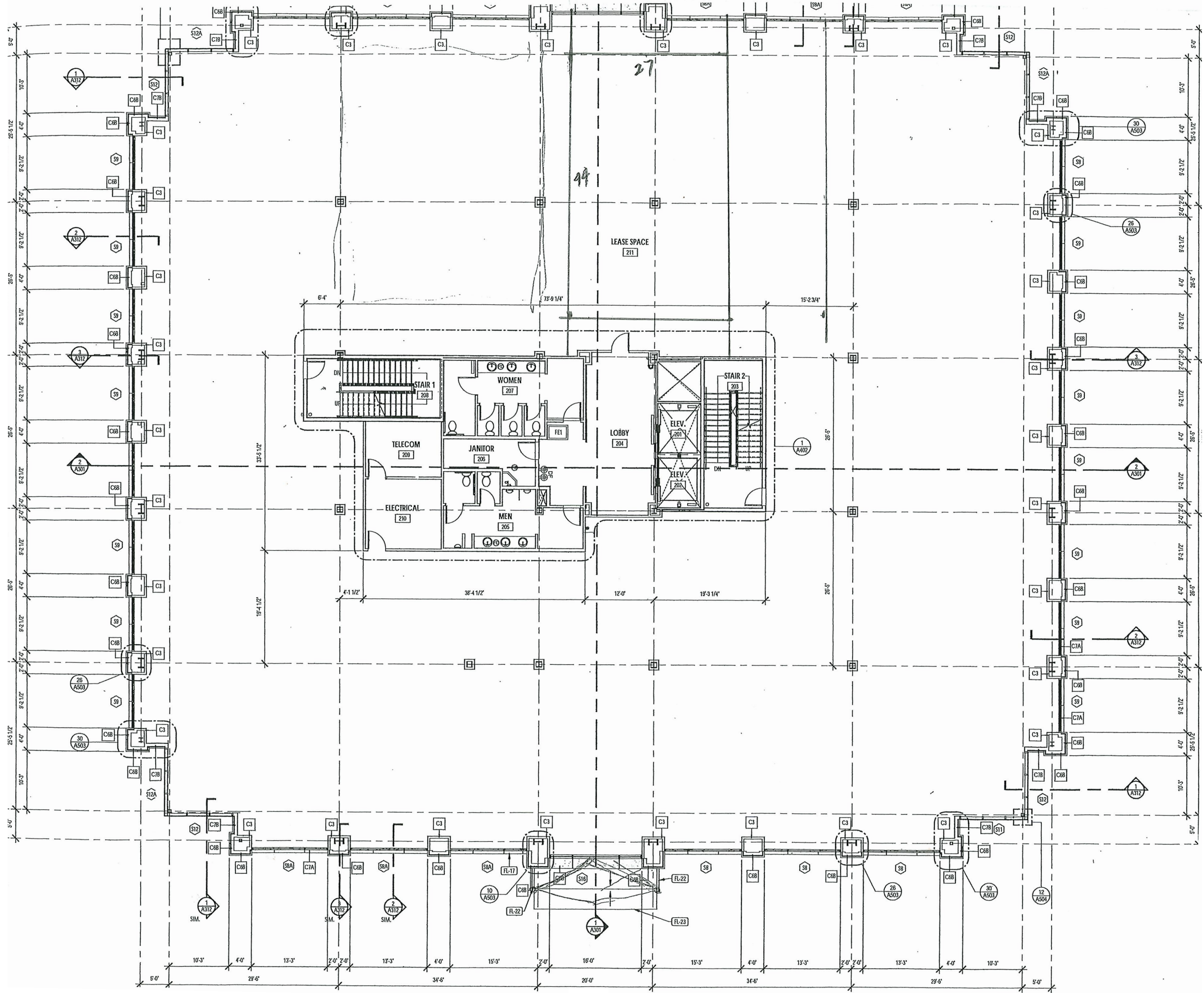


FLOOR PLATE - LEVEL 4
Scale: 3/16" = 1'-0"

1A



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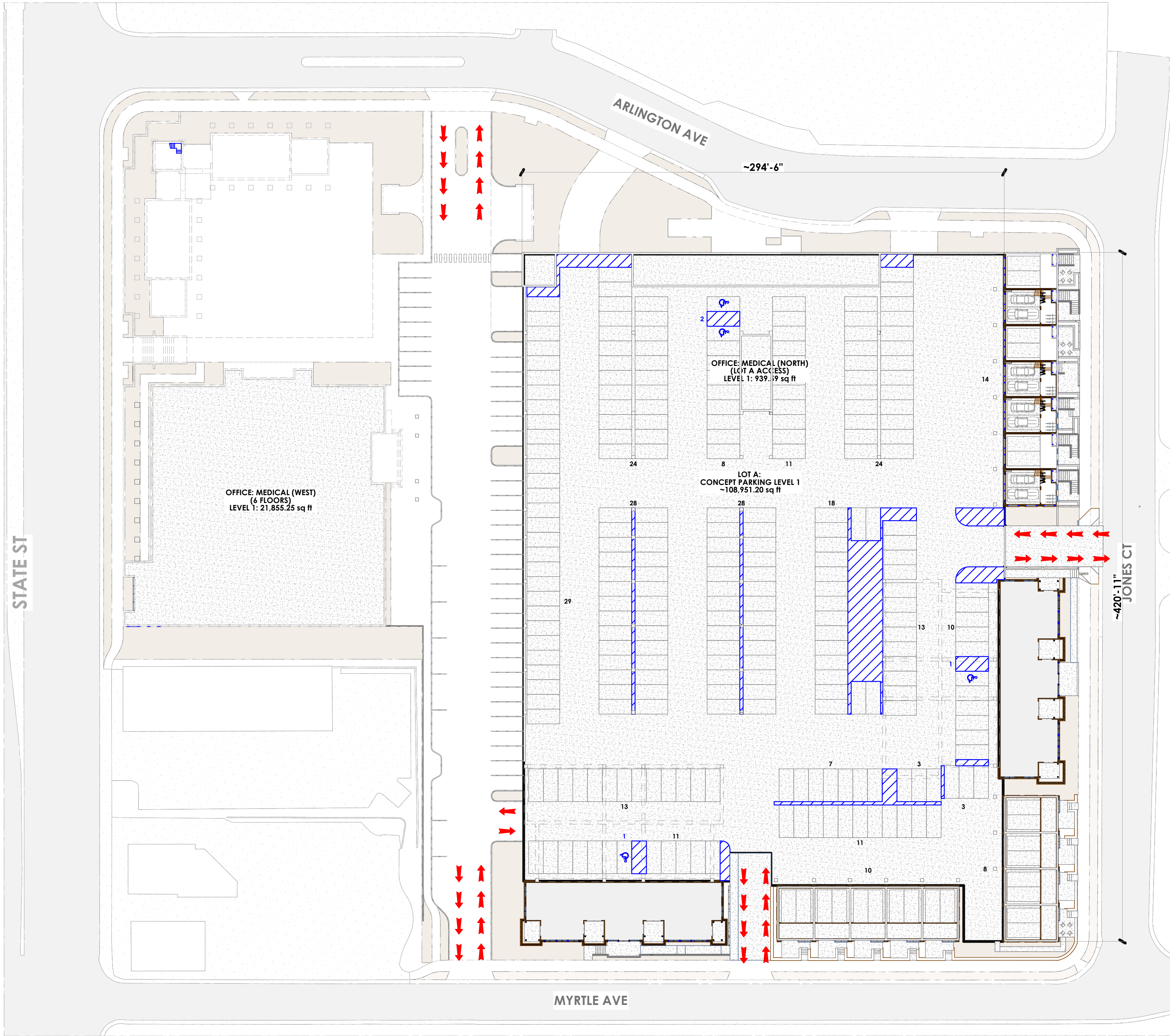
TYPICAL MEDICAL
OFFICE CORE AND SHELL
FLOOR PLAN

