



Murray City Planning Commission Meeting
Notice of Meeting and Agenda

Thursday, September 4th, 2025

Pre-Meeting: 6:00 p.m. (Poplar Room #151, Public Welcome)

The pre-meeting is to briefly review the agenda items and ask any questions to staff.

Meeting Time: 6:30 p.m.
Murray City Hall, 10 East 4800 South, Council Chambers

The public may view the Murray Planning Commission meeting via live stream at www.murraycitylive.com or <https://www.facebook.com/Murraycityutah/>. You may submit comments via email at pc@murray.utah.gov. Comments are limited to 3 minutes or less, and written comments will be entered into the meeting record. Please include your name and contact information.

Supporting materials are available at <https://www.murray.utah.gov/779/Agendas-Attachment>.

CALL MEETING TO ORDER

BUSINESS ITEMS:

1. Approval of Minutes
 - a. August 7th, 2025
2. Conflict(s) of Interest
3. Approval of Findings of Fact
 - a. Murray Block One – Design Review

DESIGN REVIEW(S) – ADMINISTRATIVE ACTION

4. Lofts on Vine Project #25-010
368 West Vine Street
The applicant is requesting design review for a mixed-use project in the MCMU zone.

SUBDIVISION(S) – ADMINISTRATIVE ACTION

5. Lofts on Vine Project #25-011
368 West Vine Street
The applicant is requesting subdivision approval for a mixed-use project in the MCMU zone.
6. Murray Block One Subdivision Amendment Project #25-086
4816, 4836-4844, 4854, 4858-4860, 4868 South State Street, 65, 75 East Fifth Avenue, and 4843, 4837 South Poplar Street
The applicant is requesting subdivision amendment approval for the Murray Block One Subdivision.

ZONE MAP AMENDMENT(S) – LEGISLATIVE ACTION

7. Lusso Office Services
6446 South 900 East

Project #25-085

The applicant is requesting a zone map amendment to change a property from R-1-8 to R-N-B.

ANNOUNCEMENTS AND QUESTIONS

ADJOURNMENT

The next scheduled meeting will be held on Thursday, September 18th, 2025, at 6:30 p.m. MST in the Murray City Council Chambers, 10 East 4800 South, Murray, Utah.

Those wishing to have their comments entered into the record may send an email by 5:00 p.m. the day prior to the meeting date to pc@murray.utah.gov. Comments are limited to three minutes or less (approximately 300 words for emails) and must include your name and address.

Special Accommodations for the hearing or visually impaired will be made upon a request to the office of Murray City Recorder (801-264-2662). We would appreciate notification two working days prior to the meeting. TTY is Relay Utah at #711.

Committee members may participate in the meeting via telephonic communication. If a Committee member does participate via telephonic communication, the Committee member will be on speakerphone. The speakerphone will be amplified so that the other Committee members and all other persons present will be able to hear all discussions.

No agenda item will begin after 10:00 p.m. without a unanimous vote of the Commission.

At least 24 hours prior to the meeting, a copy of the foregoing notice was sent to the City Recorder to post in conspicuous view in the front foyer of the Murray City Center, Murray, Utah. A copy of this notice was also posted on Murray City's internet website www.murray.utah.gov and the state noticing website at <http://pmn.utah.gov>.



MURRAY CITY PLANNING COMMISSION

MEETING MINUTES

August 7, 2025

6:30 P.M. MDT

Murray City Council Chambers, 10 East 4800 South, Murray, Utah

CALL MEETING TO ORDER

MEMBERS PRESENT

Present: Michael Richards, Chair
Pete Hristou, Vice Chair
Aaron Hildreth
Peter Klinge
Jake Pehrson
Katie Rogers
Mark Richardson, Deputy Attorney
Chad Wilkinson, CED Director
Ruth Ruach, Planner I
Members of the Public (per sign-in sheet)

Excused: Ned Hacker
Zachary Smallwood, Planning Division Manager
David Rodgers, Senior Planner

Chair Richards called the meeting to order at 6:34 p.m.

STAFF REVIEW MEETING

The Staff Review meeting was held from 6:00 p.m. to 6:30 p.m. The Planning Commission members briefly reviewed the applications on the agenda. An audio recording is available at the Murray City Community and Economic Development Department Office.

BUSINESS ITEM(S)

APPROVAL OF MINUTES

Commissioner Klinge made a motion to approve the minutes for July 3, 2025. Seconded by Vice Chair Hristou. A voice vote was made, with all in favor.

CONFLICT(S) OF INTEREST

There was no conflict of interest for this meeting.

APPROVAL OF FINDINGS OF FACT

Commissioner Pehrson made a motion to approve the findings of facts for Legacy Materials conditional use permit revocation, Automotive Addiction Museum conditional use permit, and the 1151 East subdivision. Seconded by Commissioner Rogers. A voice vote was made, with all in favor.

CONDITIONAL USE PERMIT(S) – ADMINISTRATIVE ACTION

Automotive Addiction Museum - Project #25-082 - 158 East 4500 South - Amended Conditional Use Permit to allow auto sales on the subject property

Iyar Koren was present to represent the request. Ruth Ruach presented the application requesting a conditional use permit amendment to allow auto sales on the subject property, located in the C-D zone. She reminded the commissioners that they had previously approved a conditional use permit for the applicant. The permit must be amended to include auto sales. The zoning and development standards remain the same as the original application. Notices were sent to surrounding properties, with no comments being received. Staff recommends that the Planning Commission approve the amended conditional use permit.

Iyar Koren approached the podium. Chair Richards asked if he had read and could comply with the conditions. Mr. Koren said yes.

Commissioner Klinge asked Mr. Koren to explain how car sales will work on the property. Mr. Koren said they will have cars stored inside, which can be viewed online. The cars are sold on consignment.

Chair Richards opened the agenda item for public comment. Seeing no comments, the public comment period was closed.

Commissioner Hildreth made a motion that the Planning Commission approve a conditional use permit amendment to allow auto sales at 158 East 4500 South, subject to the following conditions:

1. The applicant shall comply with all previously approved conditions from the original Conditional Use Permit for the automotive storage facility and museum (Project #25-069).
2. The applicant shall obtain a Murray City Business License that includes auto sales prior to beginning operations.
3. The applicant shall comply with all applicable city ordinances, building codes, and fire codes related to the operation of auto sales.

Seconded by Commissioner Rogers. Roll call vote:

A Hildreth
A Hristou
A Klinge
A Pehrson

A Richards
A Rogers

Motion passes: 6-0

AJ HVAC & Property Services - Project #25-081 - 1512 East Greenfield Avenue - Request for approval for a Major Home Occupation to establish an office for an HVAC and property services business

Perla Lee Polendo was present to represent the request. Ruch Ruach presented the application requesting approval to conduct office activities related to heating, ventilation, and air conditioning (HVAC) and property services at their place of residence as a major home occupation business, in the R-1-8 zone. The applicant stated there will be no employees or customers at the residence. Ms. Ruach showed the floor plan and site plan for the business. Notices were sent to adjacent properties, with one comment being received regarding parking. Staff recommends that the Planning Commission approve the request for a major home occupation to allow an office for an HVAC and Property Services business.

Perla Lee Polendo approached the podium. Chair Richards asked if she had read and could comply with the conditions. Ms. Polendo said yes.

Chair Richards opened the agenda item for public comment. Seeing no comments, the public comment period was closed.

Commissioner Klinge made a motion that the Planning Commission approve the request for a Major Home Occupation to allow office activities for an HVAC and property services business from the residential property addressed 1512 East Greenfield Avenue, as reviewed in the staff report and subject to the following conditions:

1. The applicant shall not have clients at the residence after 6:00 p.m.
2. All materials shall be located within the primary dwelling, no accessory structures may be used.
3. The applicant shall work with Planning Staff to ensure that the area for the home occupation is less than 25% of the main dwelling area.
4. The applicant shall comply with all requirements of Fire and Building Codes, and all State and County Health Department requirements.
5. The business shall, at all times, be conducted in accordance with all applicable requirements of Chapter 17.24, Major Home Occupations.
6. The applicant shall obtain the necessary home occupation business license.

Seconded by Vice Chair Hristou. Roll call vote:

A Hildreth
A Hristou
A Klinge
A Pehrson
A Richards
A Rogers

Motion passes: 6-0

GENERAL PLAN & ZONING MAP AMENDMENT(S) – LEGISLATIVE ACTION

Ville Property Management - Project #25-027 & #25-028 - 975 East 6600 South - Zone Map
Amendment from G-O, General Office to VMU, Village Mixed Use and Future Land Use Map from
Office to Village & Centers Mixed Use in conjunction with a development agreement

Keith Warburton was present to represent the request. Chad Wilkinson presented the application for a Future Land Use Map and Zoning Map amendment in conjunction with a development agreement to facilitate a deeply affordable housing project. Mr. Wilkinson said the request is for a land use map change from G-O (General Office) to VMU (Village Mixed Use) and a zoning change from G-O to Village and Centers Mixed Use. He showed the property on a map, which included surrounding land uses and zoning. He described the standards and uses for the VMU zone. Staff determined that this project required a development agreement. Mr. Wilkinson elaborated on reasons for considering a development agreement. He said the reason, in this case, is that there's been a change in circumstances since the general plan was adopted. He said there is an issue with crime at the property. The city wants to encourage redevelopment in the area. The existing hotel is legal non-conforming use and needs to be adopted to another type of land use. The applicant would like to convert it to multi-family affordable housing. He said the development agreement will create parameters to ensure the property is developed in a way that ensures the goals of the city are accomplished. Mr. Wilkinson outlined the specific requirements of the development agreement, which included a residential component, commercial space for the general public, and compliance with city and VMU code standards. The applicant proposed some changes to the structure to accommodate the requirement for commercial space. Public notices were sent to nearby property owners. Four public comments were received via email were forwarded to the Planning Commission. He said the VMU zone has five criteria. Staff finds that the application meets those criteria. Mr. Wilkinson detailed how each of the criteria will be met. Staff recommends that the Planning Commission forward a recommendation of approval to City Council for this proposed zone change.

A discussion was had regarding the development agreement. They discussed that it's possible to set a timeline for completion. Mr. Wilkinson said that the Planning Commission will have review authority over the administrative portion of the agreement. He said they will also have the chance to review the Master Site Plan review.

Keith Warburton approached the podium. Chair Richards asked if he had read and could comply with the conditions of development agreement. Mr. Warburton said yes.

Commissioner Pehrson asked Mr. Warburton about the logistics of the commercial space.

Commissioner Pehrson asked Mr. Warburton if he plans in renovating the outside of the building. He said yes, they will make improvements.

Commissioner Pehrson asked what a reasonable timeline for completion of the development agreement would be. Mr. Warburton said he thinks two years is a reasonable timeline.

Commissioner Klinge asked who he had in mind for residents. Mr. Warburton anticipates a higher population of seniors. Commissioner Klinge asked if there will be elevators to accommodate

seniors. He said no. There will be ADA accommodating apartments on the bottom floor. They will allow wheelchair access.

Commissioner Hildreth asked about security on the property. Mr. Warburton said there will be cameras, especially in parking lots. There will not be onsite security staff. Commissioner Hildreth asked if these rentals will function like an extended stay hotel, being rented weekly or monthly. Mr. Warburton said only annual leases will be offered.

Commissioner Klinge asked if all of the occupants will be low-income. Mr. Warburton said yes. He said they have a housing grant from the State of Utah.

A discussion was had regarding the difference between permanent supportive housing and deeply affordable housing. This development is deeply affordable housing, which offers wrap-around services, but not 24-hour care services, like permanent supportive housing. He said they will have some case managers onsite.

Chair Richards opened the agenda item for public comment.

Marianne Ross expressed her concerns with Mr. Warburton's project. She shared research she'd done on other affordable housing projects he's been involved in. She said that he's been involved in multiple failed projects. She said the tenants on his properties have engaged in drug trafficking and the properties are not well monitored. She wants to know if background checks will be done for the residents and if inspections will be done. She asked if the city has any oversight in the property.

Drew Ross said he's seen crime grow rapidly in the area because of similar property near his home. He encouraged the council to study the properties Mr. Warburton has been involved with already, as well as other similar properties, before they make their decision. He said he'd rather see it become a commercial building.

Lorenz Rindlisbacher, from Investment Group Property, said he feels that since this building has been such an issue with drug trafficking and crime, it should be torn down and rebuilt. He said they have lodged many of the complaints to police for this property. He feels this request needs to be considered in terms of what is needed in the area. He said this development agreement is premature. If this is approved, he asked that guardrails are in place to ensure the development is done properly.

Chair Richards closed the public comment period for this agenda item.

Chad Wilkinson addressed public comments. He acknowledged the high crime in the area and said that's why they are entertaining this option as a solution. He said he'll let the applicant address the level of investment the applicant is making on the interior, that will result in a high-quality development. He said it is the task of the Planning Commission to determine if this project fits the area and meets the criteria for a high-quality development and if it the best and highest use for the property.

Chair Richards asked if Murray City could contribute funds to the project to ensure it's high-quality. Mr. Wilkinson said no, there's no subsidy being offered. The city's role is limited to land use.

Chair Richards asked for the details of guardrails for the agreement and what will happen if the agreement is not met. Mr. Wilkinson said, if the request is forwarded to the City Council and approved by them, the applicant will need to apply for building permits and a business license, as well as obtain land use approval from the Planning Commission to proceed. If these items are not completed, the zone request will be rescinded. The property will go back to its original zoning.

Commissioner Pehrson asked if they can make the recommendation to the City Council contingent upon a completion date of two years. Mr. Wilkinson said that would be a good idea. He recommended adding that the initial construction and establishment of use be completed within two years.

Vice Chair Hristou asked if the objective to determine if they feel the VMU is appropriate for the parcel, not what they think about the project. Mr. Wilkinson said that is the big issue.

Chair Richards asked if the spot zone is truly the best recommendation for this property. Mr. Wilkinson said that spot zoning is not inherently wrong and is a common practice. He said that the VMU zone does have a set of criteria projects must meet. Staff feel this project meets the required set of criteria. He said that the Planning Commission can decide that they don't agree with staff's findings.

Commissioner Rogers confirmed that the Planning Commission is considering a zone change and approval of a specific project. Mr. Wilkinson said that's correct.

A discussion was had regarding the best and highest use of the property. Some commissioners felt that commercial use would be more appropriate. Vice Chair Hristou said he's conflicted on what is the best use.

Commissioner Pehrson asked the applicant how much money he plans on investing into improvements. Mr. Warburton said it will be close to four million dollars. Commissioner Pehrson asked him if he'd be opposed to putting a required dollar amount in the development agreement. Mr. Warburton said yes, he would be opposed to it. Commissioner Pehrson said that five goals must be met to be considered high quality development and proper funds need to support that and that it shouldn't just be aesthetic. Mr. Warburton said that the property already has some high-quality features and doesn't want to be held to a specific dollar amount if it isn't needed. Commissioner Pehrson expressed he has concerns that not being held to some financial standard will result in the property not being a high-quality development.

A discussion was had regarding whether the VMU is the best and highest use of this property in this location. Chair Richards asked the implications of not approving the zone change and project. Mr. Wilkinson said that the Planning Commission could make a recommendation that the City Council not approve the application. The City Council can go with the recommendation or choose to approve. If they deny the application, the applicant must wait one year before reapplying.

Commissioner Pehrson said that just having low-income housing doesn't lead to increased crime rates. He feels that crime would decrease with the proposed project. He feels the mix of commercial with residential will be an improvement. He agrees with other commissioners that VMU may not be the best fit.

Chair Richards asked what would happen if the commission did not make a motion. Mr. Wilkison said they need to have a decision, but there are a variety of motions they could make. He said they could recommend approval, denial or that the item be tabled. He doesn't feel there's a reason to table the item.

Commissioner Pehrson made a motion that the Planning Commission forward a recommendation of approval to the City Council for the requested amendment to the Future Land Use Map, re-designating the property located at 975 East 6600 South from Office to Village & Centers Mixed Use subject to approval of a development agreement, with the condition that the development is completed within two years.

Seconded by Vice Chair Hristou.

Commissioner Hildreth asked if they should have made a recommendation of denial instead.

A discussion commenced related to the proper motion and whether an amended motion would need to be made if the current motion failed. Mr. Wilkinson clarified that the commission did not have to make an amended motion if the current motion to approve failed.

<u>N</u>	Hildreth
<u>N</u>	Hristou
<u>N</u>	Klinge
<u>N</u>	Pehrson
<u>N</u>	Richards
<u>N</u>	Rogers

Motion fails: 0-6

ANNOUNCEMENTS AND QUESTIONS

The next scheduled meeting will be held on August 21, 2025, at 6:30 p.m. MST in the Murray City Council Chambers, 10 East 4800 South, Murray, Utah.

ADJOURNMENT

Chair Richards adjourned the meeting at 8:05 p.m. MDT.

A recording of this meeting is available for viewing at <http://www.murray.utah.gov> or in the Community and Economic Development office located at 10 East 4800 South, Suite 260.

The public was able to view the meeting via the live stream at <http://www.murraycitylive.com> or <https://www.facebook.com/Murraycityutah/>. Anyone who wanted to make a comment on an agenda item was able to submit comments via email at planningcommission@murray.utah.gov.

Zachary Smallwood, Planning Division Manager
Community & Economic Development Department

MURRAY CITY PLANNING COMMISSION FINDINGS OF FACT AND CONCLUSIONS

PROJECT NAME: Block One

PROJECT NUMBER: PZ-25-076

APPLICANT: Rockworth Companies

APPLICATION TYPE: Design Review

I. REQUEST:

The applicant is requesting design review approval for a horizontal mixed-use development on the properties that are known collectively as block one.

II. MUNICIPAL CODE AUTHORITY:

Section 17.171.100 of the Land Use Ordinance outlines the process for review of applications located within the City Center Form Based Code District (CC-FBC). New construction within the Boulevard and Civic Center districts greater than 1 acre or buildings greater than 20,000 square feet requires approval by the Planning Commission after obtaining a recommendation from the Architectural Review Committee.

III. APPEAL PROCEDURE:

Municipal Code Section 17.16.030 provides details for requesting an appeal of the Planning Commission's decision on a land use application that is heard by the Hearing Officer. An application for appeal must be presented within 10 calendar days after the approval of these findings of fact.

IV. SUMMARY OF EVIDENCE:

- A.** The basic facts and criteria regarding this application are contained in the staff report, which is attached as **Exhibit A** and is incorporated herein.
- B.** The minutes of the public meeting held by the Planning Commission on August 21, 2025 which are attached as **Exhibit B** summarize the oral testimony presented and are hereby incorporated herein.

V. FINDINGS OF FACT:

Based upon the information presented and oral testimony given the planning commission found that the request meets the standards contained in Section 17.56.060 based on the findings below:

1. The proposed mixed use development is consistent with the goals and objectives of the Murray City General Plan.

2. The proposed development is in harmony with the standards and intention of the form based code and the downtown strategic plan.
3. The proposed buildings and materials reflect the historic context of existing buildings along the State Street corridor.
4. With conditions, the proposed development complies with the requirements of the City Center Form Based Code and other applicable standards of the Murray City Land Use Ordinance.

VI. DECISION AND SUMMARY

The Planning Commission **APPROVED** the request for a horizontal mixed used development on the property. The vote was 6-0 with Commissioners Hildreth, Klinge, Pehrson, Rogers, Hristou, and Richards in favor and none opposed. The approval is contingent on the following conditions:

1. The applicant shall meet all Murray City Engineering Division requirements.
2. The applicant shall meet all Murray City Water and Wastewater Requirements.
3. The applicant shall meet all Murray City Fire Department Requirements.
4. The applicant shall meet all Murray City Power Department Requirements.
5. The applicant shall obtain the appropriate building permits prior to construction on the properties.
6. The applicant shall consolidate the multiple properties and record an amended subdivision plat prior to certificate(s) of occupancy.
7. The applicant shall work with Staff to ensure that all standards in the Form Based Code are addressed.
8. The applicant shall construct the project as depicted in this staff report.
9. The applicant shall ensure that any new business obtains a Murray City Business License prior to conducting operations.

**FINDINGS OF FACT APPROVED BY THE MURRAY PLANNING COMMISSION
THIS 4th DAY OF September, 2025.**

Michael Richards, Chair
Murray City Planning Commission



AGENDA ITEM # 04 & 05 Vine Street Lofts

ITEM TYPE:	Design Review, Conditional Use Permit, and Preliminary Subdivision		
ADDRESS:	368 West Vine Street	MEETING DATE:	September 4 th , 2025
APPLICANT:	Adam Maher	STAFF:	David Rodgers, Senior Planner
PARCEL ID:	21-12-177-009	PROJECT NUMBER:	25-010 & 011
ZONE:	MCMU, Murray Central Mixed Use		
SIZE:	.20-acre site 5,201 ft ² building 4 units / 682 ft ² of commercial space		
REQUEST:	The applicant is requesting Design Review and Preliminary and Final Subdivision approval to allow the development of a mixed-use project.		



I. LAND USE ORDINANCE

The Murray Center Mixed Use Zone (MCMU) is intended to encourage compact, carefully planned mixed-use projects in the core of Murray City. This is done by emphasizing pedestrian-oriented design, promoting development, and protecting the public health, safety, and welfare of the residents and visitors of Murray in the vicinity of the Murray Central Frontrunner and Trax stations.

The proposed project is a mixed-use residential project that includes the subdivision of Condominium units. This requires a conditional use permit under Section 17.62 of the Land Use Ordinance. Title 16, Subdivision Ordinance, Section 16.04.040(F) requires the applications for subdivision of property to be reviewed and approved by the Murray City Planning Commission as the land use authority. This proposed subdivision has been designed to meet the requirements of both the MCMU zone and Code Section 17.62 Condominiums.