TYPICAL MEDICAL OFFICE FLOOR PLATE
Scale: 3/32" = 1'-0"

1B



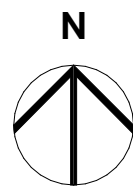
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CONCEPT SITE - LEVEL 1 PARKING

Scale: 1" = 40'

1B



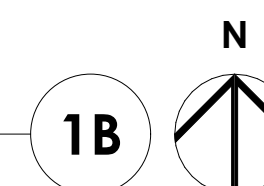
LEVEL-1 BASEMENT LEVEL			
LOT A	REGULAR	ADA	
29		2	
24		1	
8		1	
11		0	
24		0	
18		0	
28		0	
28		0	
13		0	
11		0	
7		0	
11			
3			
3			
10			
13			
14			
8			
10			
TOTAL (LEVEL 1):			
	273	4	277
GRAND TOTAL:			
	822	18	TOTAL PROVIDED STALLS 840 stalls



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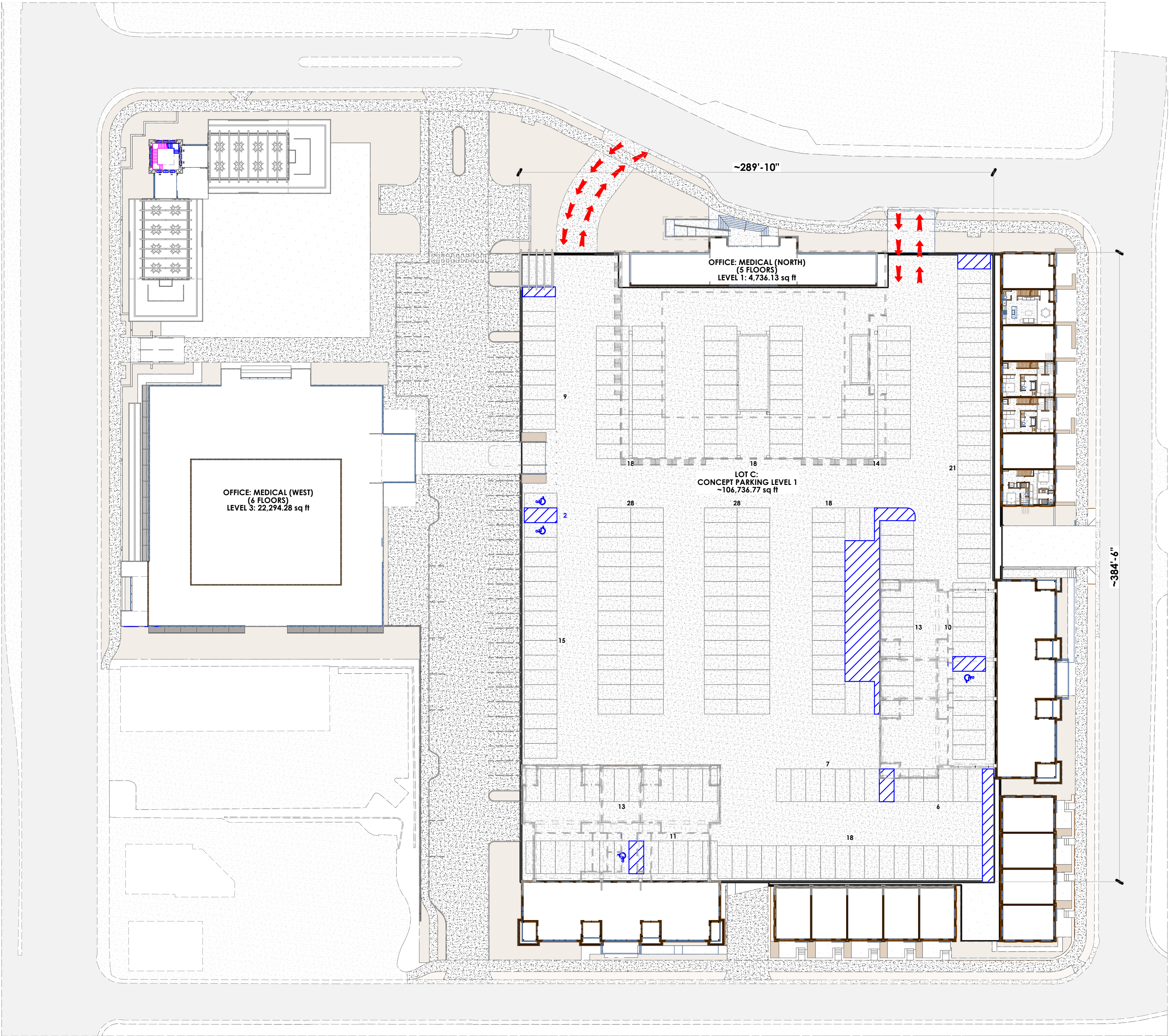
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CONCEPT PARKING STUDY - LEVEL 2

5/13/2025

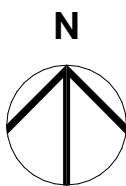
A-4.2



CONCEPT SITE - LEVEL 3 PARKING

Scale: 1" = 40'

1B



TOP LEVEL PARKING DECK - Level 3			
LOT C	REGULAR	ADA	
	9	2	
	15	0	
	13	1	
	11	1	
	18	0	
	7	0	
	6	0	
	13	0	
	10	0	
	28	0	
	28	0	
	18		
	21		
	18		
	18		
	14		
	0		
		0	
TOTAL (LOT C):	247	4	251
GRAND TOTAL:	REGULAR 822	ADA 18	TOTAL PROVIDED STALLS 840 stalls



SALT LAKE CITY
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Murray Mixed Use Development

PARKING STUDY - Calculations
5/13/2025

Commercial:

ITEM	USE	GROSS AREA	PARK RATE		NET AREA	Factor	YIELD	Required Stalls	Required ADA Stalls		2%
			PER 1,000	SF					(500 to 1000)	=	
WEST BLDG	MEDICAL	110,500 SF	4.4		88,400	88.4	389.0	311.2			
EAST BLDG	MEDICAL	75,000 SF			60,000	60	264.0	211.2			
WEST RESTAURANT	F&B	2,600 SF	4			2.6	10.4	10.4			
NORTH RESTAURANT	F&B	2,600 SF	4			2.6	10.4	10.4			
									543.2 stalls		

Residential:

ITEM	USE	AREA	PARK RATE		No. of UNITS	Required Stalls		
			PER Unit	PER UNIT				
NORTH TOWN HOMES	TOWNHOME	N/A	SF	1.5	PER UNIT	7	10.5	
SOUTH-EAST TOWN HOMES	TOWNHOME	N/A	SF	1.5	PER UNIT	4	6.0	
SOUTH TOWN HOMES	TOWNHOME	N/A	SF	1.5	PER UNIT	5	7.5	
16 Townhomes								
STACKED FLAT BLDG - EAST	STACKED FLAT	N/A	SF	1.5	PER UNIT	Level 7	4	6.0
						Level 6	7	10.5
						Level 5	7	10.5
						Level 4	7	10.5
						Level 3	2	3.0
						Level 2	2	3.0
						Level 1	2	3.0
						31 Units		
STACKED FLAT BLDG - WEST	STACKED FLAT	N/A	SF	1.5	PER UNIT	Level 7	4	6.0
						Level 6	7	10.5
						Level 5	7	10.5
						Level 4	7	10.5
						Level 3	2	3.0
						Level 2	2	3.0
						Level 1	2	3.0
						31 Units		