II. BACKGROUND

The applicant is proposing a new mixed-use development that consists of four new condo units with one having ground floor commercial. These condos will include a large commercial garage and an upper floor that may be used as either office space or a living area.

Project Location

The subject property is located on Vine Street east of Murray Boulevard. The property is adjacent to the I-15 Corridor, though has no access to the freeway. The property is currently a vacant single-family home that was constructed before the MCMU Zone was established. This site is located within the MCMU West Subdistrict due to being located west of I-15.

Surrounding Land Use and Zoning

<u>Direction</u>	<u>Land Use</u>	<u>Zoning</u>
North	Mixed-Use	MCMU
South	General Office	G-O
East	Freeway Right of Way	MCMU
West	Single family residential	MCMU

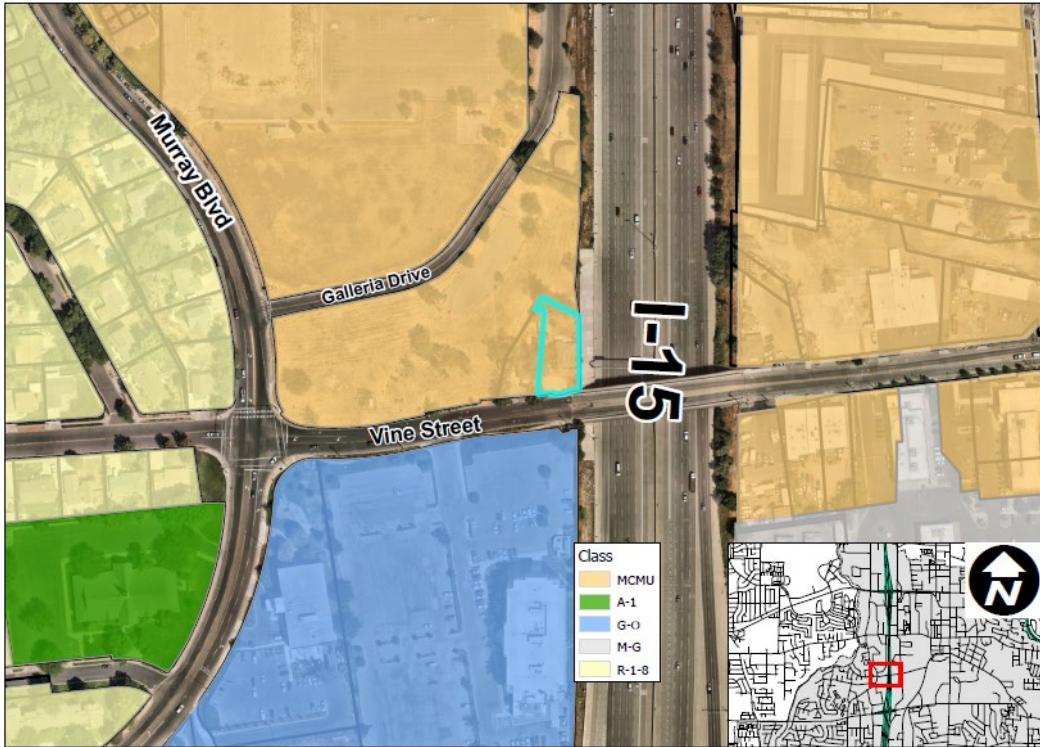


Figure 1: Zoning Map

Project Description

Lofts on Vine is a proposed mixed-use development consisting of four (4) units. All four (4) of these units are residential, while one of the units has 682 sq. ft. of commercial space. This development is located on approximately .20 acres off Vine Street and next to the bridge over I-15.

The proposed condominium units are all between 1,100 sq. ft. and 1,700 sq. ft. in size. The applicant is requesting design review for the new mixed-use structure in the MCMU zone along with a Conditional Use Permit to allow for Low Rise Condominium approval that allows for a subdivision of a parcel into four different units.

Process

The application before the Planning Commission is for Design Review, Conditional Use Permit approval for Condominiums, and Preliminary and Final Subdivision approval. If the Planning Commission approves all the applications, the applicant will work with the Engineering Division to complete a Final Plat. When the final subdivision is approved and the Final Plat has been accepted by the City Engineer, it will be circulated for signatures of approval which will allow the recordation of the Plat at the Salt Lake County Recorder's Office.

III. Design Review

Residential Density

The MCMU code specifies the amount of density permitted based on the subdistrict of the zone and the distance from the Murray Central Station. The West subdistrict of the MCMU allows for 40 units per acre regardless of the distance from the station. The site for this project is .20 acres which allows for up to eight (8) housing units. The applicant is proposing four (4) units, with three (3) that are proposed as residential and one (1) that is residential with a commercial component on the ground floor. The applicant meets the residential density requirement.

Required Commercial

The MCMU zone requires a commercial use on all mixed-use projects located adjacent to a principal street. Vine street has been identified in the code as a principal street. This application is a vertical mixed-use project which is located within a half (½) mile from the Murray Central Frontrunner platform. This requires 75% of the width of the ground floor to have commercial and retail uses for a depth of forty feet (40') of the building. Based on the distance from the Frontrunner platform and the proposed length of the building, the applicant is required to have 1,220 sq. ft. of commercial space on the ground floor of the unit adjacent to Vine Street. This is calculated by taking the width of the building (40'8") and multiplying it by 0.75. The result is a net width of 30'6". By multiplying that by the required depth of forty feet (40'), the result is 1,220 sq. ft. of commercial.

The applicant has requested to reduce the required commercial space for the proposed project. The code allows for such a reduction if certain conditions are met. The applicant has requested a reduction to 75% of the required commercial. The following chart indicates what the requirements are and how much of a reduction of commercial space is permitted:

MCMU West Subdistrict, Reduction of Required Commercial			
Reduction of Required Commercial	Reduction of Allowed Density per Acre	Open Space & Amenities	Affordable Housing
75% of required commercial: fulfill one (1) option	5-9 Units	2 additional outdoor amenities/5% increase in total open space	10% of units reserved for tenants with household incomes no more than 80% of AMI
60% of required commercial: fulfill two (2) options	10-14 units	2 additional amenities/10% increase in total open space	15% of units reserved for tenants with household incomes no more than 80% of AMI

The applicant has proposed 682 sq. ft. of commercial, which is 56% of the required total. If the applicant would like to reduce the amount of required commercial space down to between 60%, and 45% additional requirements must be met. This is discussed in the open space and amenities paragraph below.

Public Improvements

The project frontage along Vine Street will be improved with the 7' wide sidewalks and 8' wide park strips that are required by the MCMU Zone. These improvements will facilitate greater pedestrian comfort along this area and provide a consistent walkway for pedestrians walking along Vine Street.

Access & Circulation

- Vehicular: Vehicle access to the site is provided from Vine Street. The access onto the property is approximately 26' wide and should provide adequate vehicular access.
- Pedestrian: Pedestrian circulation on the site is only shown on the right of way and the eastern side of the site. There are doors to access the residential units from the drive access, but no pedestrian access to these doors has been provided. On the east side of the property, the applicant is showing a five (5') foot path to access the open space near the rear of the building. Staff finds that this access is inadequate due to the small size of the path, which is only five feet (5') in size compared to the standard of seven feet 7' for a sidewalk in this zone. This combined with the lack of pedestrian access to the residential units does not allow adequate pedestrian access and circulation within the site.

Parking

The Murray Central Mixed-Use district is intended to support development patterns which foster higher pedestrian activity and reduce the need for automobiles generally. Because of this, the MCMU has lower parking requirements than would normally be required as part of a traditional multi-family residential development.

Structured parking is highly encouraged in this area. The table below reviews the required and provided parking for the development.

MCMU West Subdistrict Required Parking			
	Requirement	Total Units	Required
Studio	1.25 spaces	0	0
1 Bedroom	1.5 spaces	1	2
2 Bedrooms	2.15 spaces	3	7
3 or More Bedrooms	2.65 spaces	0	0
Commercial	1 space per 300 ft ²	682	3

Total			12 Spaces

The applicant is required to provide twelve (12) parking stalls. The plans are showing sixteen (16) stalls with fourteen (14) stalls designated for residential use and two stalls designated for commercial use. Staff wants to emphasize that tandem parking is only permitted for residential units and may not be used for commercial purposes.

Landscaping, Open Space, & Site Amenities

Developments in the MCMU district require a mix of open and amenity spaces. Projects in this district require a minimum of 15% of the area to be landscaped or used as amenities. The applicant has also decided that they want to provide less commercial space, and this requires them to choose one of the options in the previous shown table.

The option the applicant has chosen is that they will add two additional amenities and a 5% increase in open space. The amenities that have been provided include a hanging bench on the rear of the property and a picnic table that is adjacent to the bench in the open space that is provided. The applicant has indicated that 17% of the site is landscaped, which falls below the 20% required to meet the additional 5% that is needed to reduce the commercial space. The applicant is also missing two five-gallon shrubs that are required along the Vine Street frontage. See below:

Landscaping (Vine Street Frontage)	Required	Proposed
Approximately 40.8 linear feet	1 Trees 2 5-gallon shrubs 4 1-gallon shrubs	3 Trees 0 5-gallon shrubs 3 1-gallon shrubs
Twenty Percent Coverage (10,161 sq. ft.) (Required due to reduction in Commercial)	2032 sq. ft.	1733 sq. ft.

Staff finds that the amenities provided do not meet the intent of the code, which states: “Project amenities are indoor and outdoor community improvements, elements, and programmed spaces that are available in common to the residents of the mixed-use development.” The plans the applicant has provided indicate the open space and amenities are at the back of the property adjacent to the freeway. The only way to access these areas for most of the units or the public is to walk along the freeway on a five-foot path that only has a trellis in two locations to buffer the impacts of the freeway. Only one unit has an access closer than the front of the building to get to the amenities.

With these issues as discussed, staff finds that the applicant has not added the required amenities and open space to allow for the reduced commercial space that they are proposing.

Elevations & Materials

Elevations of the buildings have been attached to this report for review. The building will be flat roofed, with varied architectural features on all elevations generally. Materials will include cement board siding, brick, and stucco with several accents. The Planning Commission has discretion to determine whether they feel the materials meet the intent of the ordinance.



Figure 2: Architectural Materials



Figure 3: Architectural Materials

Height

The building is proposed to be thirty-five feet (35') in height and three stories. This

meets the requirements of the MCMU zone.

Building Requirements

The MCMU Code states that “Blank walls shall not occupy over fifty percent (50%) of a principal frontage.” The principal frontage for this project is Vine Street. Staff measured the façade facing vine street and found that it measured at 654.72 sq. ft. When breaking down the material on this frontage, staff found that 340.24 sq. ft. of the façade is a blank wall which is larger than fifty percent (50%) of the principal frontage. The applicant will need to reduce the amount of the façade that is a blank wall before applying for a building permit.

Lighting

Lighting plans have been provided and are attached to this report for your review. Lights provided along Vine Street will be reviewed and approved in conjunction with Murray City Power. Site lighting includes building mounted lights and path lighting for use along pedestrian paths and walkways.

Trash Enclosures

Section 17.76.170 requires that refuse containers be enclosed by a solid barrier fence with attached solid barrier access gates. The applicant has not proposed any refuse containers on the current plan. The applicant will need to show that the commercial space has an adequate dumpster enclosure that meets the requirements of the city code.

IV. STATE AND MUNICIPAL SUBDIVISION CODE REVIEW STANDARDS

Murray City Code Title 16, Subdivision Ordinance, outlines the requirements for subdivision review. Utah State Code (10-9a-604) states that a subdivision plat may not be recorded until approved by the land use authority of the City. The Planning Commission’s role as the land use authority is to ensure that a proposed subdivision is consistent with established ordinances, policies and planning practices of the City. The Planning Commission makes investigations, reports and recommendations on proposed subdivisions as to their conformance to the General Plan and Title 17 of City Code, and other pertinent documents as it deems necessary.

The Planning Commission may approve, subject to modification, or disapprove the submitted preliminary plat, and shall make findings specifying any inadequacy in the application, such as noncompliance with City regulations, questionable or undesirable design and/or engineering. The subdivider shall be notified in writing of the action taken by the findings of the Planning Commission regarding the submitted preliminary plat.

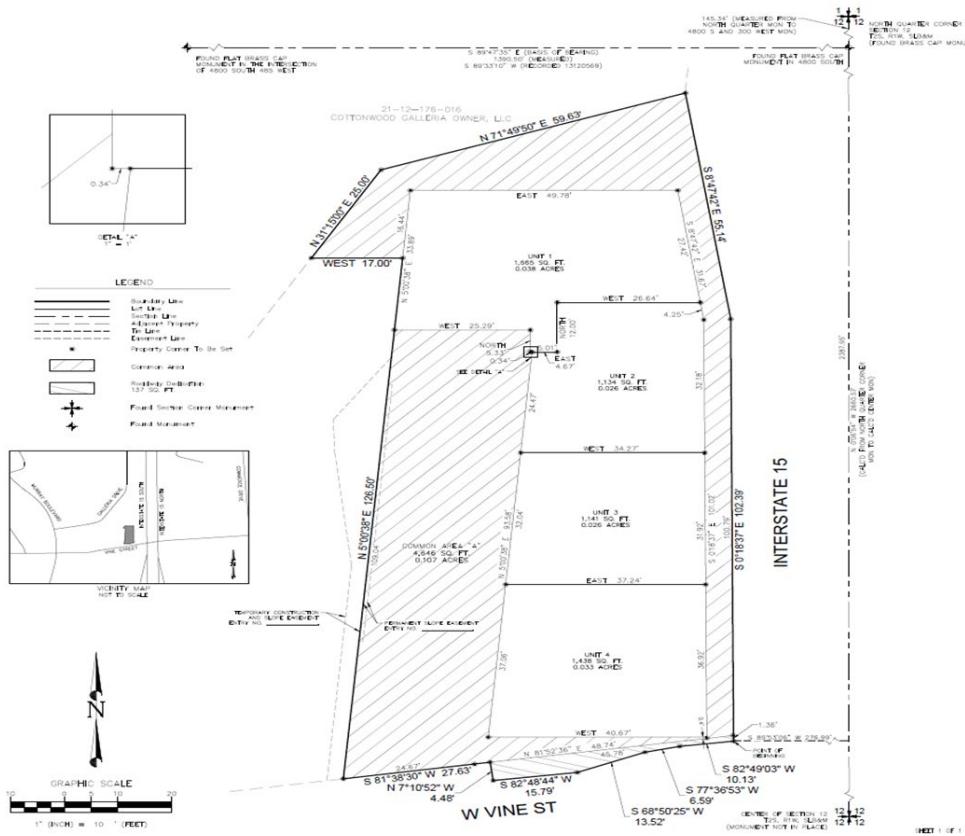


Figure 4: Preliminary Plat

V. CONDOMINIUM:

As part of the Condominium Conditional Use Permit, the Planning Commission must find that the elements described in Section 17.62 are met. Among these elements are standards related to open spaces, access, and parking.

Section 17.62.040(E) requires Parking for a condominium project shall conform to the parking provisions contained in this title for specific zones. The commercial parking is shown to be inside of a garage with no way to access the commercial component without walking outside of the garage into the drive isle and around to the commercial area. While the parking is provided, staff finds that the parking will not meet the needs of the intended users in an adequate way.

Section 17.62.040(J) requires that where appropriate as recommended by the city engineer and required by the planning commission, an internal circulation system shall be provided for paved pedestrian paths that are physically separated from vehicular traffic to serve residential, nonresidential, and recreational facilities in the development. There is no pedestrian access to several of the units that does not involve walking directly on the drive aisle. Only one unit has a human sized door that connects directly to

the open space, but it is located at the rear of the property.

Section 17.62.040(N) requires the condominium project property shall be landscaped with a variety of appropriate plants including lawn, shrubs, ground cover, and a combination of evergreen and deciduous trees to comply with the landscaping requirements of chapter 17.68 of this title or, where applicable, the specific landscaping requirements in the zone where the project is located. The applicant has proposed landscaping that does not fulfill the requirements of chapter 17.68. Two (2) additional five (5) gallon shrubs and one (1) addition ten-gallon shrub are required to meet the planting requirements. The applicant also needs to increase the overall landscaping amount from 17% to either 20% or 25% depending on the route the applicant chooses to take to reduce the amount of required commercial space.

Staff finds that the requirements for subdivision approval based on Murray City Code Title 16 are not all met and will not be recommending approval of the subdivision.

VI. CITY DEPARTMENT REVIEW

The application and materials were distributed to various departments for their review and comments on August 19th, 2025. The following comments have been provided in response.

Engineering Division

Design Review:

- Meet City storm drainage requirements, on-site retention is required – City Code Chapter 13.52.050. Provide a site drainage report.
- Drainage pipe connection to the retention system should be larger than 6" dia. for conveyance of large storm events and maintenance.
- Obtain construction and slope easements for encroachment on neighboring property.
- Unit 1 extends onto adjacent property. Provide a deed for the proposed property conveyance, the plat will not convey ownership.
- Meet Murray City Utility requirements.
- Install MU Street Improvements as per Murray Standards – 8' wide park strip and 7' wide sidewalk. Dedicate required right-of-way.
- Replace any damaged curb and gutter along property frontage to Vine Street.
- Asphalt surface on Vine Street is new and is in moratorium. If the surface is cut, it must be restored to new condition and will require a 2" deep mill and pave from the bridge to 10' west of the utility cut.
- Develop a site erosion control plan and implement prior to beginning any site work.
- Obtain a City Excavation Permit for work within City rights-of-ways – City Code Chapter 12.16.020.

Subdivision:

- Meet City subdivision requirements and standards – City Code Title 16.
- Common areas need to also be defined as Public Utility Easements (PUE's) – City Code title 16.
- The plat must provide the correct Ownership and Acknowledgements for the signers.
- The plat boundary description does not match the vesting deed, Unit 1 extends onto adjacent property. A copy of the fully executed conveyance deed will need to be provided to the City and the Salt Lake County Recorder's office prior to recording the plat.
- The proposed plat amends a plat that has not yet been recorded. The Vine Street Condominium Plat cannot be recorded until the 49th Street Galleria Plat has been recorded.
- Dedication area needs to include the proposed 8' wide park strip and 7' wide sidewalk.
- Address all City and County comments prior to printing the plat to mylar.
- Provide an accurate copy of the HOA CC&R's and declaration.

Building Division

- Obtain proper building permits for all structures.

Fire Department

- Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet, approved aerial fire apparatus access roads 26' width shall be provided.
- Mixed use automatic sprinkler system installed in accordance with Section 903.3 shall be provided throughout all buildings with a Group R fire area.

*Please use IFC 2021 and applicable NFPA as reference.

Water Division

- All water utility work must follow Murray City Water Specification and Requirements.
<https://www.murray.utah.gov/DocumentCenter/View/16910/Murray-City-Water-Specifications--Requirements-2024>
- Change Meter Box Installation Detail (Page 16), with the current detail (Page 17) within the water specifications & requirements. The city now requires a polymer lid. If the lid is within landscaping, it is a 12.25" OD Polymer Solid Meter Lid. Must be black, large pentagon bolt, polymer worm gear, Water stamped on lid. To fit the appropriate ring.

Wastewater Division

- Civil sheet C-3 comments.
- Clean outs must be placed where lateral leaves the building, not at the sewer main. Correct placement and comment 2.
- Clean out size must match size of the lateral, 4" lateral must include 4" clean out.
- Dead end manhole in property can be 4 FT manhole not 6 FT as listed in comment #5
- New manhole in Vine Street must be a 5 FT manhole not 6 FT as listed in comment #4.
- Sewer lateral for far North unit should tie into the dead-end manhole. This will provide for better cleaning access in the future and eliminate one of the clean outs on this lateral.
- Please provide what the separation distance will be between the storm tech system and the proposed sewer main. Please provide a profile view sheet showing the sewer main elevation and the storm tech elevation.

Power Department

- John Galanis has retired, please contact Victor Meza vmeza@murray.utah.gov 801-264-2724 for meter placement and metering equipment requirements.

VI. PUBLIC INPUT

Fifty-two (52) notices were mailed to property owners within a 450' radius and to affected entities. As of the writing of this staff report no comments have been received.

VII. FINDINGS

Based on the analysis of the application, materials submitted, site visits, and a survey of the surrounding area, Staff concludes the following:

1. The proposed mixed-use development is not consistent with the requirements of the Murray Code Section 17.146 Murray Central Mixed Use (MCMU) zone.
2. The applicant is currently not providing the required amount of commercial space based on the amenities provided.
3. The applicant is not providing the required amount of landscaping, and the proposed amenities do not meet the intent of the open space and amenities code.
4. The proposed development does not comply with the requirements of the Murray Central Mixed-Use Zone and other applicable standards of the Murray City Land Use Ordinance.
5. The proposed subdivision does not meet all the development standards for Condominiums as outlined in Section 17.62.040.

VIII. CONCLUSION/RECOMMENDATION

Based on the information presented in this report, application materials submitted and a site review, staff recommends that the Planning Commission vote to DENY Design Review and Subdivision approvals for the Lofts on Vine development on the property located at 368 West Vine Street.

The Staff recommendation is only one of multiple option that Planning Commission has when making a decision. A different option is included as follows:

APPROVAL WITH CONDITIONS: The Planning Commission may vote to approve both design review and subdivision requests and draft conditions that will allow it to meet the requirements of the code.

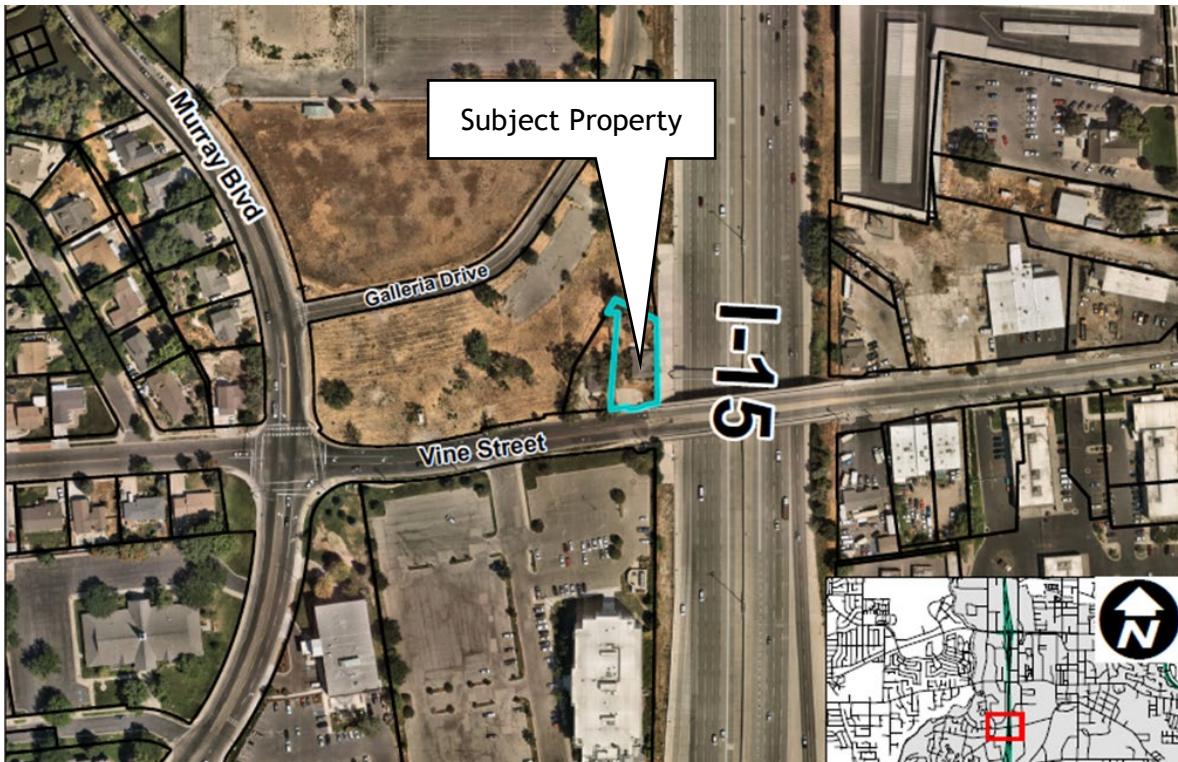


NOTICE OF PUBLIC HEARING

September 4th, 2025, 6:30 PM

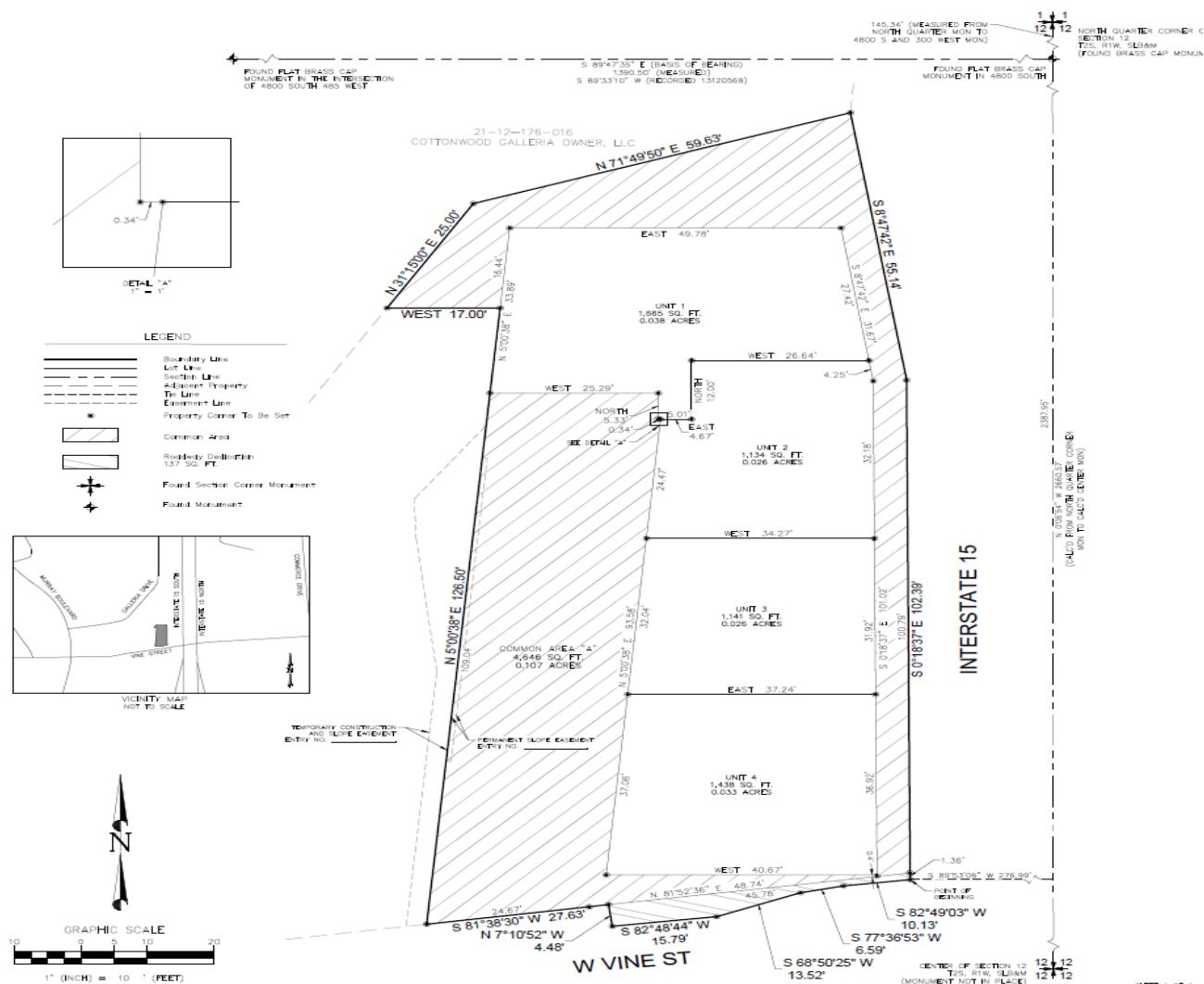
The Murray City Planning Commission will hold a public hearing on Thursday, July 17th, 2025 at 6:30 p.m. in the Murray City Municipal Council Chambers, located at 10 East 4800 South to receive public comment on applications submitted by **Adam Maher** for the property located at **368 West Vine Street**. The applicant is requesting Design Review and Subdivision approval to construct a mixed-use building consisting of four (4) units with both living and commercial components. The meeting is open and the public is welcome to attend in person or you may submit comments via email at pc@murray.utah.gov. If you would like to view the meeting online, you may watch via livestream at www.murraycitylive.com or www.facebook.com/MurrayCityUtah/.

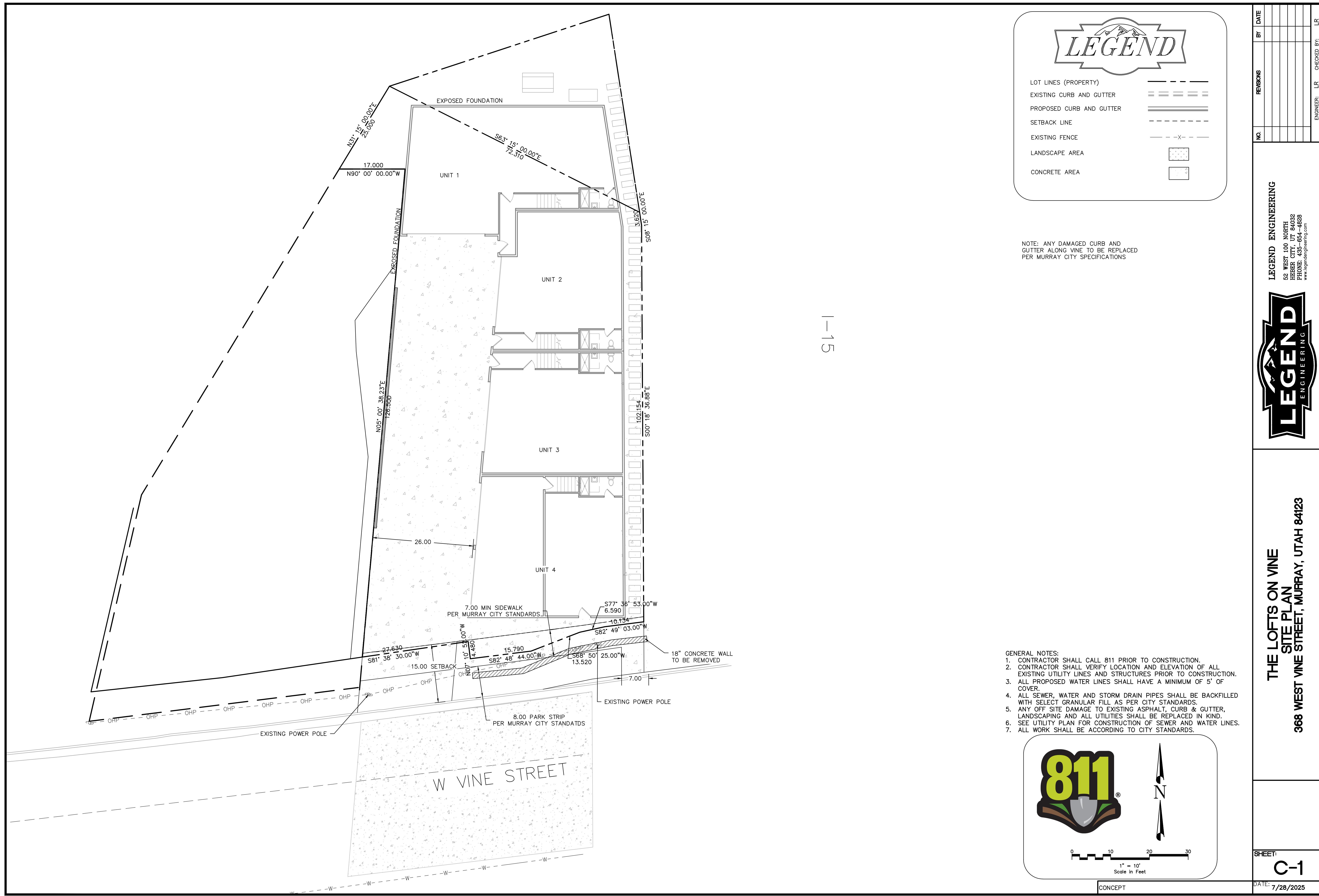
Comments are limited to 3 minutes or less, written comments will be read into the meeting record.

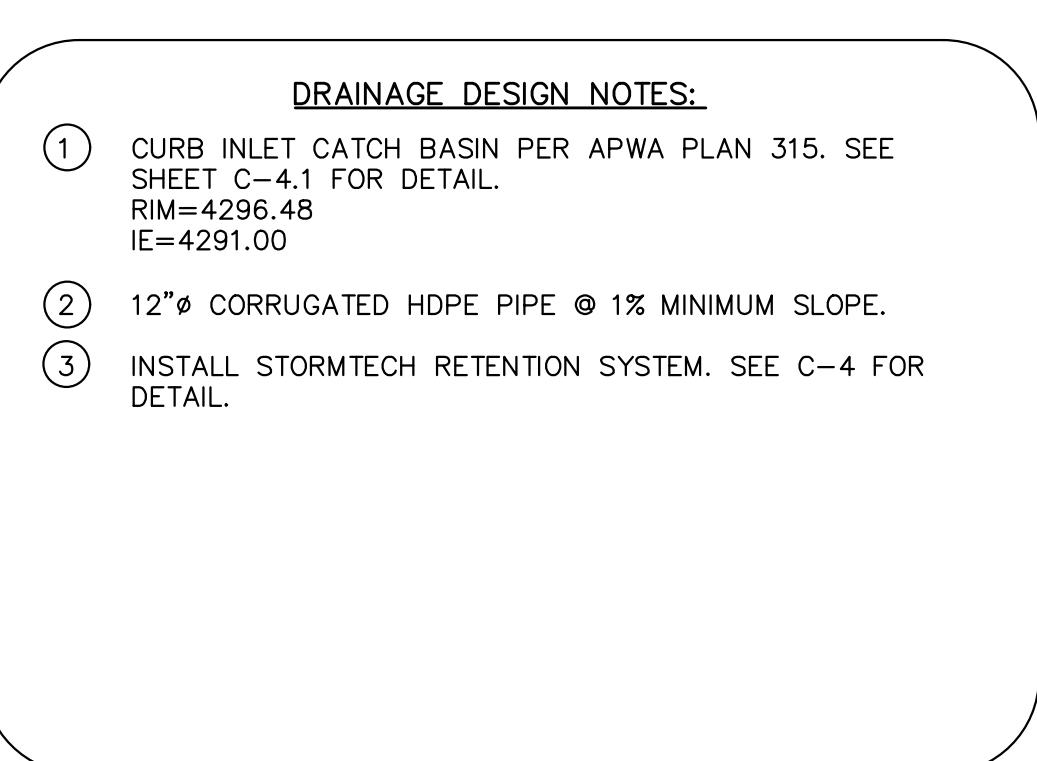
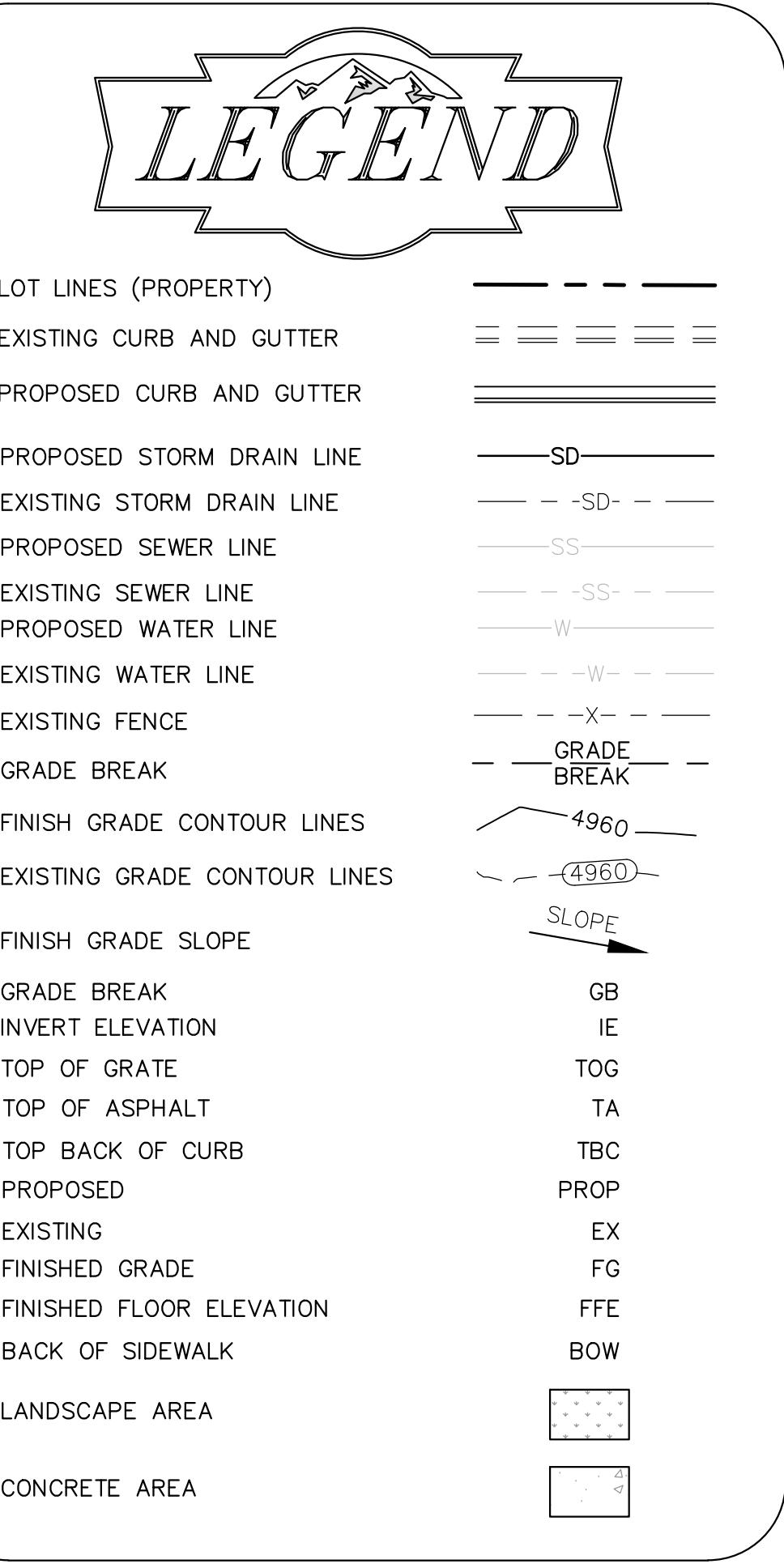


This notice is being sent to you because you own property within 400 feet of the subject property. Comments concerning this proposal, will be accepted by calling the Murray City Planning Division at 801-270-2430, e-mail to pc@murray.utah.gov or in person at the meeting.

Special accommodations for the hearing or visually impaired will be upon a request to the office of the Murray City Recorder (801-264-2660). We would appreciate notification two working days prior to the meeting. TTY is Relay Utah at #711.

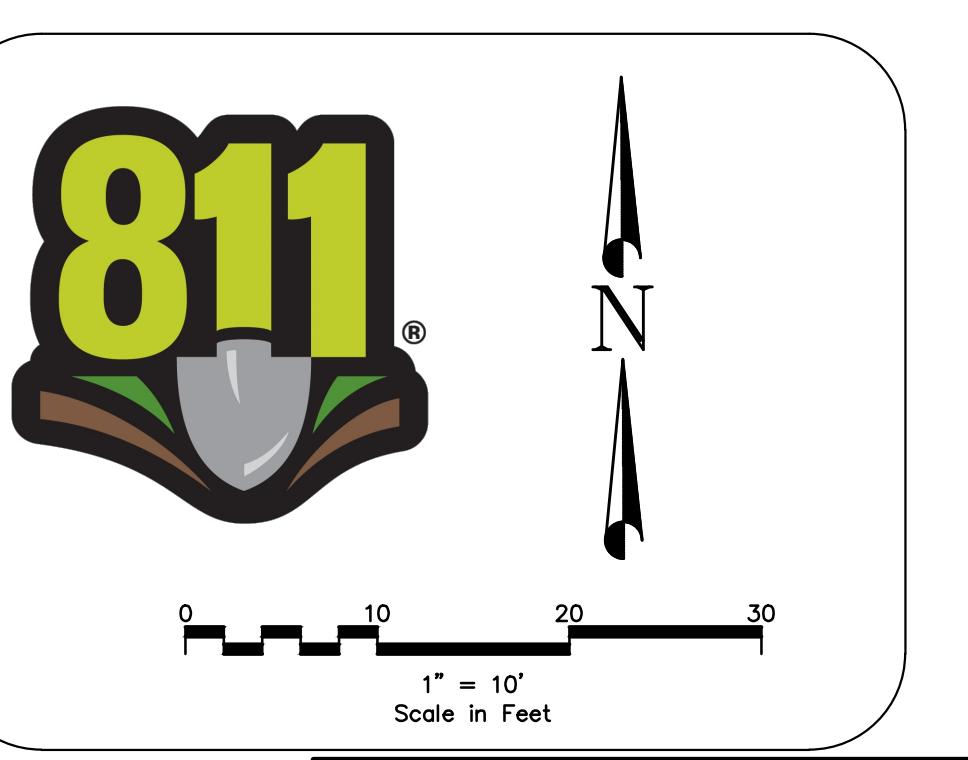






GENERAL NOTES:

- CONTRACTOR SHALL CALL 811 PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITY LINES AND STRUCTURES PRIOR TO CONSTRUCTION.
- ALL PROPOSED WATER LINES SHALL HAVE A MINIMUM OF 5' OF COVER.
- ALL SEWER, WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL AS PER CITY STANDARDS.
- ANY OFF SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES SHALL BE REPLACED IN KIND.
- SEE UTILITY PLAN FOR CONSTRUCTION OF SEWER AND WATER LINES.
- ALL WORK SHALL BE ACCORDING TO CITY STANDARDS.