Summary:	78 Total Residential Units		660.2 Required Parking Stalls	13.2 Required ADA Stalls
			840.0 Provided Stalls	18.0 Provided ADA Stalls
			-179.8 Surplus	-4.8 Surplus

Murray Mixed Use Development

PARKING STUDY - Current Parking Tally
5/13/2025

TOP LEVEL PARKING DECK - Level 3			PARKING DECK - Level 2			2ND LEVEL SPINE			2ND LEVEL RESTAURANT PLAZA			LEVEL - 1 BASEMENT LEVEL		
LOT C	REGULAR	ADA	LOT B	REGULAR	ADA	LOT E	REGULAR	ADA	LOT D	REGULAR	ADA	LOT A	REGULAR	ADA
9	2		11	0		29	0		0	6		29	2	
15	0		24	0		6	0		0	0		24	1	
13	1		8	2		3	0		0	0		8	1	
11	1		11	0		0	0		0	0		11	0	
18	0		24	0		0	0		0	0		24	0	
7	0		20	0		0	0		0	0		18	0	
6	0		14	0		0	0		0	0		28	0	
13	0		28	0		0	0		0	0		28	0	
10	0		28	0		0	0		0	0		13	0	
28	0		18	0		0	0		0	0		11	0	
28	0		13	0		0	0		0	0		7	0	
18			10	1								11		
21			6									3		
18			7									3		
18			18									10		
14			11									13		
0			13	1								14		
												8		
												10		
247	4		251			264	4		268			38	0	
												38		
												0	6	
												6		
												273	4	
														277
TOTAL:			REGULAR	ADA		TOTAL PROVIDED STALLS								
			822	18		840 stalls								



SALT LAKE CITY
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AGENDA ITEM # 5 Amy Blackwell

ITEM TYPE:	Text Amendment		
ADDRESS:	Citywide	MEETING DATE:	July 3 rd , 2025
APPLICANT:	Amy Blackwell	STAFF:	David Rodgers, Senior Planner
PARCEL ID:	N/A	PROJECT NUMBER:	25-031
REQUEST:	Amy Blackwell is requesting an amendment to the Major Home Occupation Ordinance to allow up to 16 children at an in-home childcare.		

I. STAFF REVIEW & ANALYSIS

History & Background

Amy Blackwell, owner of Miss Amy's Daycare is requesting an amendment to the number of children which are permitted for an in-home childcare within Murray City. In November of 2023, the Utah Division of Licensing and Background Checks increased the number of children permitted at an in-home daycare within the state of the Utah from twelve (12) to sixteen (16). This request will bring Murray to the maximum number permitted per state law.

Staff discussed the appetite for this proposal with the Murray City Council at the Committee of the Whole meeting on June 3rd, 2025. The Council indicated a willingness to have the conversation and as such this application is being brought forward. Several of the updated provisions of this chapter are similar to those of surrounding cities, which staff used to draft code language that would fit the nature of Murray City. Several of these provisions have been addressed when a Conditional Use Permit is requested for an in-home childcare, but these amendments will allow staff to ensure that they are being met for all in-home childcare facilities.

Review of Proposed Changes

The applicant has worked with staff to propose an amendment that would add subsection C to Murray Code Section 17.24.050 Major Home Occupations. This language details the requirements to have up to sixteen (16) children at an in-home day care and is as follows:

C. Residential Child Day Care. Residential child day care may be allowed as a major home occupation in accordance with the standards in this Chapter 17.24, and the following:

- 1) Residential child day care means a home occupation that provides care for between nine and 16 qualified children at any given time, as defined in Utah State Code. The designated number of children includes the caregiver's own children that meet the state's definition of "qualified children," at the time the home occupation is conducted.
- 2) A secure outdoor play area is required for all residential child day care home occupations and shall comply with the following:
 - a. The play area shall be located in the rear and/or side yard of the dwelling.
 - b. The play area shall be secured by a well-maintained fence that is at least six feet in height with a self-latching gate.
 - c. The outdoor play area shall be maintained in good condition and landscaped.
 - d. The outdoor play area shall not be used by the residential child day care before 8:00 A.M. or after 8:00 P.M.
- 3) Notwithstanding the restrictions of section 17.24.040 daycare services shall be permitted to have the allowed number of employees as required by the state department of health.
- 4) One off street parking space for pick up and drop off when there are 1-8 children and two off street parking spaces when there are 9-16 children, and an additional off street parking space for each employee not residing in the dwelling.
- 5) Pickup and drop off of children shall be staggered to lessen neighborhood traffic.
- 6) One residential sign is allowed on the dwelling or lot.
- 7) The use shall comply with all local, state and federal laws and regulations.
- 8) Upon complaint that one or more of the requirements of this section or other city ordinance is being violated by a home daycare/preschool caregiver, the city shall review the complaint and, if substantiated, may initiate revocation proceedings in accordance with City Code.

Staff has also included for review updated use tables in all residential zones that allow in-home childcare and raised the maximum allowed number from twelve (12) to sixteen (16). This language is also included in the packet for review.

DEPARTMENT REVIEWS

The proposed addition to the permitted uses was provided to each department for their review. All departments recommended approval with no comments or concerns.

II. PUBLIC INPUT

Notices were sent to Affected Entities for this amendment. As of the date of this report, no comments have been received.

III. FINDINGS

Based on the analysis of the proposed amendment and review of the Murray City General

Plan, staff concludes the following:

1. The proposed text amendment promotes flexibility for small businesses to encourage more flexible activities as part of their business model.
2. The proposed text amendment has been reviewed to ensure that the health, safety, and general welfare of the community are maintained.
3. Staff finds that continuing to support Home Occupation businesses is supported by the General Plan.

IV. CONCLUSION/RECOMMENDATION

Based on the background, analysis, and the findings within this report, Staff recommends that the Planning Commission **forward a recommendation of APPROVAL to the City Council for the proposed amendment to Section 17.24.050 adding subsection C and amending the Residential Zones to change the number of children permitted at an in-home childcare as reviewed in the Staff Report.**

ZONING AMENDMENT APPLICATION

Type of Application(check one):

Text Amendment: ☒

Map Amendment: ☐

Applicant Information

Name:

Amy M Blackwell DBA Miss Amy's Day Care

Mailing Address: 940 West Walden Meadows Dr City: Murray State: UT ZIP: 84123

Phone #: 8012059658 Fax #:

Email Address: MissAmysDayCare@gmail.com

Property Owner's Information (If different)

Name: same

Mailing Address: _____ City: _____ State: _____ ZIP: _____

Phone #: _____ Fax #: _____ Email Address: _____

Application Information

For Map Amendments:

Property Address: same

Parcel Identification (Sidwell) Number: _____

Parcel Area(acres): _____ Existing Zone: _____ Proposed: _____

Request Complies with General Plan: Yes: ☐ No: ☐

For Text Amendments:

Describe the request in detail (use additional pages, or attach narrative if necessary):

I run an in Home Licensed Care since 2003
Currently Murray Citys Maximum Child Capacity is 12
children. we, the providers of Murray would like
Capacity to align with Child Care regulations DLR office
of Licensing Child Care guidelines R430-90.