**THE LOFTS ON VINE
GRADING AND DRAINAGE PLAN
368 WEST VINE STREET, MURRAY, UTAH 84123**

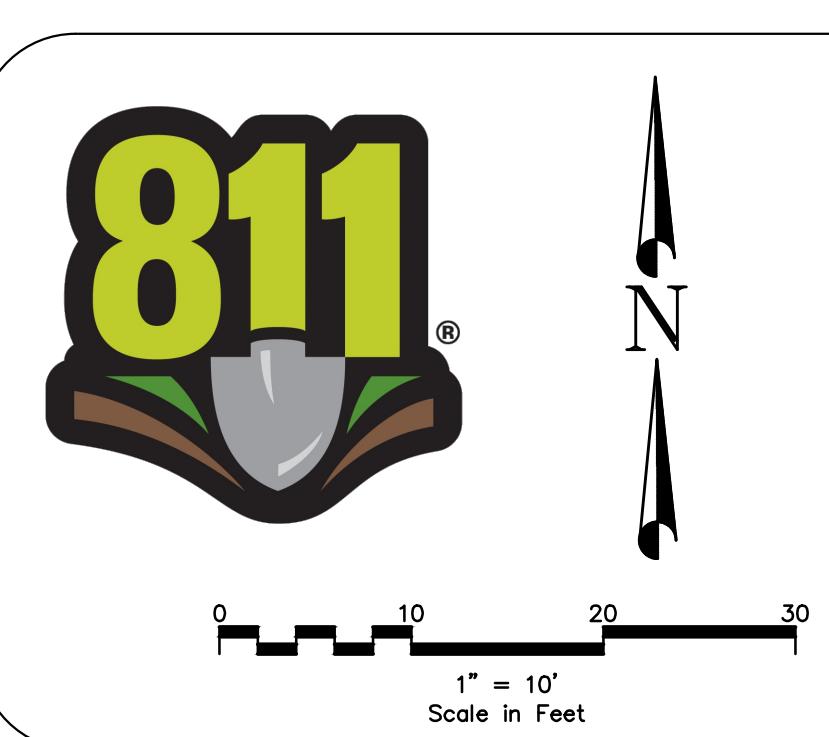
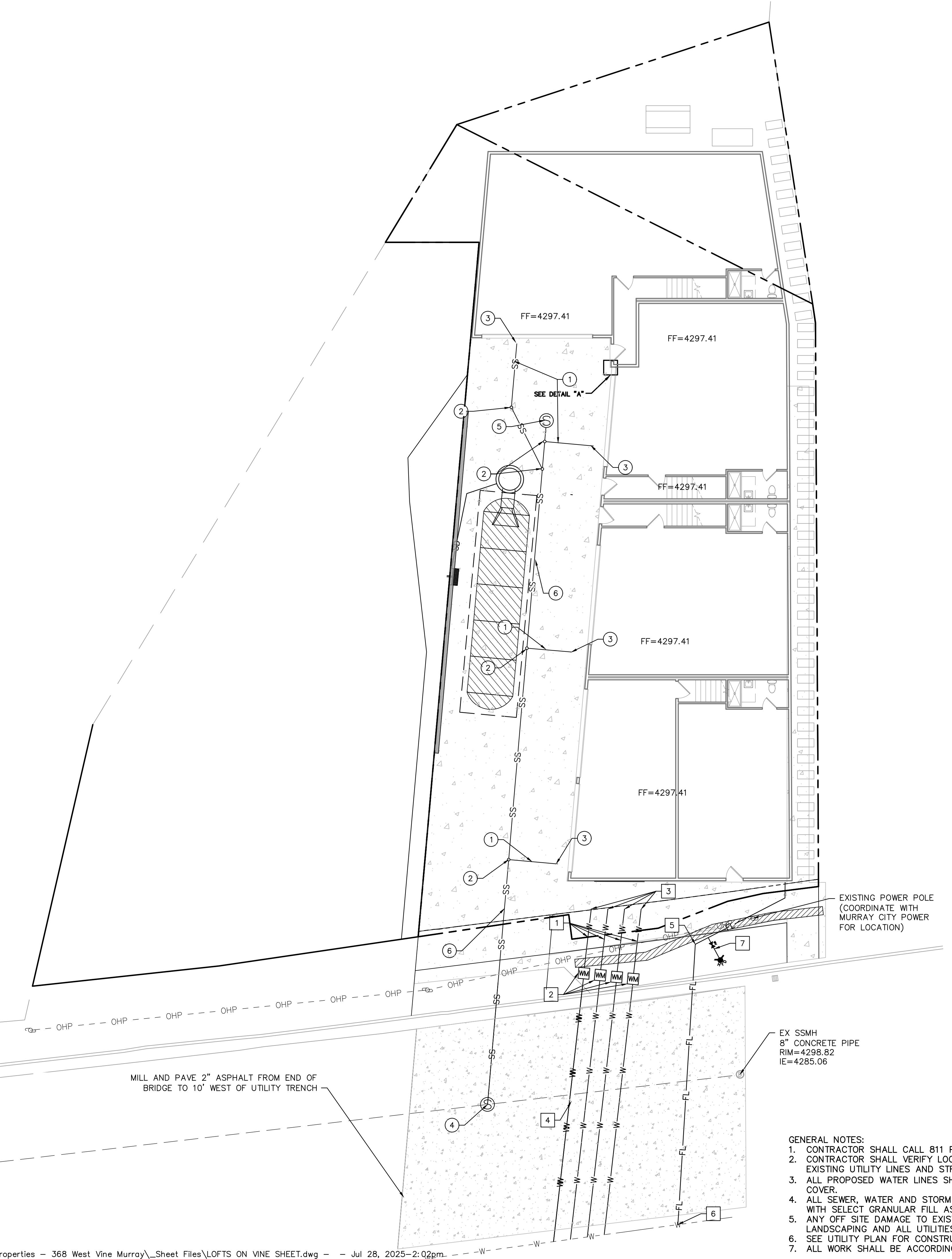
LEGEND ENGINEERING
52 WEST 100 NORTH
HEBER CITY, UT 84032
PHONE: 435-654-4828
www.legendedengineering.com

The logo for Legend Engineering is a vertical design. It features a large, stylized mountain peak silhouette on the left, composed of jagged, white-outlined shapes. To the right of the mountain, the word "LEGEND" is written in large, bold, white, block letters. To the right of "LEGEND", the word "ENGINEERING" is written in smaller, white, all-caps, sans-serif letters.

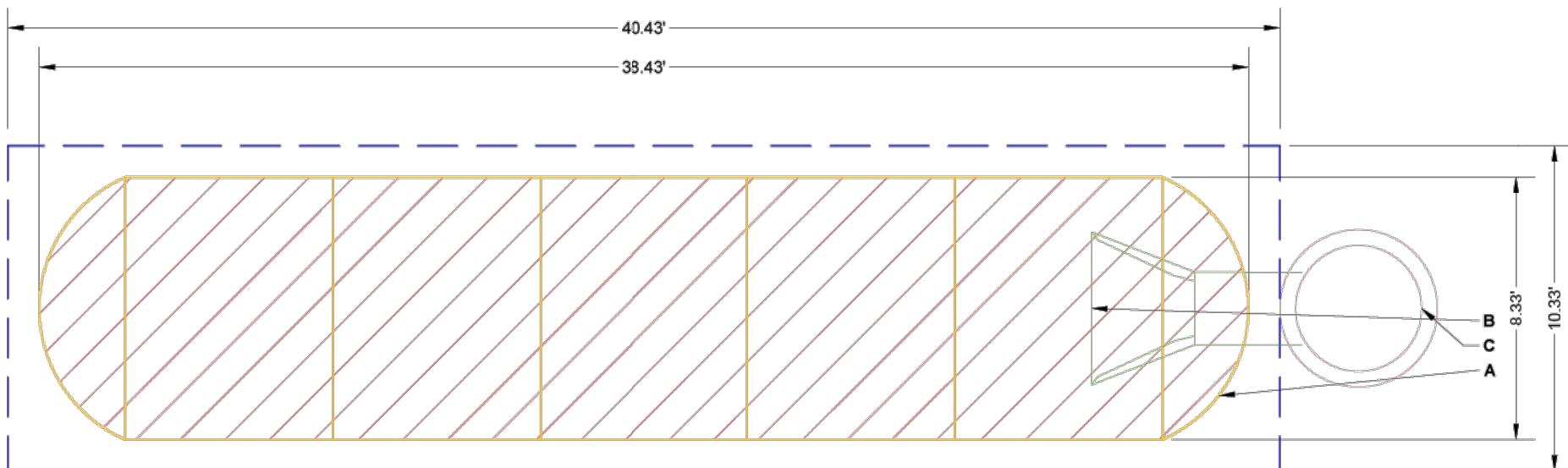
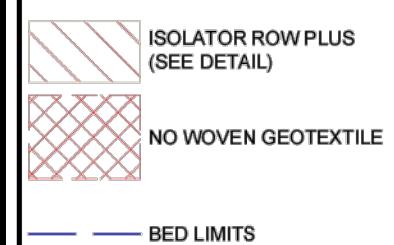
DATE: 7/28/2025

LEGEND

NO.	REVISIONS	BY	DATE

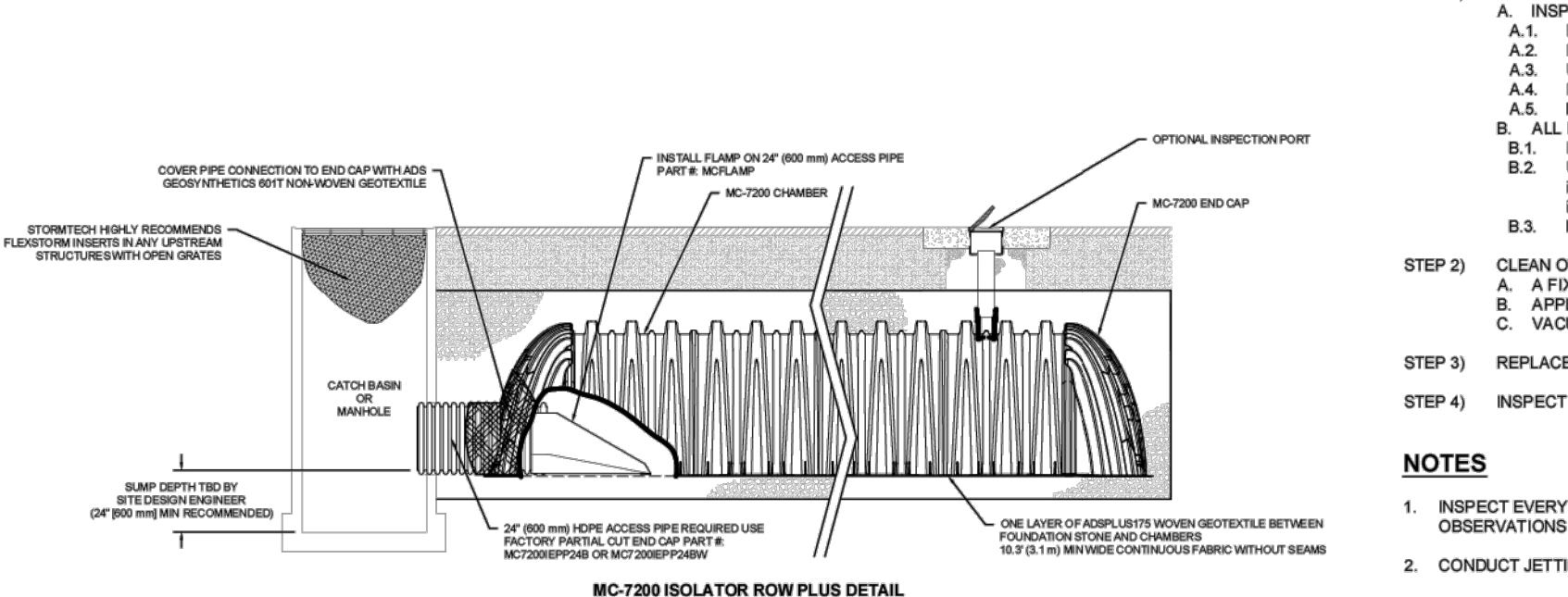


PROPOSED LAYOUT		PROPOSED ELEVATIONS:	
5	STORMTECH MC-7200 CHAMBERS	MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT/UNPAVED):	4302.76
		MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC):	4298.25
12	STONE ABOVE (in)	MINIMUM ALLOWABLE GRADE (PAVED NO TRAFFIC):	4297.75
		MINIMUM ALLOWABLE GRADE (TOP OF PAVEMENT/UNPAVED):	4297.75
40	STONE VOID (in)	MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT):	4297.75
		MINIMUM ALLOWABLE GRADE (TOP OF FLEXIBLE PAVEMENT):	4297.75
1703	INSTALLED SYSTEM VOLUME (CF)	TOP OF STONE:	4285.45
	(COVER STONE INCLUDED)	MC-7200 CHAMBER:	4290.75
418	INSTALLED SYSTEM VOLUME (CF)	24" ISOLATOR ROW PLUS INVERT:	4285.45
	(COVER STONE INCLUDED)	BOTTOM OF MC-7200 CHAMBER:	4290.75
10.15	SYSTEM AREA (SF)	BOTTOM OF STONE:	4290.75

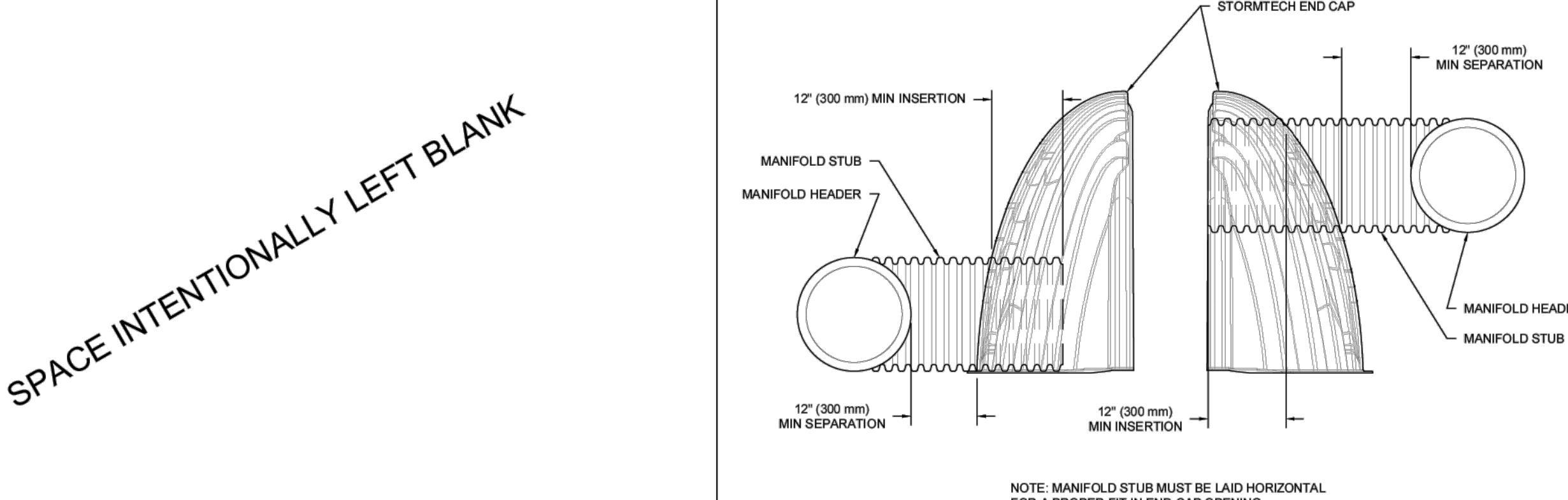


NOTES

- MANIFOLD SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE TECH NOTE #6.32 FOR MANIFOLD SIZING GUIDANCE.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR THE DESIGN OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS. IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANIFOLD COMPONENTS IN THE FIELD.
- THE SITE DESIGN ENGINEER MUST REVIEW ELEVATIONS AND IF NECESSARY ADJUST GRADING TO ENSURE THE CHAMBER COVER REQUIREMENTS ARE MET.
- THE CHAMBER SYSTEM HAS BEEN DESIGNED WITHOUT SITE-SPECIFIC INFORMATION ON SOIL CONDITIONS OR BEARING CAPACITY. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR DETERMINING THE SUITABILITY OF THE SOIL AND PROVIDING THE BEARING CAPACITY OF THE IN SITU SOILS. THE BASE STONE DEPTH MAY BE INCREASED OR DECREASED ONCE THIS INFORMATION IS PROVIDED.
- NOT FOR CONSTRUCTION:** THIS LAYOUT IS FOR DIMENSIONAL PURPOSES ONLY TO PROVE CONCEPT & THE REQUIRED STORAGE VOLUME CAN BE ACHIEVED ON SITE.

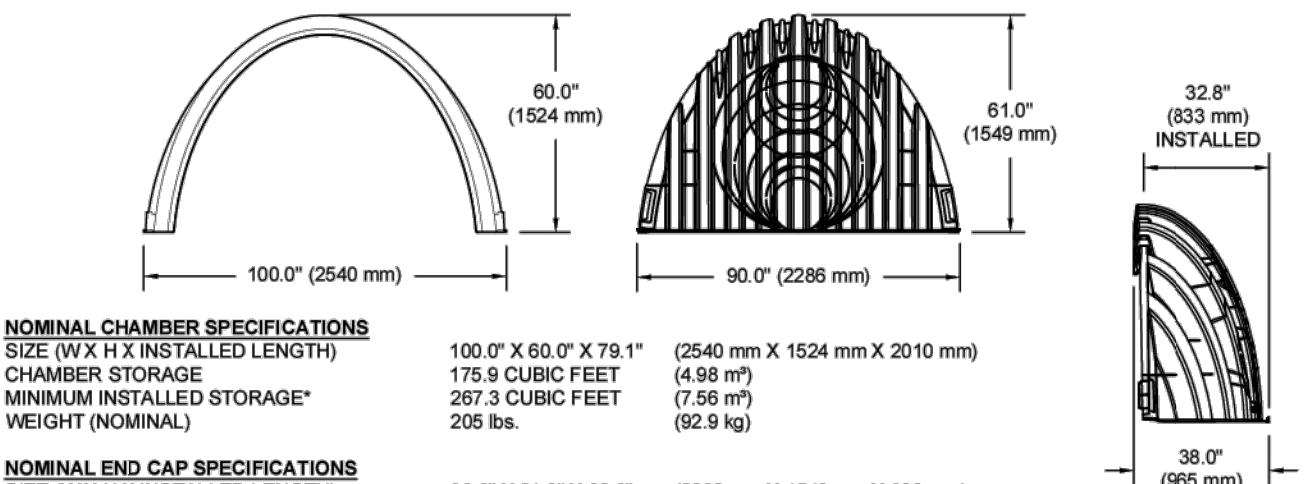
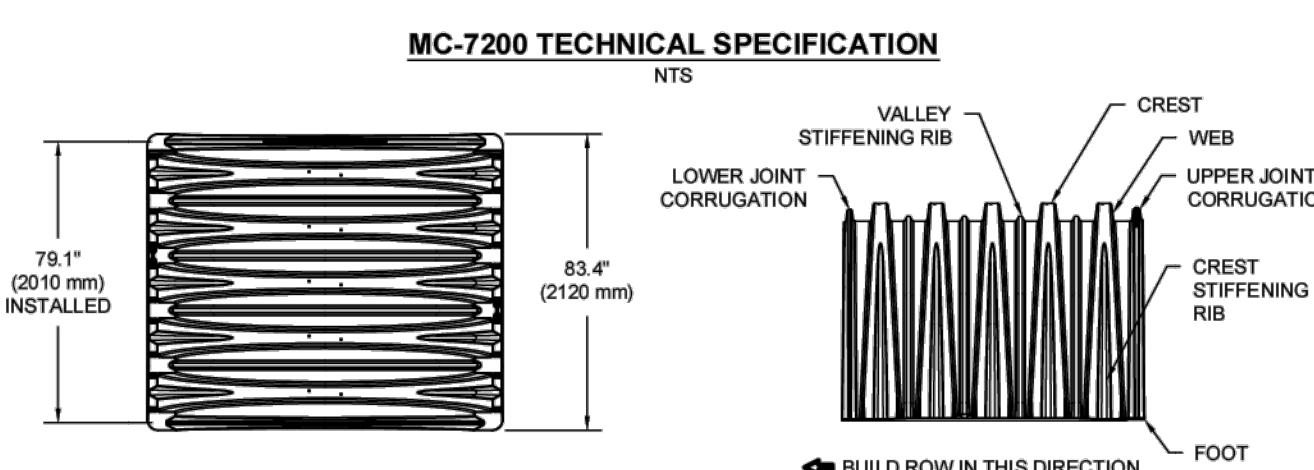


3 MC-7200 ISOLATOR ROW PLUS DETAIL



4 MC-SERIES END CAP INSERTION DETAIL

SPACE INTENTIONALLY LEFT BLANK



NOTES

ASSUMES 12" (305 mm) STONE ABOVE, 9" (229 mm) STONE FOUNDATION AND BETWEEN CHAMBERS, 12" (305 mm) STONE PERIMETER IN FRONT OF END CAPS AND 40% STONE POROSITY.

PARTIAL CUT HOLES AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B" PARTIAL CUT HOLES AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T" END CAPS WITH A PREFABRICATED WELDED STUB END WITH "W"

PART #	STUB	C
MC7200EP06T	6" (150 mm)	42.54" (1081 mm)
MC7200EP06B	6" (150 mm)	0.86" (22 mm)
MC7200EP08T	8" (200 mm)	40.50" (1029 mm)
MC7200EP08B	8" (200 mm)	—
MC7200EP10T	10" (250 mm)	38.37" (975 mm)
MC7200EP10B	10" (250 mm)	—
MC7200EP12T	12" (300 mm)	35.69" (907 mm)
MC7200EP12B	12" (300 mm)	—
MC7200EP15T	15" (375 mm)	32.72" (831 mm)
MC7200EP15B	15" (375 mm)	1.70" (43 mm)
MC7200EP18T	18" (450 mm)	29.36" (746 mm)
MC7200EP18B	18" (450 mm)	—
MC7200EP18W	18" (450 mm)	1.97" (50 mm)
MC7200EP24T	24" (600 mm)	23.05" (585 mm)
MC7200EP24B	24" (600 mm)	—
MC7200EP24W	24" (600 mm)	2.26" (57 mm)
MC7200EP26W	30" (750 mm)	2.95" (75 mm)
MC7200EP28W	36" (900 mm)	—
MC7200EP36W	42" (1050 mm)	3.28" (83 mm)

NOTE: ALL DIMENSIONS ARE NOMINAL

CUSTOM PREFABRICATED INVERTS ARE NOT RECOMMENDED FOR INVENTORED MANIFOLDS INCLUDE ON SIZE 12"-24" (300-600 mm) SIZE ON SIZE AND 15"-48" (375-1200 mm) SIZE ON SIZE. INVERT LOCATIONS ON THE MC-7200 END CAP CUT IN THE FIELD ARE NOT RECOMMENDED FOR PIPE SIZES 12"-24" (300-600 mm) SIZE ON SIZE AND 15"-48" (375-1200 mm) SIZE ON SIZE. THE INVERT LOCATION IN COLUMN "B" ARE THE HIGHEST POSSIBLE FOR THE PIPE SIZE.

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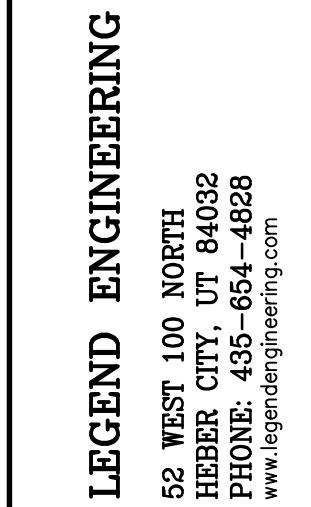
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CUSTOM PREFABRICATED INVERTS ARE NOT RECOMMENDED FOR INVENTORED MANIFOLDS INCLUDE ON SIZE 12"-24" (300-600 mm) SIZE ON



THE LOFTS ON VINE
UTILITY DETAILS
368 WEST VINE STREET, MURRAY, UTAH 84123

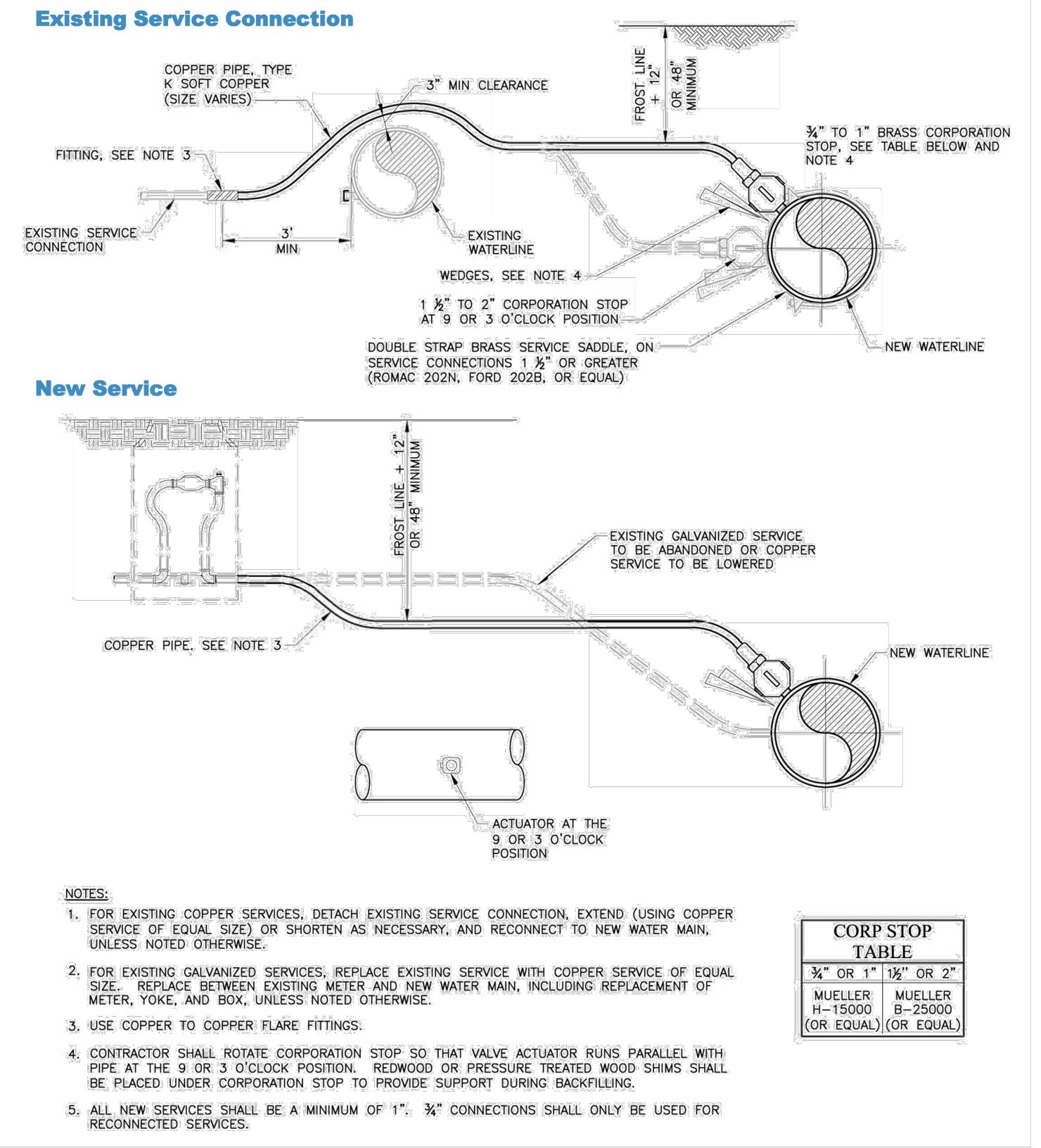
Installation (Continued)



Service Disconnect Standards

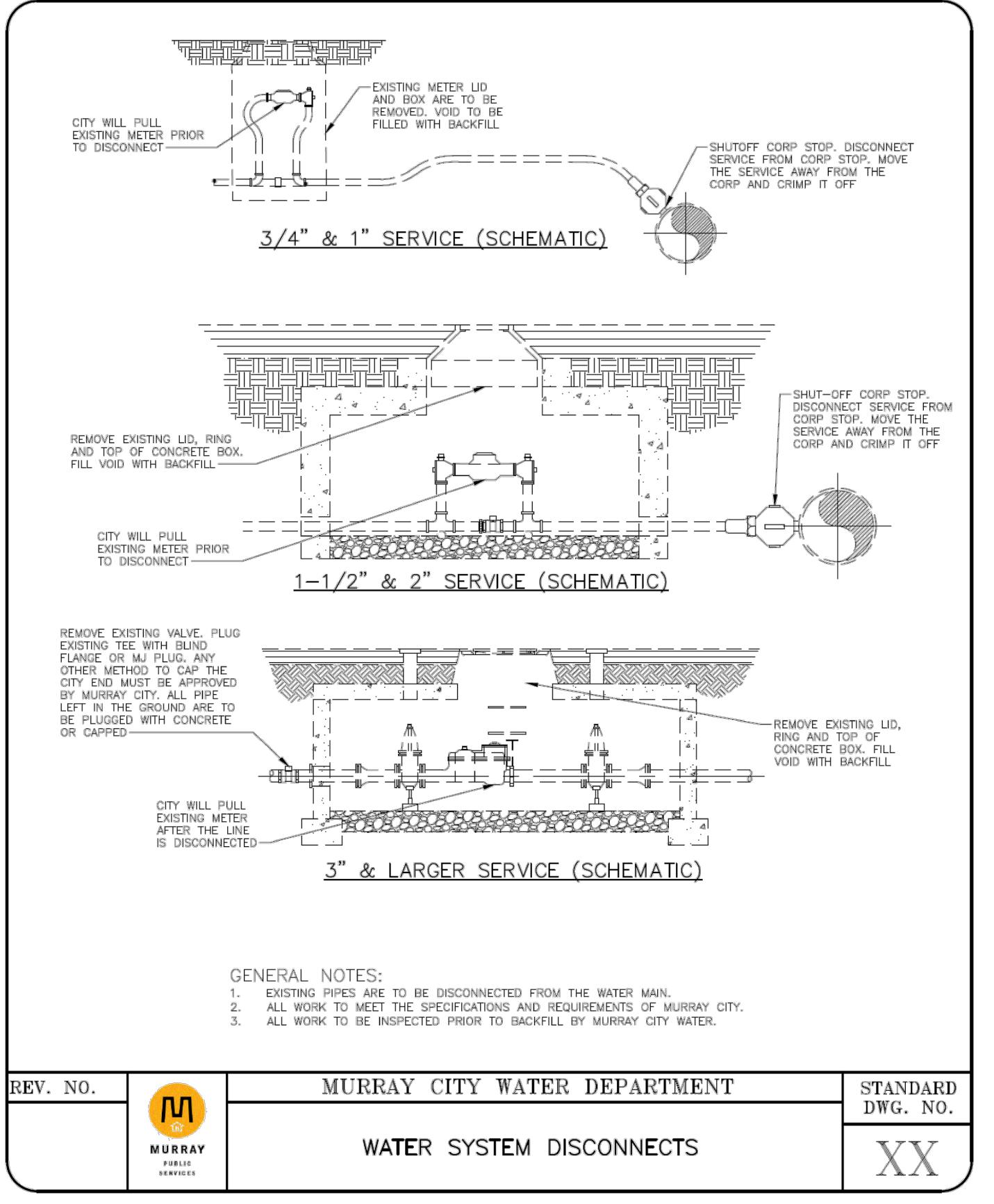


Existing Service Connection



Water Specifications & Requirements

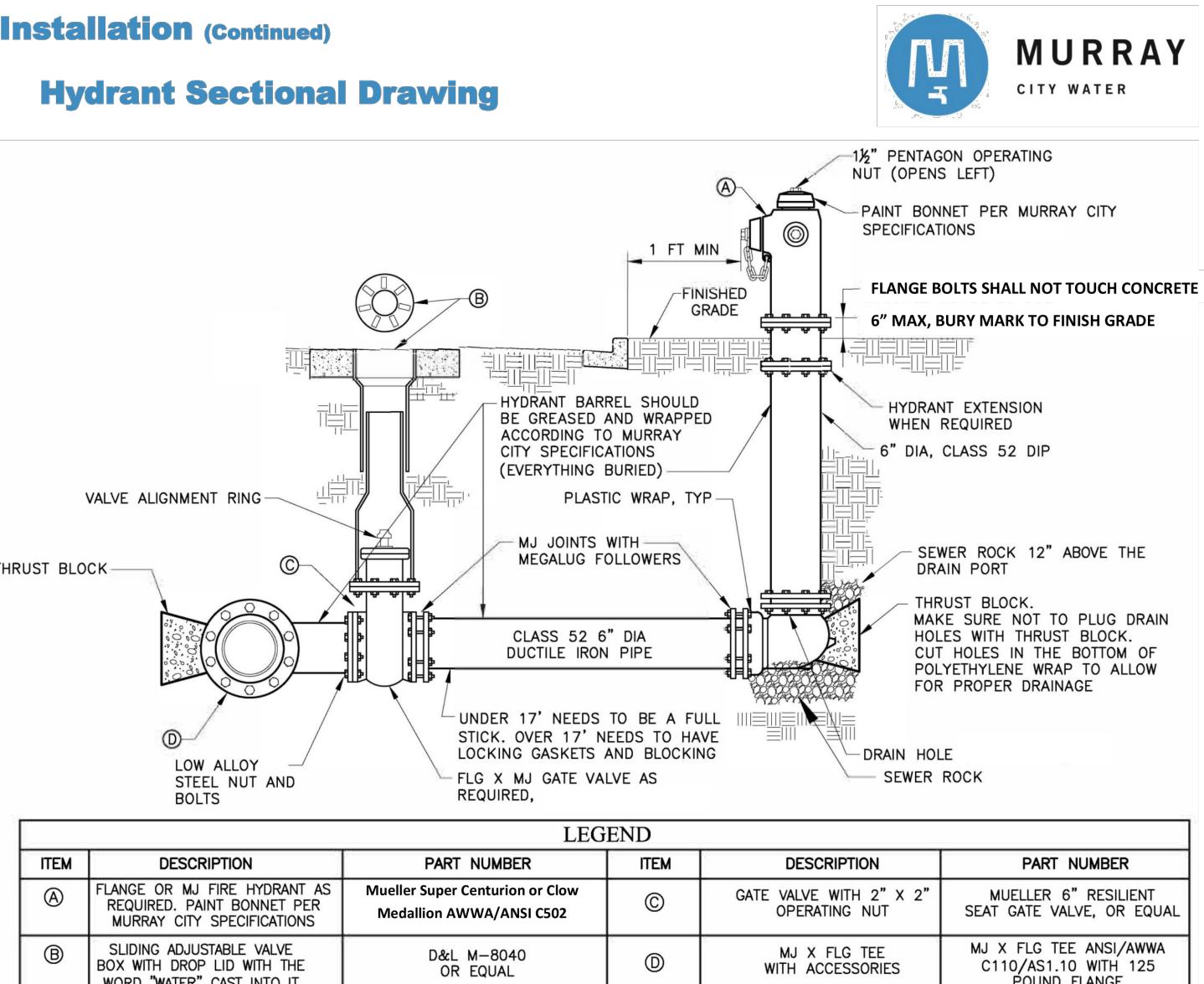
13 Murray City Water



Water Specifications & Requirements 14 Murray City Water

Installation (Continued)

Hydrant Sectional Drawing



- All work and materials to be in accordance with ANSI/AWWA C502 and the APWA general conditions and standard specifications for construction.
 - All ductile iron pipe to be in accordance with ANSI/AWWA C115/A21.15 Class 52.
 - Gate valves to be in accordance with AWWA C509.
 - Standard flange drilling—cast flanges, ANSI/AWWA C110 125/A21.10
 - Substitutions to be in accordance with APWA Sec. 01 25 00

Hydrant Bonnet Color Code

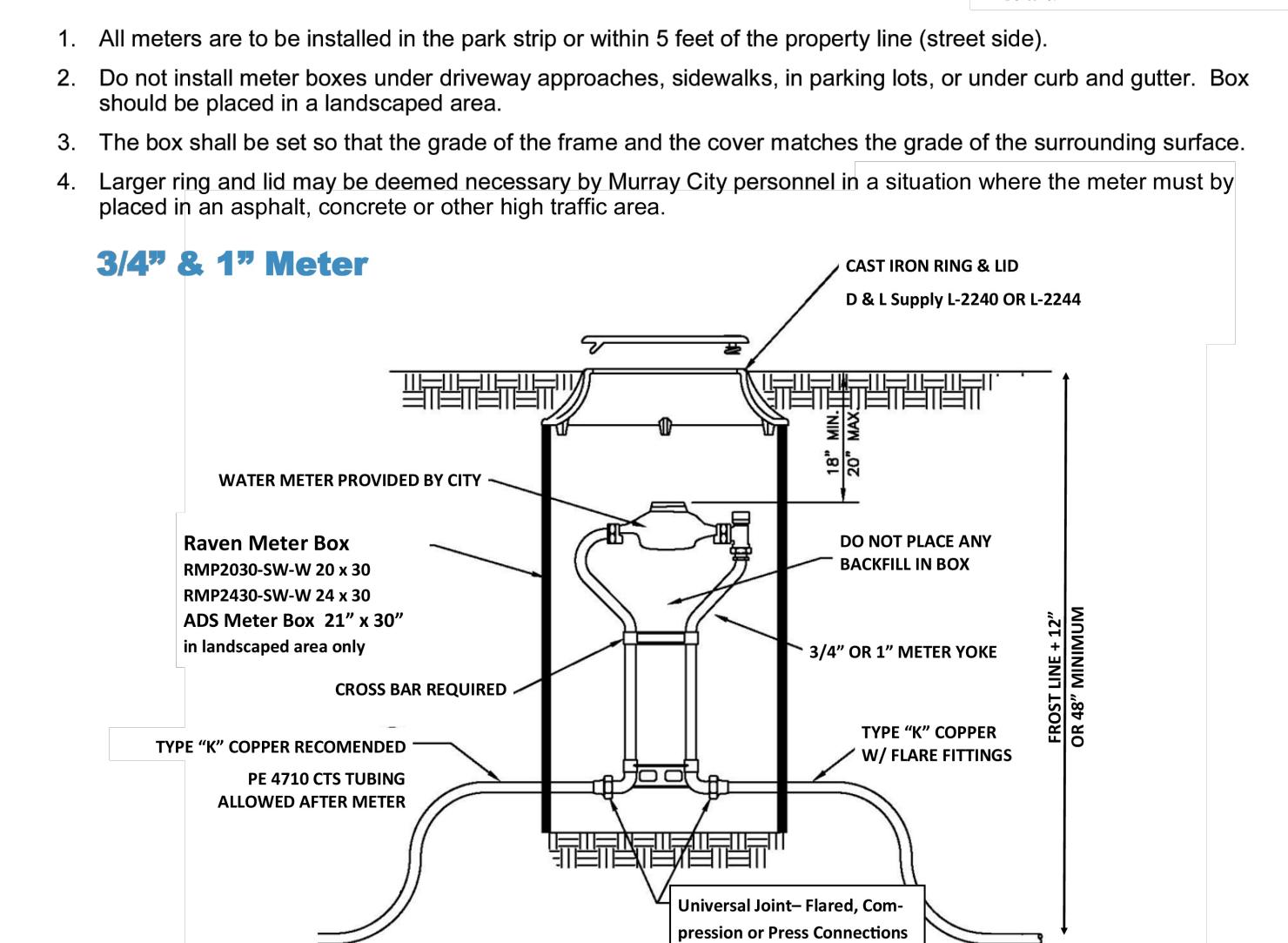
Fire hydrant bonnets shall be color coded to coincide with the size of the water main serving the hydrant.

- 4" and smaller main.....  White
 - 6" main.....  Red
 - 8" and 10" main.....  Orange
 - 12" or larger main.....  Green

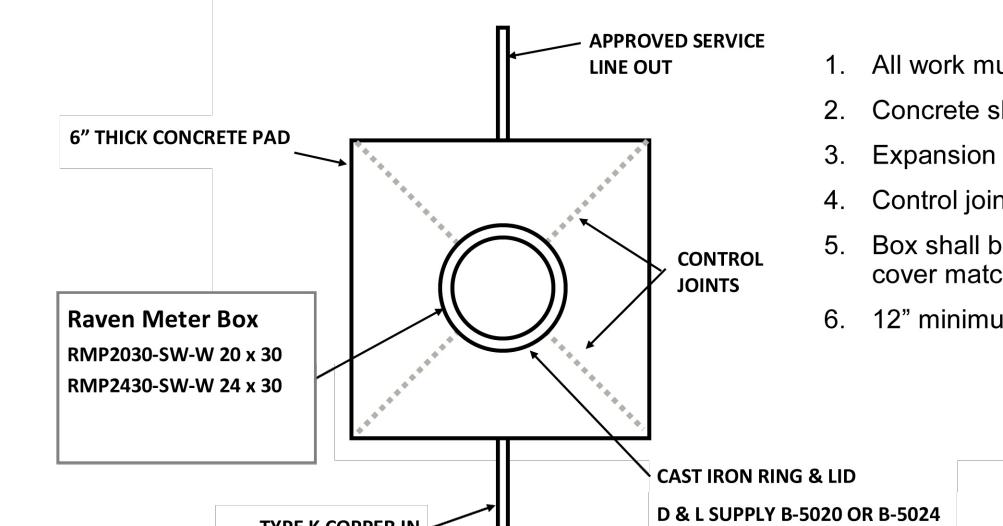


Installation (Continued)

Meter Box Installation



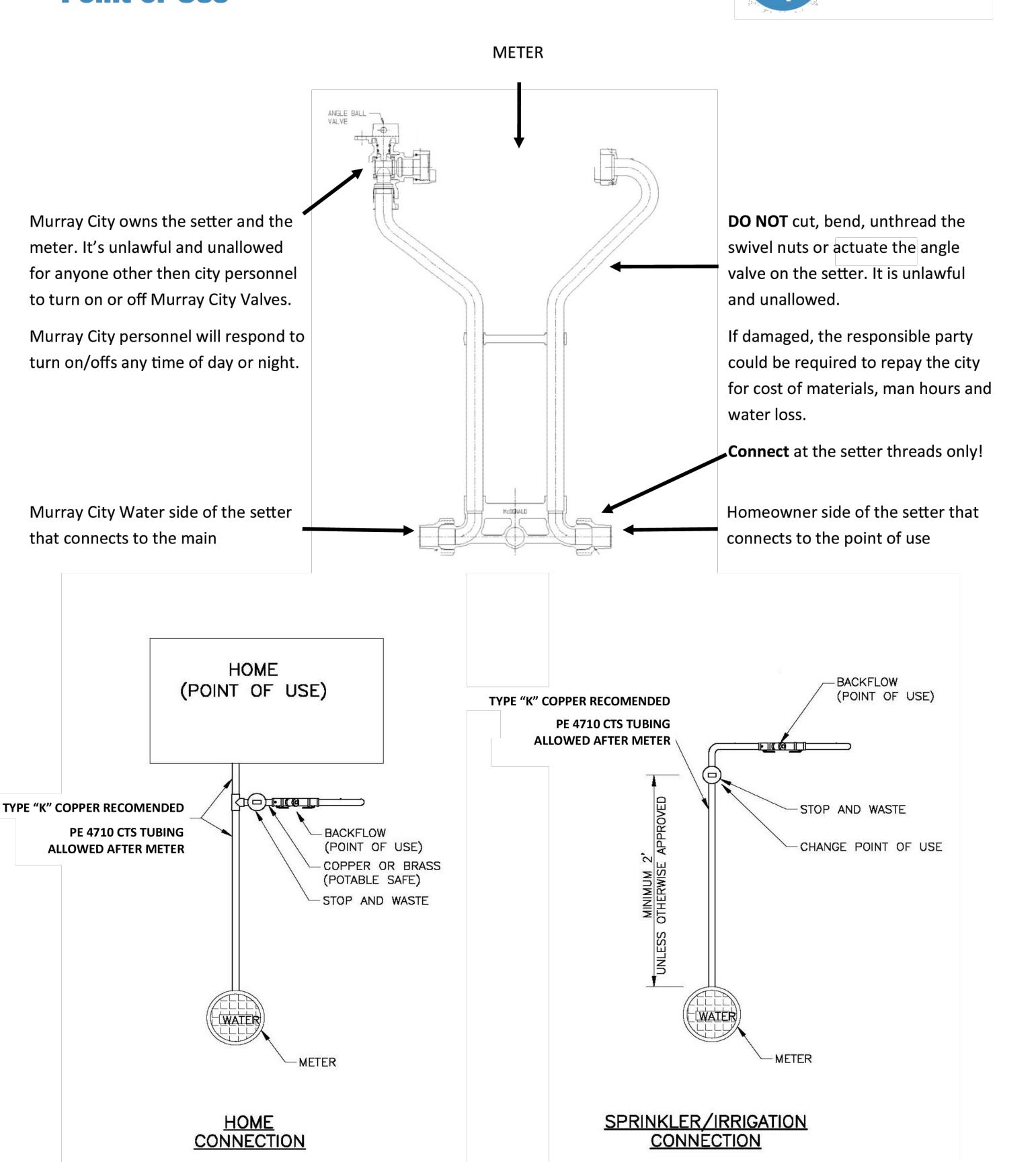
Meter Box in Concrete Installation



- be inspected by City personnel.
 - I be 6" thick — 6 1/2 Bag Class 4000.
 - ard all around.
 - from lid to edge of pad.
 - et so that the grade of the frame and
s the grade of the surrounding surface.
 - from lid to edge of concrete.