Authorized Signature: Amy M Blackwell

Date: 03-28-2025

For Office Use Only

Project Number: P2-25-031 Date Accepted: 04/02/2024

Planner Assigned: Zac Smallwood

Property Owners Affidavit

Amy M Blackwell DBA
I (we) missamysdaycare, being first duly sworn, depose and say that I (we) am (are) the current owner of the property involved in this application: that I (we) have read the application and attached plans and other exhibits and are familiar with its contents; and that said contents are in all respects true and correct based upon my personal knowledge.

Amy M Blackwell
Owner's Signature

[Signature]
Owner's Signature (co-owner if any)

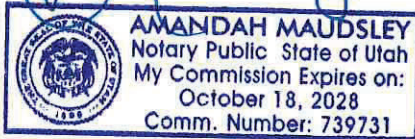
State of Utah

County of Salt Lake

§

Subscribed and sworn to before me this 1 day of April, 20 25.

[Signature]
Notary Public



Residing in Murray City Hall

My commission expires: October 18, 2028

Agent Authorization

I (we), _____, the owner(s) of the real property located at _____ in Murray City, Utah, do hereby appoint _____ as my (our) agent to represent me (us) with regard to this application affecting the above described real property, and authorize _____ to appear on my (our) behalf before any City board or commission considering this application.

Owner's Signature

Owner's Signature (co-owner if any)

State of Utah

County of Salt Lake

§

On the _____ day of _____, 20 _____, personally appeared before me _____ the signer(s) of the above Agent Authorization who duly acknowledge to me that they executed the same.

Notary public

Residing in: _____

My commission expires: _____

Amy M. Blackwell dba
Miss Amys Day Care
940 West Walden Meadows Drive
Murray, Utah 84123

Murray City Planning Committee

Murray City Council
Murray City Hall
10 East 4800 South, Suite 260
Murray, Utah 84107-3724

It has been brought to our attention, the Daycare providers of Murray, Utah, that after being licensed for 3 years with the state of Utah DLBC Office of Licensing child care, with a ratio of 16 children with 2 providers, having established a strong loving relationship with families and children, we are now told we are to lower our ratio to 12 with 2 providers to comply with Murray, Utah code.

Understanding the state statute code which gives the DLBC office of Licensing Child Care authority to license programs, provider change to 16 was not clear, we were under the impression that all of Utah is now 16 children with 2 providers, providing however, 35sqft per child in the providers home. See rules: R430-90 Licensed Family Child Care, R430-90-9- Facility, R430-90-10 Ratios and group size.

It would be a hardship for parents who have been in our homes to find or look for another home for their child(ren)

It would also be devastatingly so sad for the children who have been with us the past 3 years to be sent to strangers, being taken from the one they know, love and trust to have to start over with new places and faces.

Once we have 9 children we are required to have a second care giver, which Murray City allows one employee.

It generally takes approx. 4 childcare children to cover the cost of an employee working 20 to 40 hours a week which in reality, puts our income as if we were caring for 8 children, providing we have 12 children in care or 5 children if we are caring for 9.

For us to generate more income, we would need 16 children plus one employee which puts our income at 12 children.

Murray City is allowing more multi family dwellings to be built, more people, more families, more children, these families will be looking for daycare, more daycares will be needed, children added to existing daycares, more people applying to start in home daycares if our current daycares are unable to care for more children.

The licensed in home daycares Murray has now are established, we have a name for ourselves, when our new families ask for good daycares we can proudly reference: Miss Amys Day Care has been in business for 23 years here in Murray, she is in good standing with the DLBC office of Licensing child care.

Five of my children that I have had in my care since birth are ready to move into Kindergarten this upcoming school year in our Murray school district.

I would love to be able to accept more children from our new Murray families, or my existing families who would like to grow their family. I am unable to do so with 12 children, I can keep your 3 year old, sadly your new born will need to go elsewhere, or I lose both children and lose income

we will have to turn families away to look in other cities for daycare, our new families will buy breakfast, coffees, dinners or go shopping in neighboring cities near their child's daycare before or after drop off or pick ups, our Murray businesses will lose money our Murray city sales tax will go to another city,

We want to keep Murray families in Murray spending money in our city a city we call home.

Murray Code 17.24 040 Home Occupation

- C On site employee
 One employee on site per residence at any one time.
 Compliant
- D off site employees
 N/A
- E Accessory use on property
 % of home use
 Compliant

- F commodities and display for sale
N/A
- G Group instruction/childcare
Compliant
- H Multiple businesses at residence
N/A
Compliant
- I Conformity with safety codes
Compliant
- J Subject to inspections
Compliant
- K Term of license
Compliant
- L Vehicles
Compliant
- M Trailers
N/A
Compliant
- N Traffic – must be off street parking
My driveway may accommodate up to 6-8 vehicles, however, my property is adjacent to a field where there are no houses, where parking or traffic is not a hinderance, does not interfere with other houses/neighbors
- O Approval Authority
- P Neighborhood disruptions Not Permitted
Compliant
- Q Storage of Dangerous Material
N/A
Compliant

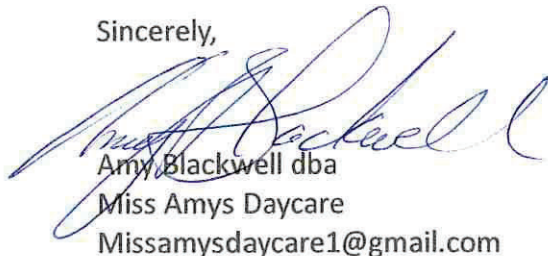
17.24.050 Major Home Occupations

1. Hours of operation
Listed at 6:30am-5:30pm
2. Number of clients per day/hour
No more than 16 clients per day with staggering drop off and pick up times
6 of my clients are within walking distance
4 clients have multiple children
seldomly there may be a time where a few clients arrive at the same time
3. Provision of adequate off street parking
My driveway may accommodate parking for 6-8 clients
4. Other conditions reasonably related to mitigating adverse impacts resulting from the use

DLBC Office of Licensing Childcare, Utah is required to measure child used space in our homes to determine how many children our homes have space for. Not every licensed in home day care provider is allowed the same number of children. See Rule R430-90-9 Facility

We are pleading with the board to align Murray City, Utah with the same child to staff ratio guidelines of the DLBC office of Licensing Child Care, Utah

Sincerely,



Amy Blackwell dba
Miss Amys Daycare
Missamysdaycare1@gmail.com



NOTICE OF PUBLIC HEARING

July 3rd, 2025, 6:30 PM

The Murray City Planning Commission will hold a public hearing in the Murray City Municipal Council Chambers, located at 10 East 4800 South, Murray, UT to receive public comment on the following application:

Amendments to Chapter 17.24.050 Major Home Occupation to increase the maximum number of children permitted at an in-home childcare from twelve (12) to sixteen (16) if certain requirements are met.