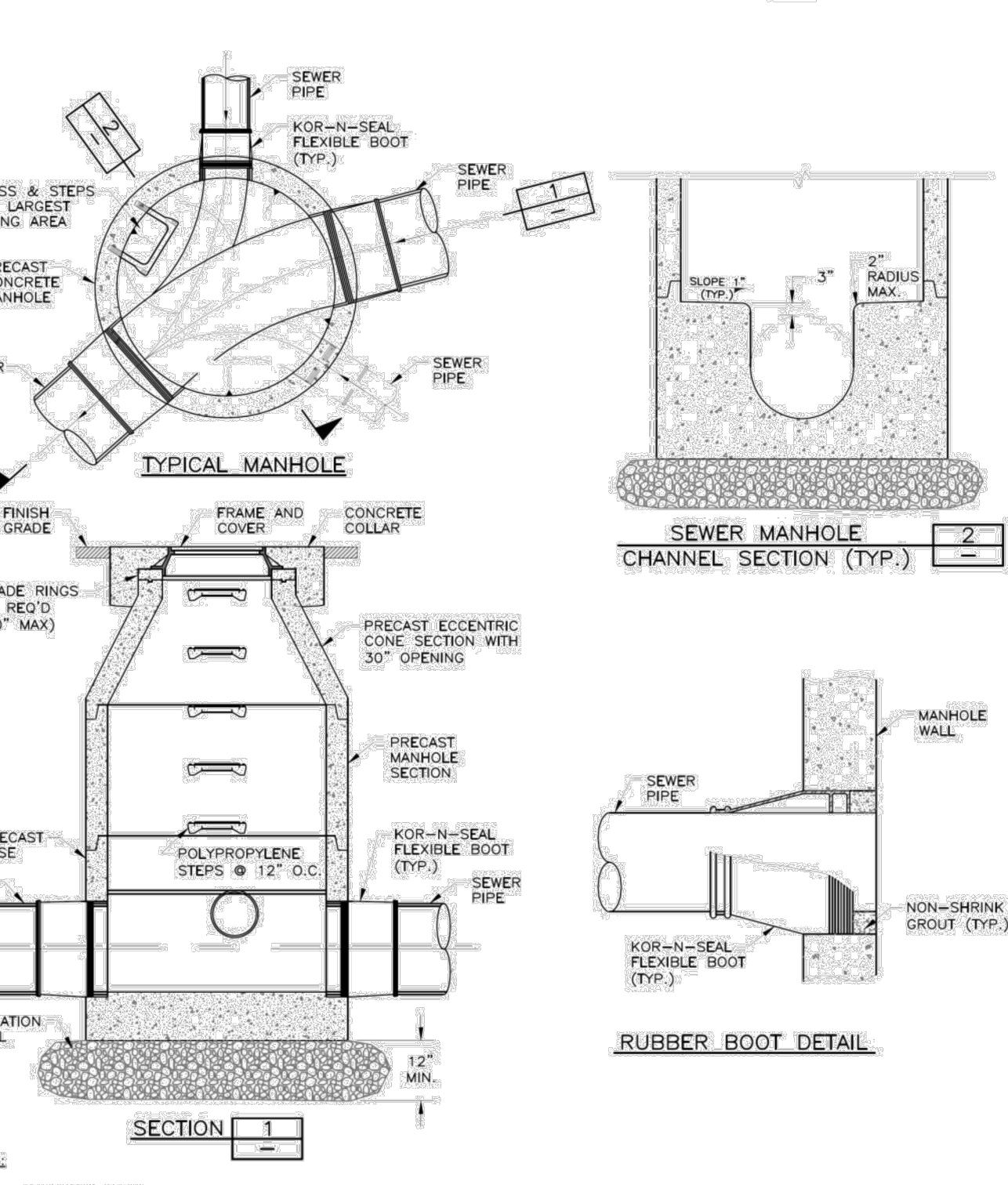
Installation (continued)

Point of Use



Water Specifications & Requirements 15 Murray City Water

Typical Sanitary Sewer Manhole



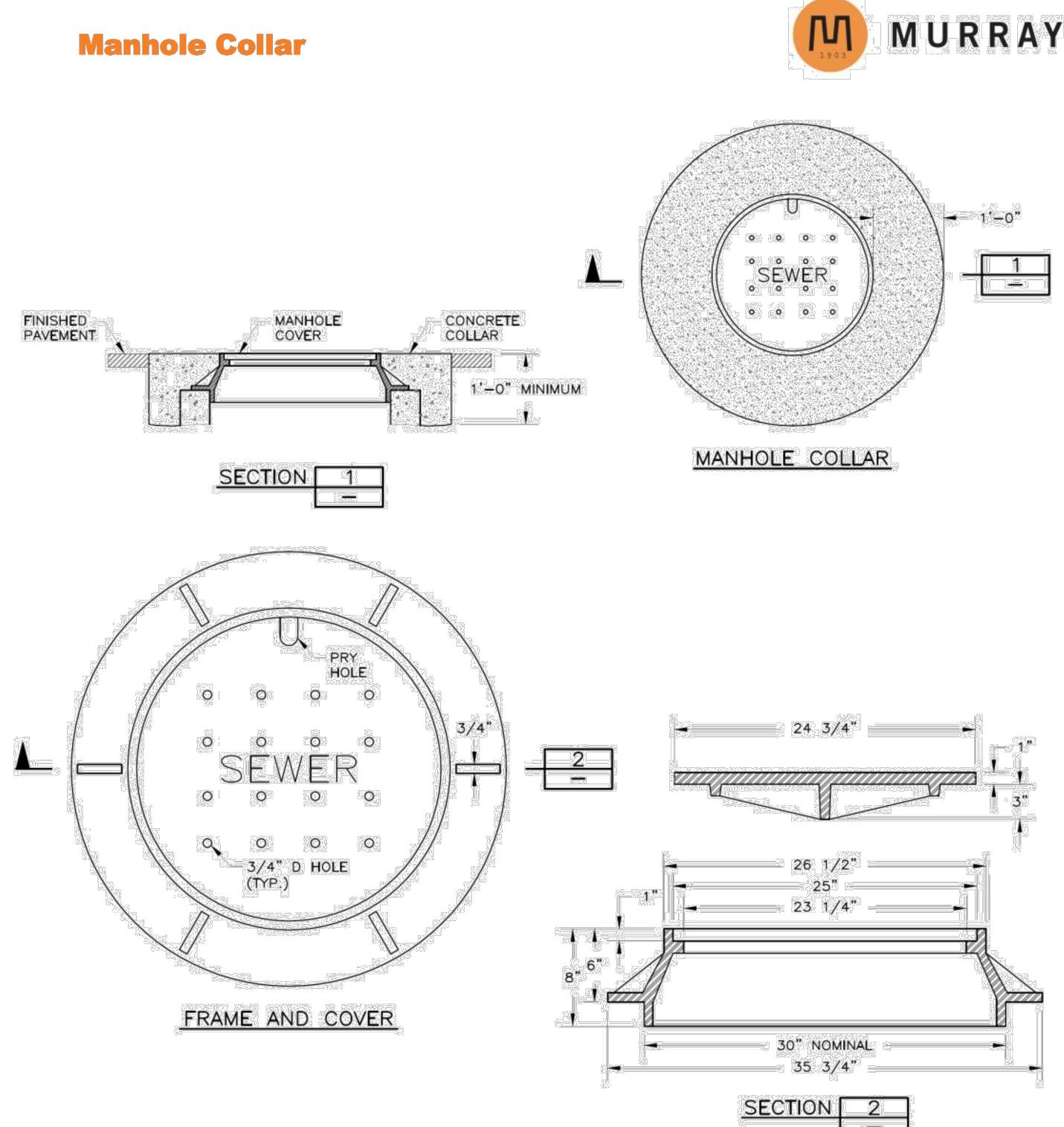
NOTES:

1. MANHOLE SIZE:
A. DIAMETER IS 4 FEET: FOR SEWERS UNDER 12" DIAMETER.
B. DIAMETER IS 5 FEET: FOR SEWERS 12" THROUGH 24", OR WHEN 3 OR MORE PIPES INTERSECT THE MANHOLE.
C. CONSULT WITH MURRAY CITY FOR SEWERS LARGER THAN 24".
2. PRECAST REINFORCED CONCRETE MANHOLE SECTIONS SHALL CONFORM TO ASTM C 478. JOINTS SHALL BE RUBBER GASKET, OR SEALED WITH APPROVED SEALANT.
3. CONCRETE: CLASS 4000, APWA SECTION 03 30 04.
4. GROUT: 2 PARTS SAND TO 1 PART CEMENT MORTAR, ASTM C 1329.

Material Specifications

	Pipe Pipe size and material shall be approved by Murray city wastewater department.		Clean Out Caps Must be brass twist on cap
	Shear Band Connectors All connections must be stainless steel shear band (ferco or approved equal by Murray City)		Manhole Ring and Lids Lid shall be cast with Sewer label
	Inserta Tee Use for service connection to Existing main		Mechanical Test Plug Use for abandoning existing manhole
	Cast Iron Wye Cast iron wye required on all cleanouts with shear band connectors		Pipe Lubricant Must be lubricant recommended by the manufacturer
	PVC Wye Must be appropriate size for the pipe.		PVC 22° Must be appropriate size for pipe
	Triangular Clean out Box Must be appropriate size for clean out.		Kor N Seal Flexible Boot Boot for connection to manhole.
	RV Cleanout Caps Must be metal and have a lockable cap.		Kent Seal

Manhole Collar



NOTES:

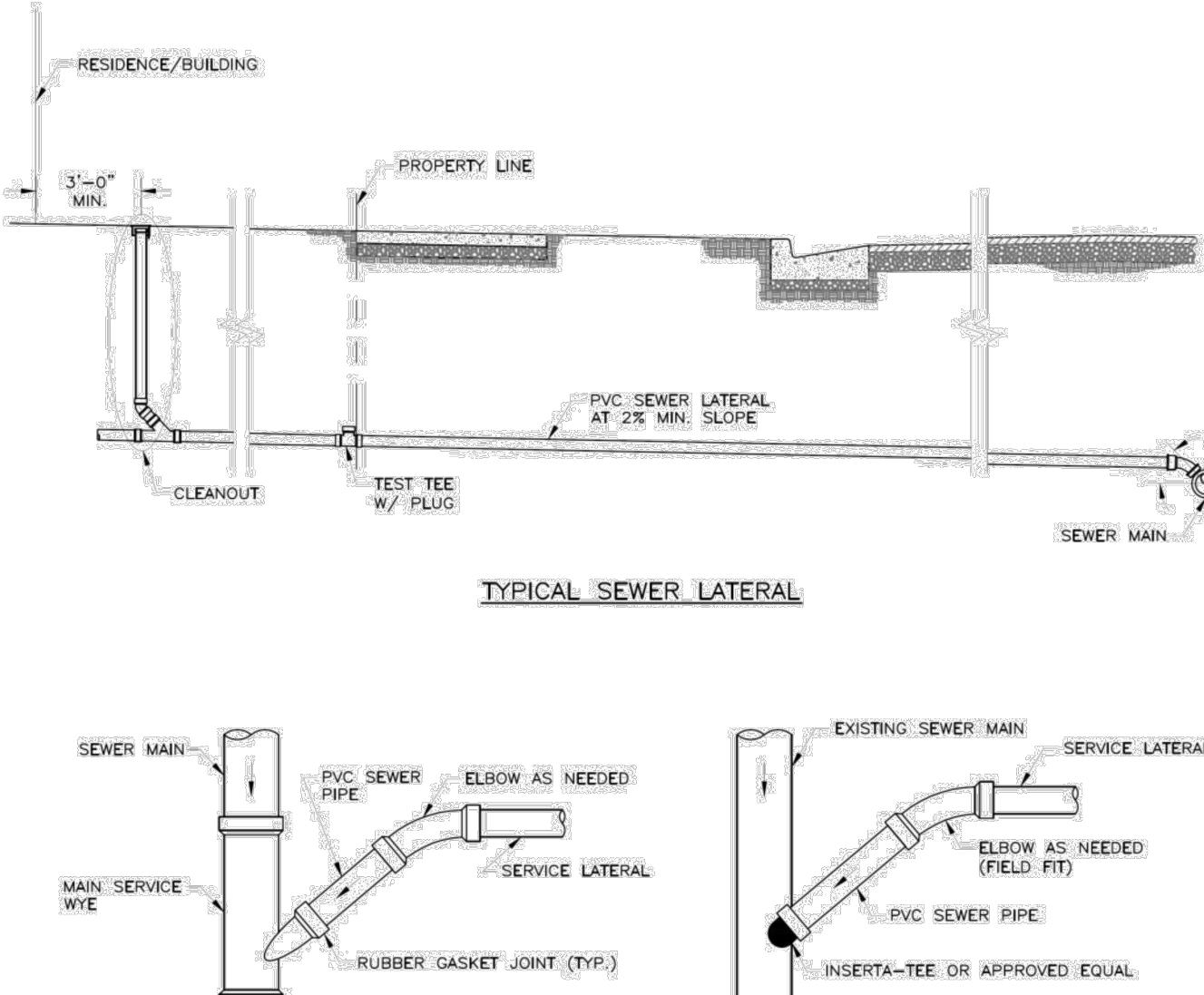
1. CONCRETE SHALL BE CLASS 4000 AS PER APWA SECTION 03 30 04: U-CART OR HAND MIXED CONCRETE WILL NOT BE ACCEPTED.
2. REINFORCEMENT SHALL BE ASTM A-615, GRADE 60, DEFORMED BARS AS PER APWA SECTION 03 20 00.
3. BACKFILL WITH GRADE 1 UNTRATED BASE COURSE AS PER APWA 32 11 23 2.1.
4. GRADE RINGS SHALL BE APWA STANDARD PLAN NO. 361.
5. CONCRETE COLLAR SHALL BE APWA STANDARD PLAN NO. 362.
6. LID SHALL BE CAST WITH "SEWER" LABEL.

LEGEND ENGINEERING

52 WEST 100 NORTH
HEBER CITY, UT 84032
PHONE: 435-654-4838
www.legendengineering.com

THE LOFTS ON VINE
WASTEWATER DETAILS
368 WEST VINE STREET, MURRAY, UTAH 84123

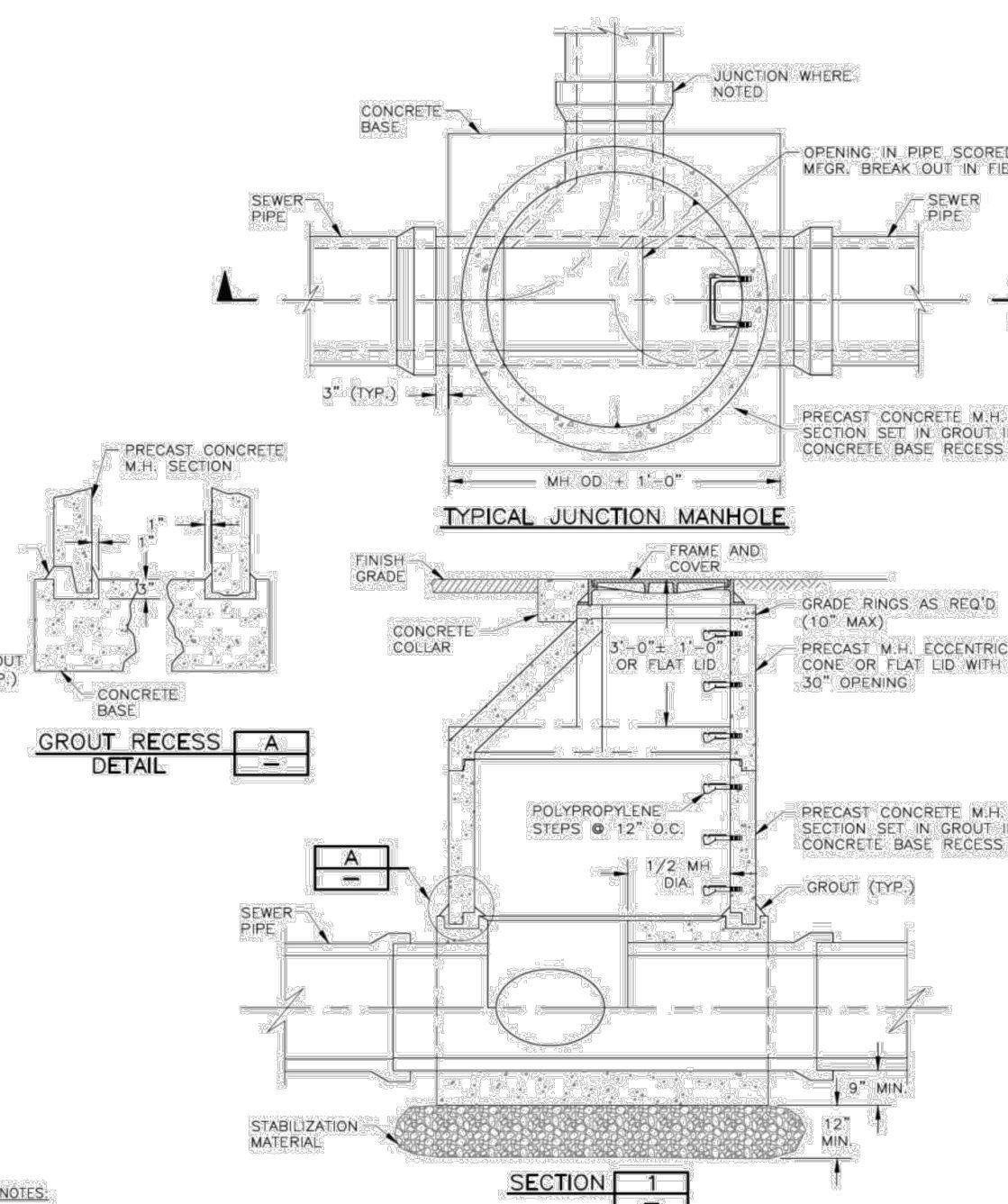
Typical Sewer Lateral and Cleanout



NOTES:

1. SERVICE LATERALS SHALL BE 4" OR 6" AS SHOWN ON PLANS OR AS DIRECTED BY CITY.
2. SEWER LATERALS SHALL CONNECT TO SEWER MAIN AT 45° ANGLE.

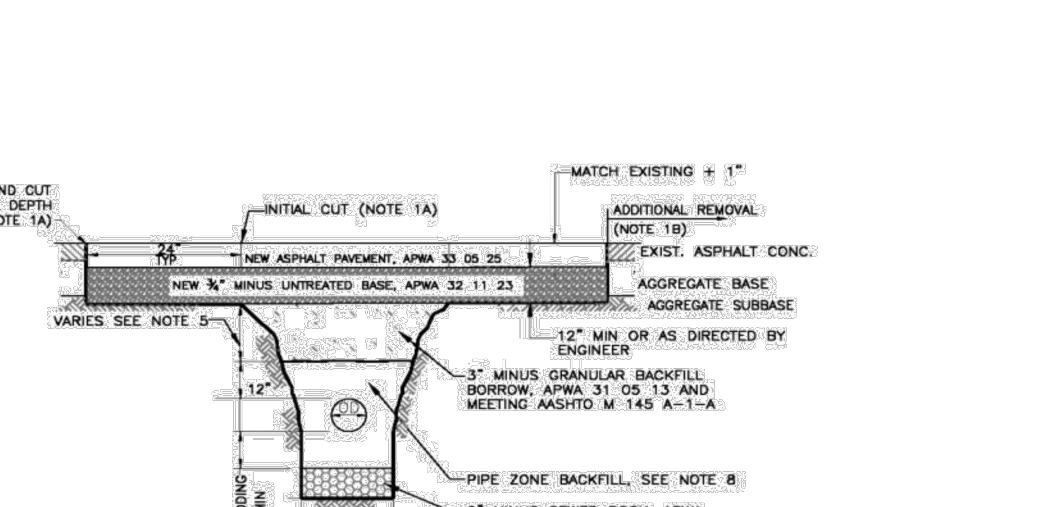
Poured In Place Manhole Detail



NOTES:

1. MANHOLE SIZE:
A. DIAMETER IS 4 FEET: FOR SEWERS UNDER 12" DIAMETER.
B. DIAMETER IS 5 FEET: FOR SEWERS 12" THROUGH 24", OR WHEN 3 OR MORE PIPES INTERSECT THE MANHOLE.
C. CONSULT WITH MURRAY CITY FOR SEWERS LARGER THAN 24".
2. PRECAST REINFORCED CONCRETE MANHOLE SECTIONS SHALL CONFORM TO ASTM C 478. JOINTS SHALL BE RUBBER GASKET, OR SEALED WITH APPROVED SEALANT.
3. CONCRETE: CLASS 4000, APWA SECTION 03 30 04.
4. GROUT: 2 PARTS SAND TO 1 PART CEMENT MORTAR, ASTM C 1329.

Typical Trench Detail



NOTES:

1. ASPHALT PAVEMENT REMOVAL: (REMOVE PAVEMENT AS SPECIFIED IN APWA 02 41 14):
A. IF OR FULL DEPTH OF ASPHALT TO PAVEMENT EDGE, REMOVE PAVEMENT EDGE FOR PAVEMENT REPAIR.
B. IF A 1/2" OR GUTTER IS PRESENT, REMOVE THE PAVEMENT IS WITHIN 2'-FEET OF THE NEW PATCH, REMOVE EXISTING PAVEMENT TO THE STREET FEATURE, RETAIN AND PROTECT EXISTING CURB AND GUTTER.
2. TACK COAT: PROVIDE FULL TACK COAT COVERAGE ON ALL VERTICAL SURFACES.
3. JUNCT REPAIRS: NO TACK COATS OCCUR BETWEEN THE PATCH AND ANY NEW PAVEMENT OR ANY STREET FIXTURE, REPAIR THE CRACK, CONSUL APWA 32 01 17.
4. TRENCH EXCAVATION IN ACCORDANCE WITH APWA 31 23 16, OSHA, AND UOSH SAFETY STANDARDS.
5. ALL BACKFILL PLACED IN TRENCH SHALL MEET SPECIFIED GRADATION AND COMPACTION REQUIREMENTS, NATIVE MATERIAL SHALL BE ALLOWED ONLY IF MEETING THE SPECIFIED GRADATION AND COMPACTION REQUIREMENT AND APPROVED BY THE ENGINEER.
6. COMPACT BACKFILL MATERIALS IN ACCORDANCE WITH APWA 33 05 20, 31 23 26, AND UDOT 02721 (AS APPLICABLE), TRENCH BACKFILL MATERIALS SHALL BE PLACED IN LIFT NOT EXCEEDING 8" AND COMPACTED TO A MAXIMUM DENSITY OF 95% OR GREATER, TRENCH BACKFILL MATERIALS SHALL NOT EXCEED 12" IN LENGTH, DILECTING PIPE.
7. ENGINEER MUST APPROVE USE OF TRENCH STABILIZATION MATERIAL, IF TRENCH STABILIZATION MATERIAL IS USED, TRENCH STABILIZATION MATERIAL AND PIPE BEDDING SHALL BE SEPARATED USING GEOTEXTILE MEETING THE REQUIREMENTS OF APWA 31 05 19.
8. PIPE ZONE MATERIAL TO BE A-1-a OR A-1-b, ASTM D 3282 3/4" MAXIMUM PARTICLE SIZE, PEA GRAVEL AND "SQUEEZE" IS NOT ALLOWED IN ANY PART OF THE PIPE ZONE, MATERIAL SHALL BE PLACED IN LIFT NOT EXCEEDING 8" AND COMPACTED TO A MAXIMUM DENSITY OF 95% OR GREATER, TRENCH BACKFILL MATERIALS SHALL NOT EXCEED 12" IN LENGTH, DILECTING PIPE.
9. PROVIDE AC-20-DM-1/2 ASPHALT-CONCRETE UNLESS OTHERWISE DIRECTED BY ENGINEER.
10. RECYCLED ASPHALT SHALL NOT BE USED FOR BACKFILL IN ANY PART OF THE TRENCH.

SHEET:
C-4.2
DATE: 7/28/2025
CONCEPT



1

2

3

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5

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D

C

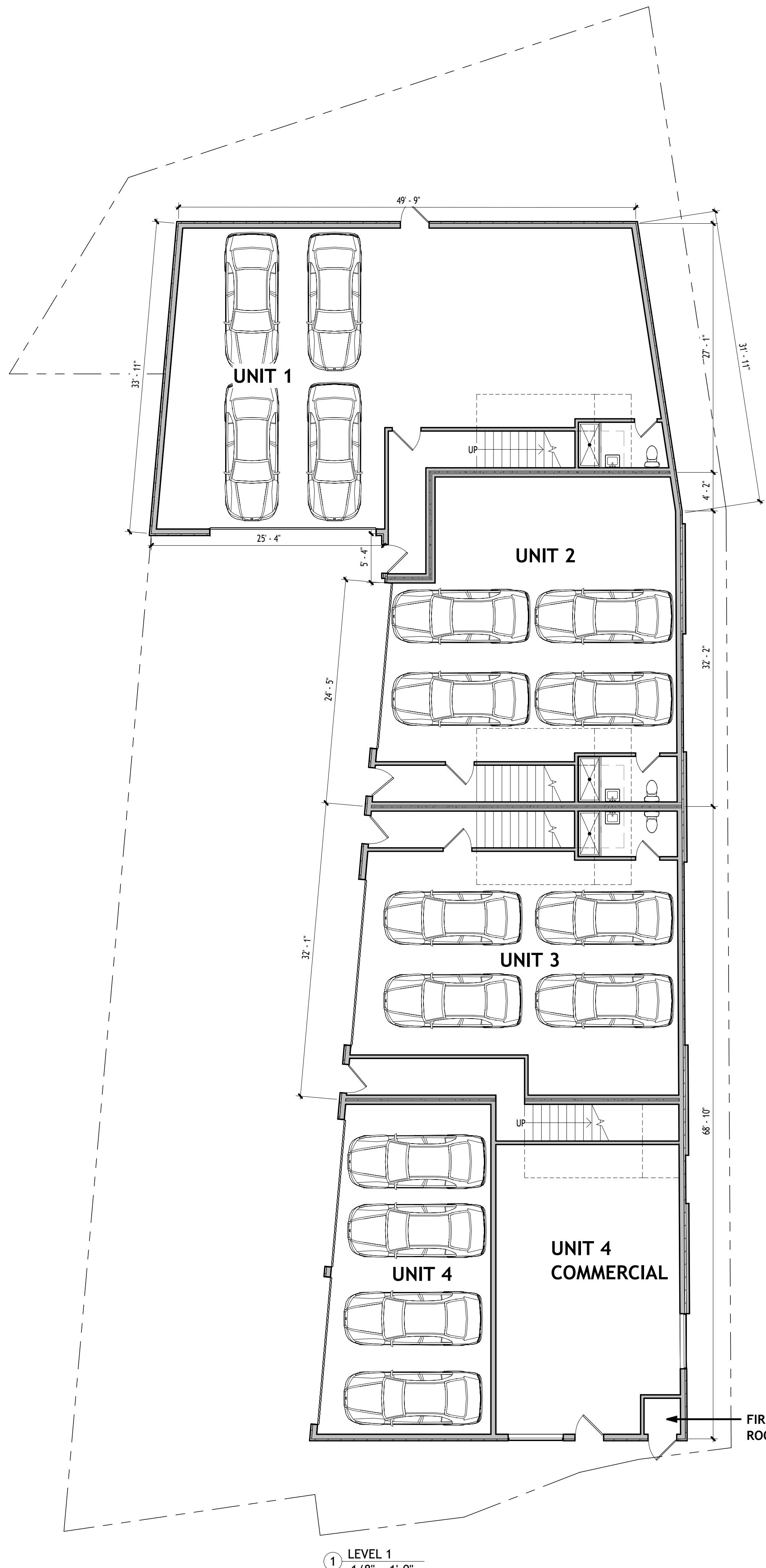
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B

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A



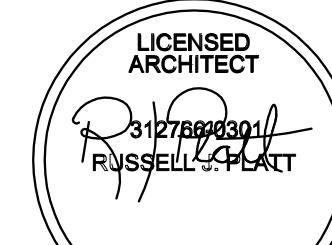
A101

ARCHITECT'S INFORMATION:



RUSSELL PLATT ARCHITECTURE
438 NORTH 300 WEST
SALT LAKE CITY, UTAH 84103
(801)-580-0181

PROFESSIONAL STAMP:



CODE OFFICIAL STAMP:

PROJECT NAME:

VINE

368 W Vine St
Murray, UT 84123

REVISIONS:

NO. DATE

DESCRIPTION

ISSUED: JULY 31ST, 2025

NO. DATE

DESCRIPTION

OWNER PROJECT #:

RPA PROJECT #:

DRAWN BY:

CHECKED BY:

DESIGNED BY:

COPYRIGHT:
© 2018 RUSSELL PLATT ARCHITECTURESHEET TITLE:
LEVEL 1 FLOOR
PLAN

SHEET NUMBER:

1

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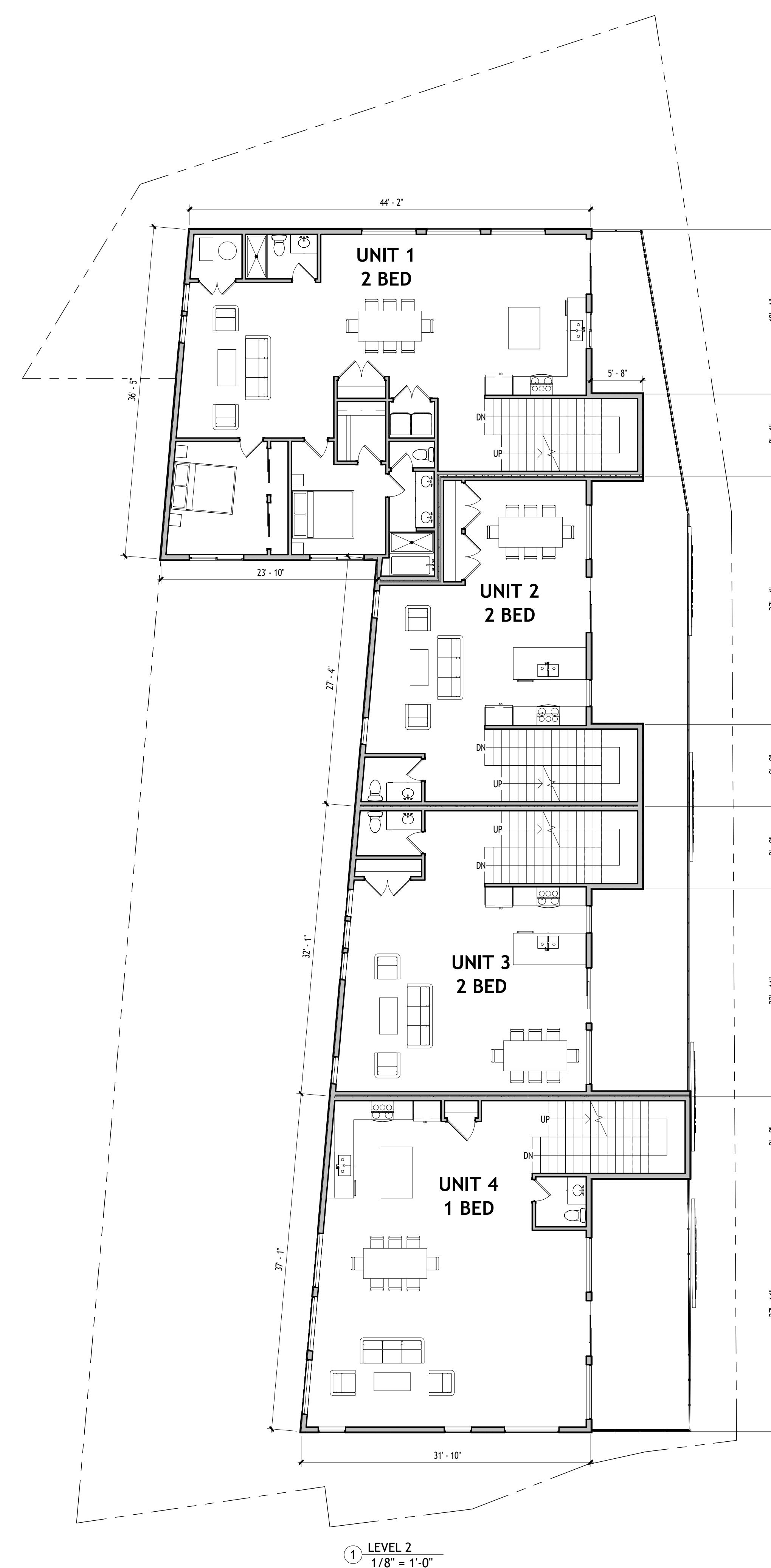
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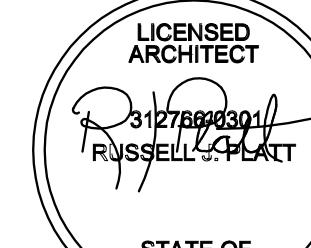
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A102



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ARCHITECT'S INFORMATION:

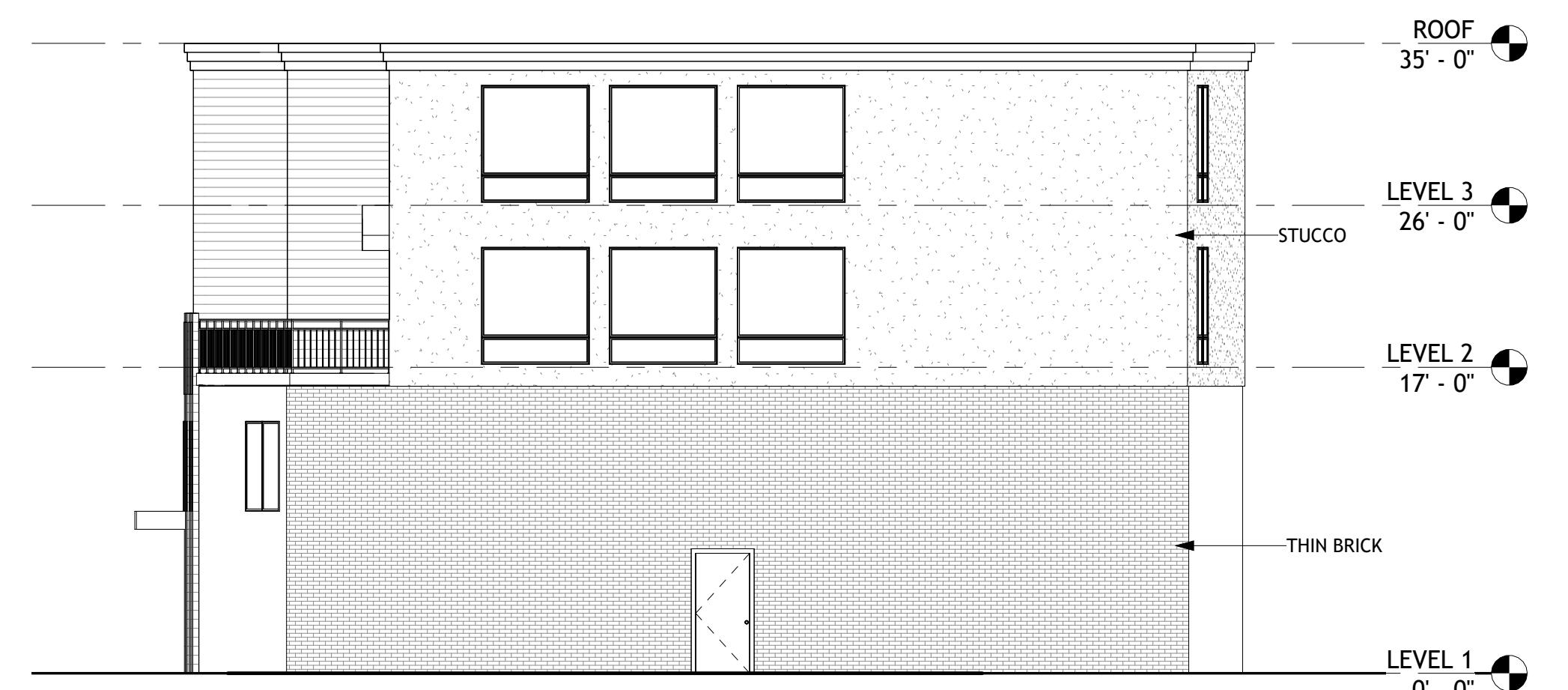


RUSSELL PLATT ARCHITECTURE
438 NORTH 300 WEST
SALT LAKE CITY, UTAH 84103
(801)-580-0181

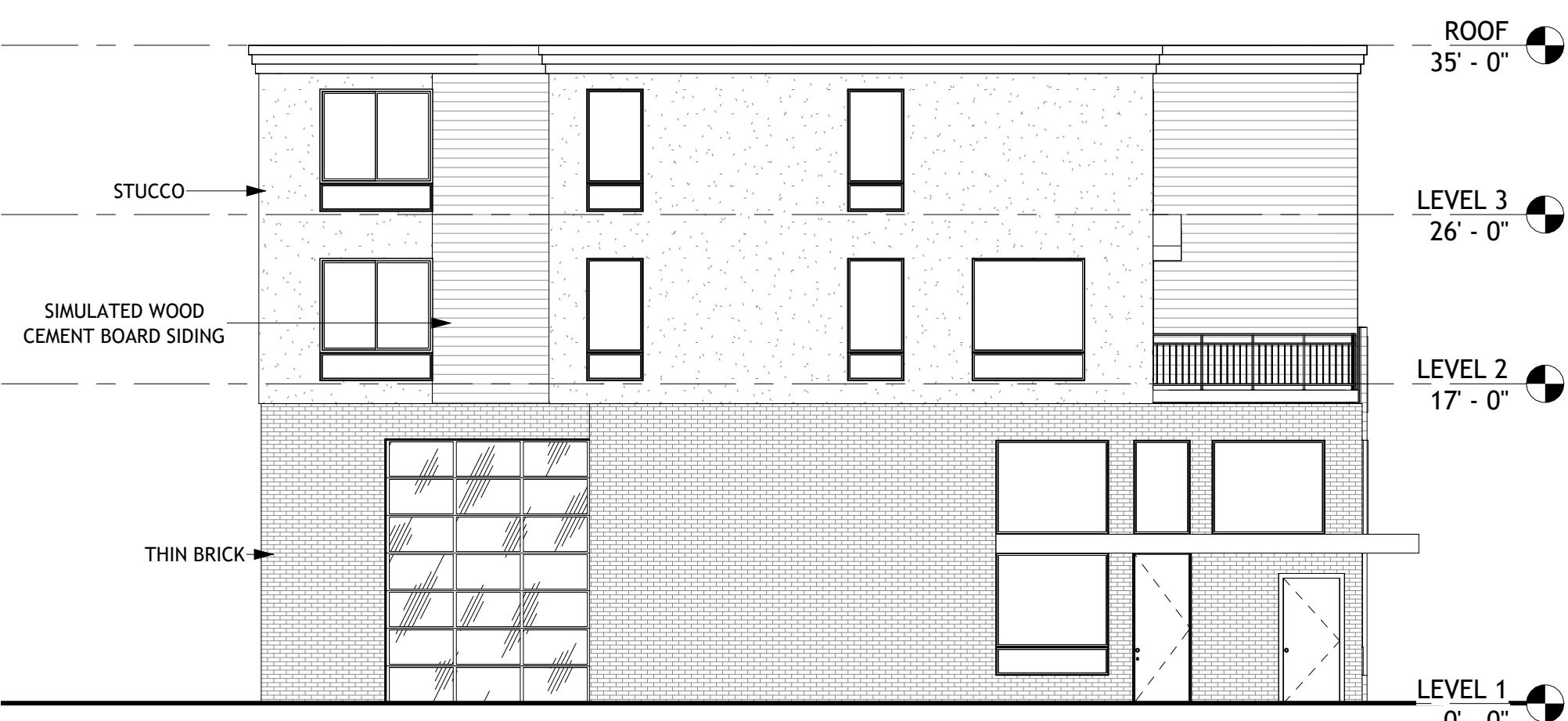


① West Architectural Building Elevation
1/8" = 1'-0"