Amendments to chapters 17.96 Single-Family Medium Density Residential District R-1-6; 17.100 Single-Family Low Density Residential District R-1-8; 17.104 Single-Family Low Density Residential District R-1-10; 17.108 Single-Family Low Density Residential District R-1-12; 17.112 Medium Density Residential District R-2-10; 17.116 Multiple-Family Low Density Residential District R-M-10; 17.120 Multiple-Family Medium Density Residential District R-M-15; 17.124 Multiple-Family High Density Residential District R-M-20; and 17.128 Multiple-Family High Density Residential District R-M-25. The request would increase the number of permitted children at an in-home childcare as a conditional use from a maximum of twelve (12) to a maximum of sixteen (16).

To make comments regarding this proposal, the public may speak at the meeting, call the Murray City Planning Division at (801) 270-2430, or email pc@murray.utah.gov.

The meeting will be streamed online, at www.murraycitylive.com or www.facebook.com/MurrayCityUtah/.

17.24.050: MAJOR HOME OCCUPATIONS:

A. The following home occupations, which either require a client to come to the home or which may result in neighborhood impacts if not properly managed, may be authorized as an accessory use through a major home occupation permit pursuant to the standards specified in this section:

Barbers, cosmetologists, manicurists.

Contractor, "handyperson," and landscape or yard maintenance contractor; subject to the special conditions that no construction materials or equipment will be stored on the premises.

Counseling, when clients come to the home.

Home instruction including musical instruments, voice, dance, acting and educational subjects, swimming, tennis and other athletic instruction.

Other similar personal or professional services where the client comes to the home, including, but not limited to:

1. Childcare;
2. Preschool;
3. Home instruction.

B. Uses classified as major home occupations must comply with the standards of section [17.24.030](#) of this chapter, which shall be considered minimum standards. The Community and Economic Development Director or Planning Commission may require additional reasonable conditions to mitigate reasonably potential adverse impacts of the use on adjacent properties. These conditions may include, but are not limited to:

1. Limits on hours of operation;
2. Limits on numbers of clients per day/hour;
3. Provision of adequate off-street parking;
4. Other conditions reasonably related to mitigating adverse impacts resulting from the use.

17.24.050: MAJOR HOME OCCUPATIONS:

A. The following home occupations, which either require a client to come to the home or which may result in neighborhood impacts if not properly managed, may be authorized as an accessory use through a major home occupation permit pursuant to the standards specified in this section:

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2. Preschool;
3. Home instruction.

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1. Limits on hours of operation;
2. Limits on numbers of clients per day/hour;
3. Provision of adequate off-street parking;
4. Other conditions reasonably related to mitigating adverse impacts resulting from the use.

C. Residential Child Day Care. Residential child day care may be allowed as a major home occupation in accordance with the standards in this Chapter 17.24, and the following:

- 1) Residential child day care means a home occupation that provides care for between nine and 16 qualified children at any given time, as defined in Utah State Code. The designated number of children includes the caregiver's own children that meet the state's definition of "qualified children," at the time the home occupation is conducted.
- 2) A secure outdoor play area is required for all residential child day care home occupations and shall comply with the following:
 - a. The play area shall be located in the rear and/or side yard of the dwelling.
 - b. The play area shall be secured by a well-maintained fence that is at least six feet in height with a self-latching gate.
 - c. The outdoor play area shall be maintained in good condition and landscaped.
 - d. The outdoor play area shall not be used by the residential child day care before 8:00 A.M. or after 8:00 P.M.
- 3) Notwithstanding the restrictions of section 17.24.040 daycare services shall be permitted to have the allowed number of employees as required by the state department of health.
- 4) One off street parking space for pick up and drop off when there are 1-8 children and two off street parking spaces when there are 9-16 children, and an additional off street parking space for each employee not residing in the dwelling.
- 5) Pickup and drop off of children shall be staggered to lessen neighborhood traffic.
- 6) One residential sign is allowed on the dwelling or lot.
- 7) The use shall comply with all local, state and federal laws and regulations.
- 8) Upon complaint that one or more of the requirements of this section or other city ordinance is being violated by a home daycare/preschool caregiver, the city shall review the complaint and, if substantiated, may initiate revocation proceedings in accordance with City Code.: 1) set a hearing before the planning commission to revoke the major home occupation permit.

17.24.050: MAJOR HOME OCCUPATIONS:

A. The following home occupations, which either require a client to come to the home or which may result in neighborhood impacts if not properly managed, may be authorized as an accessory use through a major home occupation permit pursuant to the standards specified in this section:

Barbers, cosmetologists, manicurists.

Contractor, "handyperson," and landscape or yard maintenance contractor; subject to the special conditions that no construction materials or equipment will be stored on the premises.

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Other similar personal or professional services where the client comes to the home, including, but not limited to:

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2. Preschool;
3. Home instruction.

B. Uses classified as major home occupations must comply with the standards of section [17.24.030](#) of this chapter, which shall be considered minimum standards. The Community and Economic Development Director or Planning Commission may require additional reasonable conditions to mitigate reasonably potential adverse impacts of the use on adjacent properties. These conditions may include, but are not limited to:

1. Limits on hours of operation;
2. Limits on numbers of clients per day/hour;
3. Provision of adequate off-street parking;
4. Other conditions reasonably related to mitigating adverse impacts resulting from the use.

C. Residential Child Day Care. Residential child day care may be allowed as a major home occupation in accordance with the standards in this Chapter 17.24, and the following:

- 1) Residential child day care means a home occupation that provides care for between nine and 16 qualified children at any given time, as defined in Utah State Code. The designated number of children includes the caregiver's own children that meet the state's definition of "qualified children," at the time the home occupation is conducted.
- 2) A secure outdoor play area is required for all residential child day care home occupations and shall comply with the following:
 - a. The play area shall be located in the rear and/or side yard of the dwelling.
 - b. The play area shall be secured by a well-maintained fence that is at least six feet in height with a self-latching gate.
 - c. The outdoor play area shall be maintained in good condition and landscaped.
 - d. The outdoor play area shall not be used by the residential child day care before 8:00 A.M. or after 8:00 P.M.
- 3) Notwithstanding the restrictions of section 17.24.040 daycare services shall be permitted to have the allowed number of employees as required by the state department of health.
- 4) One off street parking space for pick up and drop off when there are 1-8 children and two off street parking spaces when there are 9-16 children, and an additional off street parking space for each employee not residing in the dwelling.
- 5) Pickup and drop off of children shall be staggered to lessen neighborhood traffic.
- 6) One residential sign is allowed on the dwelling or lot.
- 7) The use shall comply with all local, state and federal laws and regulations.
- 8) Upon complaint that one or more of the requirements of this section or other city ordinance is being violated by a home daycare/preschool caregiver, the city shall review the complaint and, if substantiated, may initiate revocation proceedings in accordance with City Code.: 1) set a hearing before the planning commission to revoke the major home occupation permit.

Current Language

Residential Zones:

Chapter 17.29 Single Family Medium Density Residential District R-1-6

6815 – Residential childcare facility (in single-family dwellings only with no more than 12 children other than those residing in the dwelling).

Chapter 17.29 Single Family Low Density Residential District R-1-8

6815 – Residential childcare facility (in single-family dwellings only with no more than 12 children other than those residing in the dwelling).

Chapter 17.29 Single Family Low Density Residential District R-1-10

6815 – Residential childcare facility (in single-family dwellings only with no more than 12 children other than those residing in the dwelling).

Chapter 17.29 Single Family Low Density Residential District R-1-12

6815 – Residential childcare facility (in single-family dwellings only with no more than 12 children other than those residing in the dwelling).

Chapter 17.29 Medium Density Residential District R-2-10

6815 – Residential childcare facility (in single-family dwellings only with no more than 12 children other than those residing in the dwelling).

Chapter 17.29 Multiple Family Low Density Residential District R-M-10

6815 – Residential childcare facility (in single-family dwellings only with no more than 12 children other than those residing in the dwelling).

Chapter 17.29 Multiple Family Medium Density Residential District R-M-15

Current Language

6815 – Residential childcare facility (in single-family dwellings only with no more than 12 children other than those residing in the dwelling).

Chapter 17.29 Multiple Family High Density Residential District R-M-20

6815 – Residential childcare facility (in single-family dwellings only with no more than 12 children other than those residing in the dwelling).

Chapter 17.29 Multiple Family High Density Residential District R-M-25

6815 – Residential childcare facility (in single-family dwellings only with no more than 12 children other than those residing in the dwelling).

Redlined

Residential Zones:

Chapter 17.29 Single Family Medium Density Residential District R-1-6

6815 – Residential childcare facility (in single-family dwellings only with no more than ~~12~~sixteen (16) children other than those residing in the dwelling).

Chapter 17.29 Single Family Low Density Residential District R-1-8

6815 – Residential childcare facility (in single-family dwellings only with no more than ~~12~~sixteen (16) children other than those residing in the dwelling).

Chapter 17.29 Single Family Low Density Residential District R-1-10

6815 – Residential childcare facility (in single-family dwellings only with no more than ~~12~~sixteen (16) children other than those residing in the dwelling).

Chapter 17.29 Single Family Low Density Residential District R-1-12

6815 – Residential childcare facility (in single-family dwellings only with no more than ~~12~~sixteen (16) children other than those residing in the dwelling).

Chapter 17.29 Medium Density Residential District R-2-10

6815 – Residential childcare facility (in single-family dwellings only with no more than ~~12~~sixteen (16) children other than those residing in the dwelling).

Chapter 17.29 Multiple Family Low Density Residential District R-M-10

6815 – Residential childcare facility (in single-family dwellings only with no more than ~~12~~sixteen (16) children other than those residing in the dwelling).

Chapter 17.29 Multiple Family Medium Density Residential District R-M-15

Redlined

6815 – Residential childcare facility (in single-family dwellings only with no more than ~~12~~ sixteen (16) children other than those residing in the dwelling).

Chapter 17.29 Multiple Family High Density Residential District R-M-20

6815 – Residential childcare facility (in single-family dwellings only with no more than ~~12~~ sixteen (16) children other than those residing in the dwelling).

Chapter 17.29 Multiple Family High Density Residential District R-M-25

6815 – Residential childcare facility (in single-family dwellings only with no more than ~~12~~ sixteen (16) children other than those residing in the dwelling).

Clean Copy

Residential Zones:

Chapter 17.29 Single Family Medium Density Residential District R-1-6

6815 – Residential childcare facility (in single-family dwellings only with no more than sixteen (16) children other than those residing in the dwelling).

Chapter 17.29 Single Family Low Density Residential District R-1-8

6815 – Residential childcare facility (in single-family dwellings only with no more than sixteen (16) children other than those residing in the dwelling).

Chapter 17.29 Single Family Low Density Residential District R-1-10

6815 – Residential childcare facility (in single-family dwellings only with no more than sixteen (16) children other than those residing in the dwelling).

Chapter 17.29 Single Family Low Density Residential District R-1-12

6815 – Residential childcare facility (in single-family dwellings only with no more than sixteen (16) children other than those residing in the dwelling).

Chapter 17.29 Medium Density Residential District R-2-10

6815 – Residential childcare facility (in single-family dwellings only with no more than sixteen (16) children other than those residing in the dwelling).

Chapter 17.29 Multiple Family Low Density Residential District R-M-10

6815 – Residential childcare facility (in single-family dwellings only with no more than sixteen (16) children other than those residing in the dwelling).

Chapter 17.29 Multiple Family Medium Density Residential District R-M-15

Clean Copy

6815 – Residential childcare facility (in single-family dwellings only with no more than sixteen (16) children other than those residing in the dwelling).

Chapter 17.29 Multiple Family High Density Residential District R-M-20

6815 – Residential childcare facility (in single-family dwellings only with no more than sixteen (16) children other than those residing in the dwelling).

Chapter 17.29 Multiple Family High Density Residential District R-M-25

6815 – Residential childcare facility (in single-family dwellings only with no more than sixteen (16) children other than those residing in the dwelling).

Petition to align Murray City, Utah with the same child to staff ratio guidelines of the DLBC office of Licensing Child Care, Utah.

We, the undersigned residents of Murray City, Utah, are writing to express our support for aligning local child care regulations with the Utah DLBC Office of Licensing Child Care guidelines regarding child-to-staff ratios. Currently, Murray City operates under a ratio of 12 children per licensed provider with one employee.

The purpose of this petition is to urge the Murray City Council and relevant authorities to adopt and implement child care regulations that align with DLBC office of Licensing Child Care, Utah state rules and compliance guidelines. R430-90 Licensed Family Child Care, R430-90-9 Facility, R430-90-10 Ratios and group size.

The Utah DLBC Office of Licensing Child Care has established specific child-to-staff ratio guidelines.

The Utah DLBC Office of Licensing Child Care regulates child-to-caregiver ratios for in home licensed daycares throughout the state to ensure that children receive adequate care and supervision. These guidelines are designed to promote optimal developmental outcomes and minimize risks in childcare environments.

In conclusion, we believe that adopting Utah DLBC Office of Licensing Child Care, child ratio to staff rules and guidelines will ensure that Murray City's in home license Daycares are in alignment with best practices and state regulations.




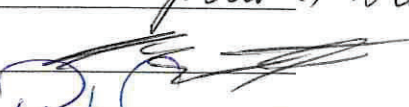
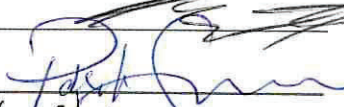
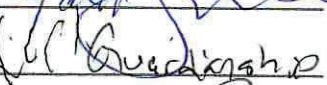
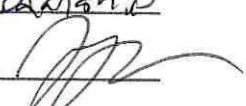
Thank you for considering this important matter. We pray that the Murray City Council will adopt the child to staff ratio rules and guidelines that align with the Utah DLBC Office of Licensing Child Care.

By signing this petition, we affirm our commitment to improving child care standards in Murray City.

Name

Address

Signature

Amy Blackwell	940 West Walden Meadows Dr	
Ryder Blackwell	940 West Walden Meadows Drive	
Spencer Richards	5553 S. WALDEN WOOD CIR	
Nolan Richards	5493 Walden Wood Circle	
Patrick Spencer	5474 Walden Wood Cir	
Olivia Spencer-Ada	5474 Walden Wood Cir	
Jennifer Spencer	5474 Walden Wood Cir Murray, UT 84123	

Petition to align Murray City, Utah with the same child to staff ratio guidelines of the DLBC office of Licensing Child Care, Utah.

Pg2

Name	Address	Signature
JARED ASHTON	5483 Walden Wood Cir	Jared Ashton
Kalee Greenlaw	54715 Walden Wood Cir	Kalee Greenlaw
RUSTI TOWNSEND	5494 S WALDEN WOOD CIR.	RUSTI TOWNSEND
BOB ANDERSON	5495 S. SWEETWOOD CR	B.S. Anderson
Elsa Kartchner	5475 Sweetwood Cir	Elsa Kartchner
Enn Adams	5472 S. Sweetwood Cir	eladams
Diane Browning	5468 S. Sweetwood Cir	Diane E. Browning
Jan Bouilly	1040 W. Walden Meadows Dr.	Jan Bouilly
Tom Hoffmann	5479 S. HOLLAND SPRINGS CIR	Tom Hoffmann
Peter Shelton	6881 S. Walden Meadows Drive	Peter Shelton
Karen Bell	1084 Walden Meadows Dr	Karen Bell
DON HOMPSON	1053 W WALDEN MEADOWS	Don H. H.
Allison Chavez	1015 Walden Meadows Dr.	Allison Chavez
MARK Lindstrom	977 Walden Meadows Dr	Mark Lindstrom
KATHLEEN LESYARD	5528 WALDEN MEADOWS CIR	Kathleen Lesyard
DIONNE RILEY	5533 S Walden Meadows Cir	Dionne Riley
LEWIS WALKER	934 W. WALDEN MEADOWS DR	Lewis Walker
Rebecca Wagner	5169 S. Walden Meadows Lt	Rebecca Wagner
Michelle Funk	5503 S. Walden Meadows Pl.	Michelle Funk
JOHN LEAVITT	5538 WALDEN MD PL	John Leavitt
May Courts	5518 Walden Meadows Place	May Courts

Petition to Comply to DLBC Office of Licensing Child Care, Child to staff Ratio Guidelines in Murray City, Utah

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Name

Address

Signature

Tim Curtis Murray UT

Robert Pyles 8625 S Green Way

Robert Pyles

Brooke Pichard 5431 S. Spinnaker Row.

Brooke Pichard

Larry Huff 934 WALDEN MEADOWS DR.

Larry Huff

Michelle Colburn 8625 S Green Way

Michelle Colburn

Amy Relf-Jarman 5482 S Murray Hollow Ln

Amy Relf-Jarman

Megan Freebairn 5990 Ranske Dr

Megan Freebairn

Van Colburn 597E 8680s Sandy (daycare parent)

Van Colburn

Marie Wilson 427 N 750 S. Syracuse, Utah 84075

Marie Wilson

Kyle Cone 5235 S Glendon St Apt U2

Kyle Cone

Ben Albert 1834 N 120 W ^{tooele ut} ~~84074~~ 84074

Ben Albert

Tahue Bray 4621 S 600e murray, UT 84107

Tahue Bray

Mary Cone 5235 S. Glendon St Apt U2

Mary Cone

Debra Palmer 6216 S 2585 W Taylorsville

Debra Palmer

Amanda Curtis 6321 Maplewood Cir Murray UT 84121

Amanda Curtis

Berto Montes SLU UT

Berto Montes

April Fullmer 915 River Run SLU UT

April Fullmer

Rara Danner Kearns Utah

Rara Danner

Hannah Rowland 6040 S Fontaine Bleu drive 84121

Hannah Rowland

camilla Wright 5510 Walden Meadows PL. Murray

camilla Wright

84123

**Petition to align Murray City, Utah with the same child to staff ratio
guidelines of the DLBC office of Licensing Child Care, Utah.**

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Name

Address

Signature

Name	Address	Signature
Michelle Wright	5510 Walden Meadows Pl	Michelle Wright
Dennis Wright	5510 Walden Meadows Pl	Dennis Wright

CHILD CARE ACCESS IN UTAH

March 2020



**WORKFORCE
SERVICES**
CHILD CARE

An analysis of child care data, as well as survey data, show Utah is experiencing a significant gap between the need for child care and the capacity of Utah's child care system to meet that need. Although government, business leaders and economic development experts should work together to close this gap, the choices that families make selecting a child care program for their young children demonstrates that the entire gap does not need to be closed by regulated child care programs. •

- Utah has a 65 percent gap between the need for child care for children six years and younger and the capacity of regulated programs to fill that need.

- There is significant variation across the state regarding the size of the gap between child care need and child care capacity.

- Not all Utah families utilize regulated child care programs to meet their child care needs and many families rely on unpaid child care, or juggle work schedules with spouses to ensure one parent is at home caring for their young children.

- Utah needs to expand its early child care and education system to add approximately 274 licensed-center child care programs and 1,258 licensed-family child care programs to accommodate the preferences of Utah families.

These increasing demands on early child care and education providers—more need for child care and higher quality care—is limiting access to child care statewide. Throughout the state, these compounding pressures are an increasing concern for Utah employers who face challenges filling positions, as well as maintaining a stable workforce. Nationally, \$57 billion is lost each year in earnings, productivity and revenue due to the lack of affordable, reliable, high-quality child care.⁷

7 Belfield CR. The Economic Impacts of Insufficient Child Care on Working Families. Washington D.C.; 2018. Available at <https://strongnation.s3.amazonaws.com/documents/522/3c5cdb46-eda2-4723-9e8e-f20511cc9f0f.pdf?1542205790&inline;%20filename=%22The%20Economic%20Impacts%20of%20Insufficient%20Child%20Care%20on%20Working%20Families.pdf%22>.

Currently, 54 percent of Utah children under age six are living in families for which there is a child care need. This rate equates to 157,345 children.⁸ The child care need varies throughout the state, with the highest rate of need in Grand County and the lowest in Daggett County

8 U.S. Census, Age of Own Children Under 18 Years in Families and Subfamilies by Living Arrangements by Employment Status of Parents, 2018: ACS 5-Year Estimates.

County	Number of Children Under 6 w/Child Care Need	rate of children Under 6 w/Child Care Need
Grand	465	74%
Wasatch	1,904	69%
Summit	1,786	66%
Wayne	114	66%
Kane	331	62%
Weber	14,017	61%
Piute	65	58%
Salt Lake	58,834	57%
Garfield	184	54%
Morgan	636	53%
Sevier	929	53%
Carbon	803	52%
Sanpete	1,209	52%
Uintah	2,039	52%
Box Elder	2,931	51%
Juab	583	49%
Tooele	3,044	49%
Iron	2,271	48%
Millard	570	48%
Washington	6,735	48%
Davis	16,934	47%
Cache	5,962	46%
San Juan	627	45%
Emery	410	44%
Beaver	278	40%
Duchesne	952	40%
Utah	26,887	40%
Rich	67	34%
Daggett	13	32%

Pg7

The state of Utah defines child care as care of a child by a responsible person who is not the child's parent or legal guardian, for a portion of the day that is less than 24 hours in a qualified setting.⁹ Although a program may meet the definition of child care, the regulatory structure differs among types of child care programs. There are programs that are regulated and hold either a child care license or some other government certification, such as a residential care certificate or statutorily licensed-exempt status. In Utah, these types of child care programs are regulated by the state and subject to meeting specific health and safety requirements that are verified during unannounced, annual inspections. In addition, there are unregulated and informal child care settings families select for their young children

9 Utah Code §35A-3-102

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In Utah's licensing system, a licensed family child care program may be licensed to serve a maximum capacity of either eight or 16 children, depending on the licensing type. Among child care programs serving more than 16 children, the program is required to be licensed as a child care center. Utah's licensed-centers care for an average of 92 children in each child care program. Among the 45,292 estimated to utilize paid child care, approximately 20,130 will receive care in a licensed-family child care setting and 25,162 children will receive care in a licensed-center child care setting. In meeting the needs of these children, it is estimated that Utah will need to expand its early child care and education system to add approximately 274 licensed-center child care programs and 1,258 licensed family child care programs to accommodate the preferences of Utah families. APPENDIX 3. Estimated Child Care Programs Needed by County

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UTAH HAS AN EXISTING CHALLENGE regarding child care access that is impacting both the economics of the state and the economics of families. Its current early child care and education system lacks the capacity to meet the child care needs of families. Throughout Utah, the need is not uniform, with some counties having a greater need for child care than others. Although there is a significant gap between the need for care and the capacity of the existing child care system, not all families with a child care need are choosing regulated child care. However, this analysis establishes a need for Utah to increase the capacity of its regulated child care system.

Melanie Jenkins

6231 S Fashion Blvd
10 East 4800 South
Murray, Ut, 84107 385-424-6447

Murray City Council Murray, Utah

Subject: Request to Align Murray City Daycare Regulations with State Licensing Standards

Dear Murray City Council Members,

I am Melanie Jenkins, a licensed home daycare provider in Murray, Utah, writing on behalf of myself and fellow providers to express our serious concerns about a recent city directive that reduces the number of children we can care for, conflicting with the standards set by the Utah Department of Licensing and Background Checks (DLBC) Office of Licensing. For the past three years, we have operated in full compliance with state regulations, and this local restriction threatens the stability of our businesses and the families we serve.

As dedicated professionals, we prioritize creating a safe, loving environment for the children in our care, building strong relationships with them and their families. However, Murray City's more restrictive policy creates significant challenges that undermine our ability to meet these commitments.

Trusting Expert Standards

The Utah DLBC Office of Licensing establishes childcare regulations under R430-90, covering facility requirements, ratios, and group sizes. These rules, crafted by experts with access to the best research, ensure a balance between child safety and the practical needs of providers. We have relied on these standards as the statewide benchmark, making the city's conflicting policy both unexpected and disruptive. Aligning with the state's expertise would provide consistency and clarity for our operations.

Hardship on Families and Children

The city's reduced capacity limit forces us to turn away children, disrupting the lives of families who depend on us. Many of these children have been in our care for years, forming deep bonds that provide them with security. Uprooting them to unfamiliar settings would be emotionally challenging, while their parents face the daunting task of finding new care options. Additionally, this restriction cuts off after-school care for older children, leaving them unsupervised at home—a safety concern that burdens working families.

Financial and Economic Impacts

Operating a home daycare is a small business with tight margins. State rules allow us to hire additional staff as our enrollment grows, but the city's stricter cap limits our revenue, making it nearly impossible to sustain wages and overhead costs. Without alignment to state standards, some providers may be forced to close, shrinking childcare availability in Murray and pushing families to seek options elsewhere, taking their spending with them.

Supporting Murray's Growth

Murray is expanding, with new families moving into multi-family housing and needing reliable childcare. The city's restrictive policy hampers our ability to serve them, driving economic activity to neighboring cities instead. Aligning with state regulations would keep families—and their dollars—in Murray, supporting local businesses and community vitality.

Preserving Trusted Providers

Providers like Miss Amy's Daycare, with 23 years of service and a strong standing with the DLBC, are cornerstones of this community. We support families as their children grow, from infancy to kindergarten, and beyond. The city's limits force us into impossible choices—splitting siblings between providers or losing entire families—threatening our ability to continue this legacy of care.

After-School Care Needs

Our after-school programs provide school-age children with supervision, homework help, and social opportunities. The city's policy eliminates this critical service, leaving kids home alone and parents caught between work and safety. State standards would allow us to maintain this lifeline for working families.

Our Request

We respectfully urge the Murray City Council to align its childcare regulations fully with those of the Utah DLBC Office of Licensing, trusting the state's expertise over arbitrary local limits. This would:

- Keep children in familiar, nurturing environments.
- Ease the burden on families seeking care.
- Sustain our small businesses.
- Boost Murray's economy by retaining local families.
- Ensure safe after-school options for older children.

We are committed to Murray's well-being and eager to collaborate. Please consider this request and allow us to discuss it further at your convenience. Thank you for your time and attention.

Sincerely,

Melanie Jenkins

385-424-6447

Emily Johnston
1291 W Bullion
Murray, Ut, 84123 385-424-6447

Murray City Council

Murray, Utah

Subject: Request to Align Murray City Daycare Regulations with State Licensing Standards

Dear Murray City Council Members,

As a professional home daycare provider in Murray, Utah, I am writing to respectfully request that the city align its childcare regulations with the standards set by the Utah Department of Licensing and Background Checks (DLBC) Office of Licensing. Recently, Murray City introduced a local directive that limits the number of children I can care for, creating a conflict with the state's established licensing rules, which I have followed diligently for the past three years while maintaining full compliance.

My daycare is a professional operation dedicated to providing a safe, nurturing environment where I foster strong, trusting relationships with the children and families I serve. I am deeply committed to their well-being, which is why this discrepancy between city and state regulations raises significant concerns for my business and the community I support.

Trusting Expert Standards

The Utah DLBC Office of Licensing is staffed by childcare experts who rely on the latest research and best practices to establish regulations under R430-90, including facility requirements, ratios, and group sizes. These standards are carefully designed to ensure safety while supporting the practical needs of providers and families. As a licensed provider, I have operated confidently under these rules, believing they represent the most informed and balanced approach to childcare. Murray City's more restrictive local policy, however, deviates from this expertise, creating an unnecessary challenge without clear justification.

Challenges for Families

If forced to comply with the city's stricter limits, I would have to reduce the number of children in my care, disrupting the lives of families who depend on me. Many of these children have been with me for years, forming bonds that provide them with stability and security. Sending them to unfamiliar providers would be emotionally difficult for them and stressful for their parents, who may struggle to find comparable care. Additionally, this

restriction would prevent me from serving school-age children in my after-school program, leaving them without a safe, supervised environment and increasing risks to their well-being.

Financial Sustainability

Running a home daycare is a small business that requires careful financial balance. The state's licensing rules allow me to hire additional staff as needed while maintaining a sustainable income. Murray City's more restrictive cap undermines this balance, making it difficult to cover operational costs and remain viable. If this policy continues, I fear it could force me—and other providers—to close, reducing childcare options in our community.

Supporting Murray's Growth

Murray is a growing city, with new families settling into multi-family developments and seeking reliable childcare. When local regulations are more restrictive than state standards, I am forced to turn away families, pushing them to seek services outside Murray. This not only limits our ability to support new residents but also drives economic activity—such as spending at local businesses—elsewhere, weakening our community's vitality.

After-School Care Needs

One of my key contributions is providing structured after-school care for older children, offering homework help, social engagement, and supervision. The city's current limits prevent me from accommodating these children, leaving working parents without a critical resource and forcing kids into potentially unsafe situations, like being home alone. Aligning with state standards would allow me to continue this essential service.

My Request

I respectfully urge the Murray City Council to fully align its childcare regulations with those of the Utah DLBC Office of Licensing in every aspect. The state's experts have the research and experience to set appropriate limits, and matching their standards would:

- Keep children in a stable, loving daycare environment.
- Reduce stress on families who rely on my services.
- Ensure my small business remains sustainable.
- Retain economic activity within Murray by serving local families.
- Provide supervised after-school care for older children.

I am proud to serve Murray's families and want to continue doing so effectively. Rather than locking in specific numbers that may evolve over time, I ask for a policy that trusts the state's childcare experts to guide us. I'd welcome the opportunity to discuss this further and find a solution that benefits our community. Thank you for your consideration.

Sincerely,

Emily Johnston
Emily Johnstons Childcare
385-424-6447