C

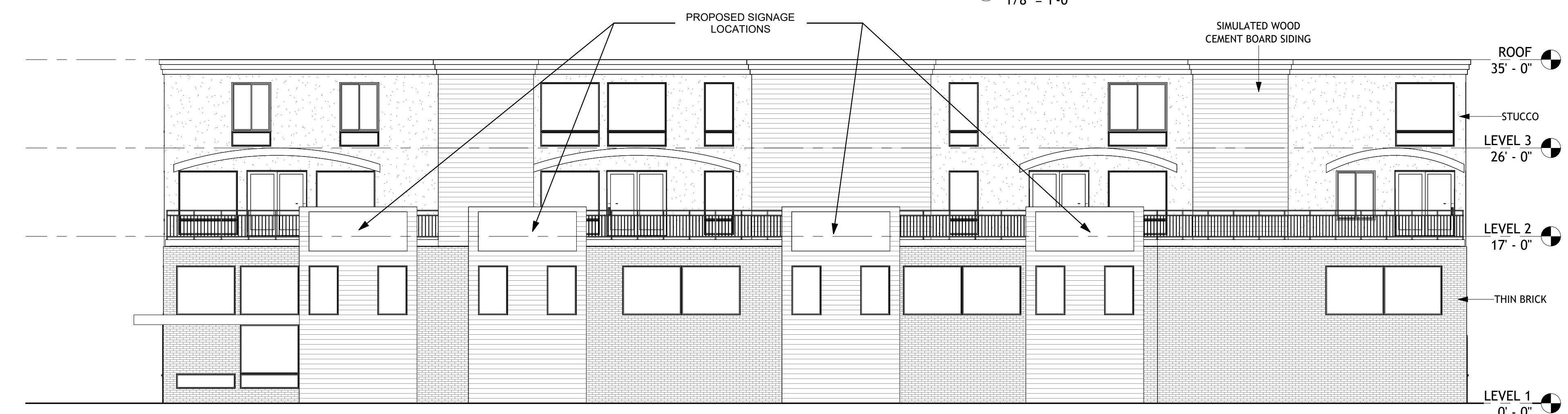


② North Architectural Building Elevation
1/8" = 1'-0"



③ South Architectural Building Elevation
1/8" = 1'-0"

B



④ East Architectural Building Elevation
1/8" = 1'-0"

PROJECT NAME:
VINE

368 W VINE ST

Murray, UT 84123

REVISIONS:
NO. DATE DESCRIPTION

ISSUED: JULY 31ST, 2025
NO. DATE DESCRIPTION

OWNER PROJECT #:
RPA PROJECT #:
DRAWN BY:
CHECKED BY:
DESIGNED BY:
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© 2018 RUSSELL PLATT ARCHITECTURE

SHEET TITLE: ELEVATIONS

SHEET NUMBER: A201

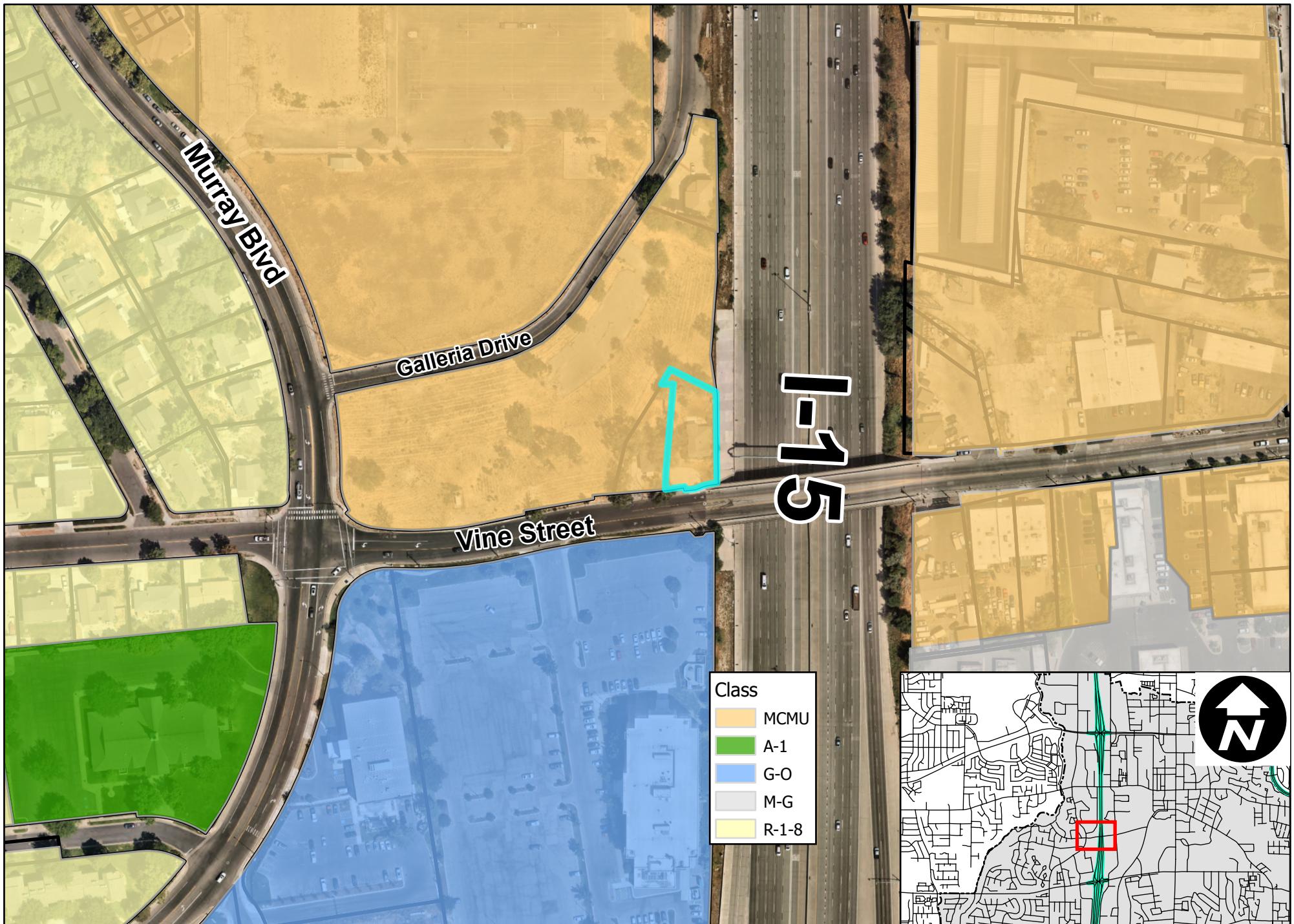








368 West Vine Street



368 West Vine Street





MURRAY CITY CORPORATION

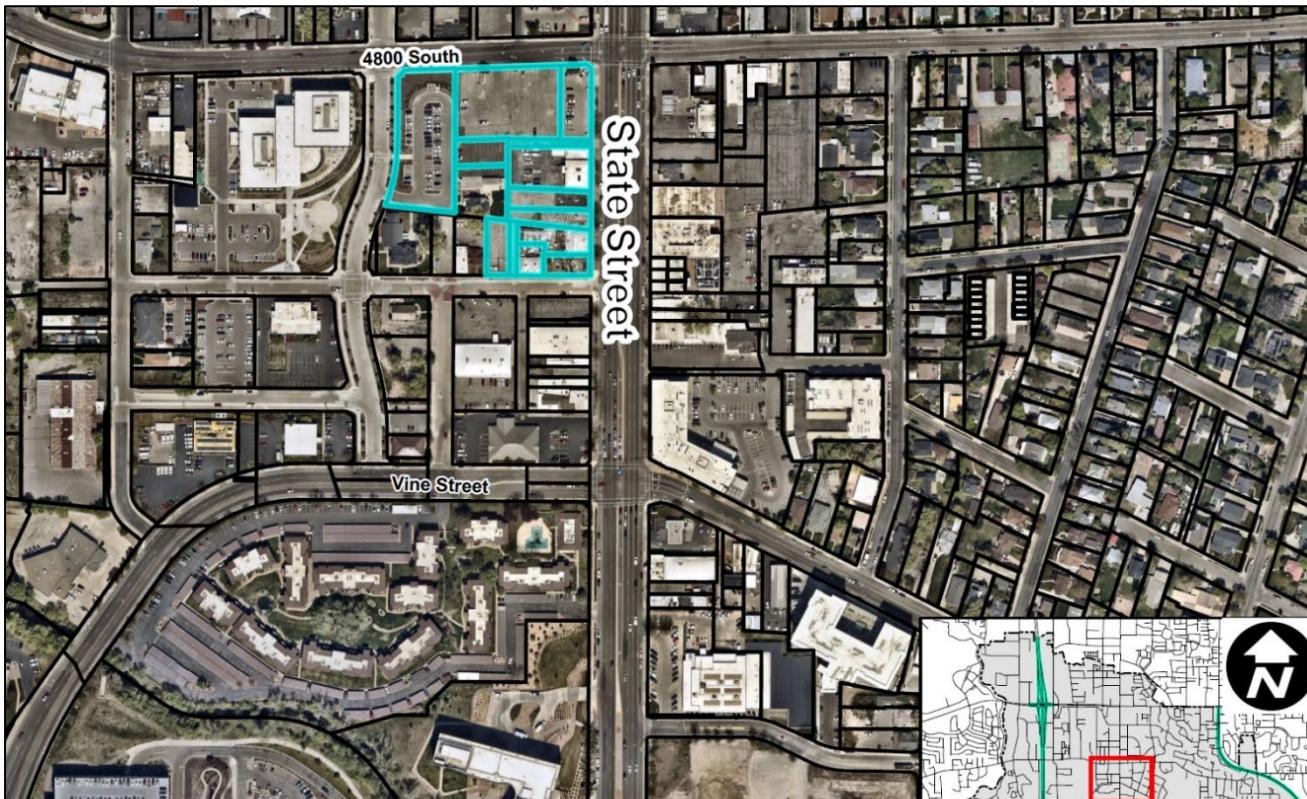
COMMUNITY & ECONOMIC DEVELOPMENT

Building Division 801-270-2400

Planning Division 801-270-2430

ITEM # 06 - Block One Subdivision

ITEM TYPE:	Subdivision Amendment		
ADDRESS:	4816, 4836-4844, 4854, 4858-4860, 4868 South State Street, 65, 75 East Fifth Avenue, and 4843, 4837 South Poplar Street	MEETING DATE:	September 4, 2025
APPLICANT:	Murray City & Rockworth Companies	STAFF:	Zachary Smallwood, Planning Manager
PARCEL ID:	22-07-105-019, 22-07-1050-16, 22-07-105-017, 22-07-105-007, 22-07-105-008, 22-07-105-009, 22-07-105-014, 22-07-105-015, 22-07-105-013, 22-07-105-012, 22-07-105-011, 22-07-105-003, 22-07-105-004, 22-07-105-020		
ZONE:	City Center Form Based Code	PROJECT NUMBER:	25-086
SIZE:	3.51 acres		
REQUEST:	Murray City and Rockworth Companies are requesting approval to amend Lot 2 of the City Hall Subdivision approved by Planning Commission on March 2, 2023.		



I. LAND USE & SUBDIVISION ORDINANCE

Section 16.04.030(C) of the Murray City Subdivision Ordinance requires applications for modifications to existing subdivisions of property to be reviewed and approved by the Murray City Planning Commission as the Land Use Authority. Murray City Code Title 16, Subdivision Ordinance, outlines the requirements for subdivision review. Utah State Code (10-9a-604) states that a subdivision plat may not be recorded until approved by the land use authority of the City. The Planning Commission's role as the Land Use Authority is to ensure that a proposed amended subdivision is consistent with established ordinances, policies, and planning practices of the City. The Planning Commission makes investigations, reports, and recommendations on proposed subdivisions as to their conformance to the General Plan and Title 17 of City Code, and other pertinent documents as it deems necessary.

II. BACKGROUND

The Murray City Hall Subdivision was created in 2024 to consolidate a number of parcels that encompassed what would become the Murray City Hall property, adjacent parking lots, and the dedication of the Hanauer Street extension.

As part of the development agreement with Rockworth Companies Murray City will be conveying Lot 2 of the City Hall Subdivision and multiple parcels. To streamline the process the city has opted to consolidate all of the parcels the city owns and the one parcel that Rockworth Companies owns to facilitate the development of the project that was reviewed at the August 21st, 2025 Planning Commission meeting.

Project Location

The subject properties are located along 4800 South on the north to 5th Avenue on the south and State Street on the east to Hanauer Street on the west. It does not include the property that Tea Rose Diner or the Murray Mansion are located on.

Surrounding Land Use and Zoning

<u>Direction</u>	<u>Land Use</u>	<u>Zoning</u>
North	Commercial	CC-FBC
South	Commercial	CC-FBC
East	Institutional	CC-FBC
West	Commercial	CC-FBC

III. PROJECT REVIEW

The proposed amendment will extend Lot 2 of the Murray City Hall Subdivision to encompass all the properties that are collectively known as block one. This request is to allow the disposition of the property to Rockworth Companies to building the project that was approved at the August 21st, 2025 Planning Commission meeting.

Utilities, Grading

Utility and grading plans were reviewed by the Planning Commission and City Staff during the design review application. The applicants understand that there will need to be modifications to utilities during development of the project.

Public Improvements

No new public improvements will be required with this subdivision. Rockworth companies will be installing new public improvements as part of their development.

Existing Right of Way

There is a public right of way located to the north side of what is considered the Mercantile Building. The city is in the process of vacating this right of way to be included as part of the subdivision. The City will need to have this completed prior to recording of the plat.

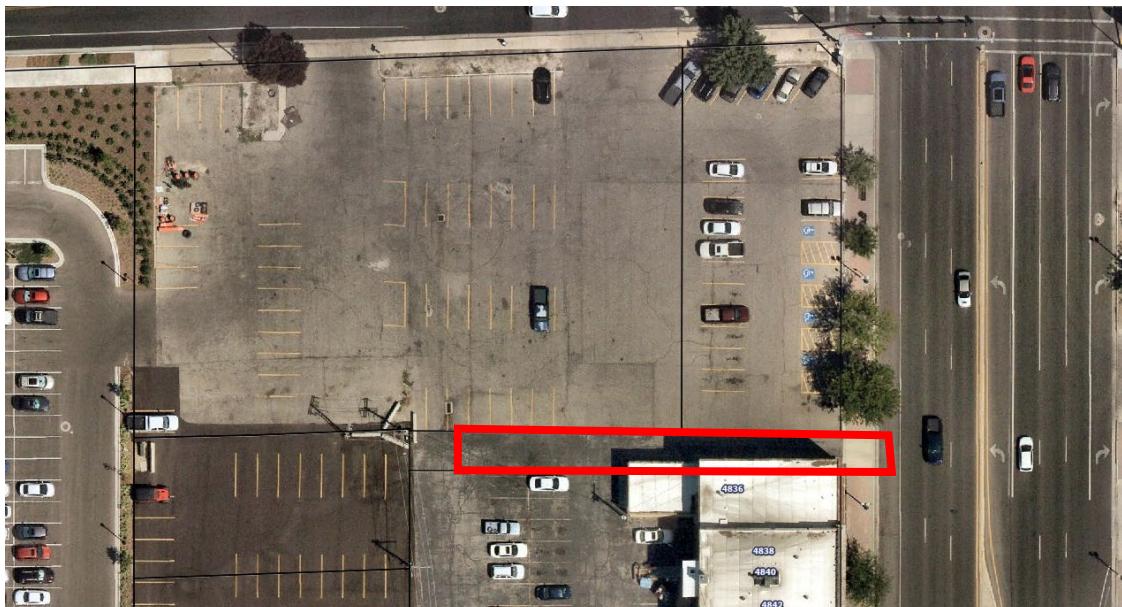


Figure 1: Existing Right of Way

IV. CITY DEPARTMENT REVIEW

The application and materials were distributed to city staff from various departments for their review and comments on August 19th, 2025. The following comments have been provided in response by the reviewing departments:

- The City Engineer's office made the following comments:
 - Meet City subdivision requirements and standards – City Code Title 16. The current plat does not meet city or county standards for recording.
 - The plat depiction and boundary description need to include a section corner tie.

- The 12' Alley must be vacated prior to recording the plat.
- Provide an access easement on the southwest side of the property from Hanauer Street.
- Provide dedication for 4800 South widening.
- Vacate unused and unnecessary easements shown on the plat – relocate or abandon utilities as required.
- The plat must provide the correct Ownership and Acknowledgements for the signers. There are currently three property owners within the plat boundary.
- Provide conveyance deeds prior to recording the plat.
- Include standard utility notes and signature lines for utilities – Enbridge Energy requires their own note and signature line.
- Provide correct signature blocks and format.
- Address all City and County comments prior to printing the plat to mylar.
- The Murray Sewer Department stated the following:
 - Approve of the subdivision amendment for the Murray Block One Subdivision.
 - Please note utilities for the subdivision still need work before approval.

Other reviewing staff recommended approval without specific conditions or comments.

V. PUBLIC COMMENTS

Public notices were mailed to 113 property owners within a 500 foot radius of the proposed amendment and affected entities notifying them of the proposed subdivision amendment. As of the date of this report, no comments have been received.

VI. FINDINGS

Based on the analysis of the application and materials provided and a survey of surrounding area, staff concludes the following:

1. With conditions, the proposed subdivision meets the requirements of Section 17.171 of the Murray City Land Use Ordinance.
2. With conditions, the proposed subdivision meets the requirements of the applicable sections of the Murray City Subdivision Ordinance, Title 16 of the City Code for the subdivision of land.
3. The subdivision of land is allowed by Utah State Code Section 10-9a-608(2)(a)(iii), and with conditions this proposed subdivision amendment will meet the requirements therein.

VIII. CONCLUSION/RECOMMENDATION

Based on the information presented in this report, application materials submitted and a site

review, staff recommends that the Planning Commission **APPROVE the Block One Subdivision, amending and extending Lot 2 of the Murray City Hall Subdivision for the properties addressed 4816, 4836-4844, 4854, 4858-4860, 4868 South State Street, 65, 75 East Fifth Avenue, and 4843, 4837 South Poplar Street subject to the following conditions:**

1. The applicant shall meet the requirements of the City Engineer as stated in the staff report.
2. The applicant shall meet all relevant Power, Water, Sewer, and Fire Department requirements.
3. The property shall meet all the applicable requirements of Chapter 17.171 of the Murray Land Use Ordinance for the City Center Form Based Code.
4. The subdivision plat shall be recorded within one year of the final approval by the Planning Commission or the final plat shall be null and void.



NOTICE OF PUBLIC HEARING

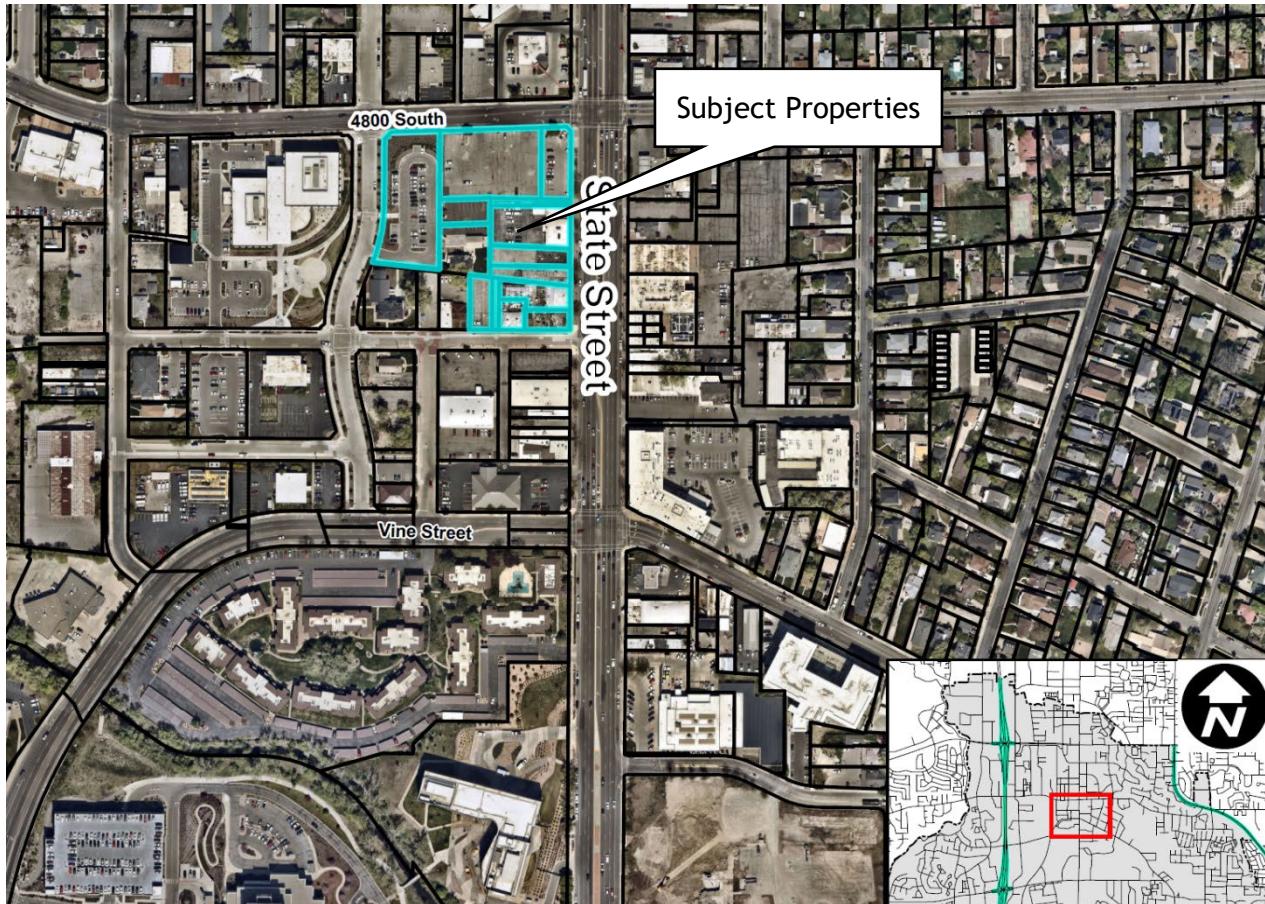
September 4th, 2025, 6:30 PM

The Murray City Planning Commission will hold a public hearing in the Murray City Council Chambers, located at 10 East 4800 South to receive comment on an application submitted by **Representatives of Murray City & Rockworth Companies** for the properties located between **4800 South to Fifth Avenue & State Street to Hanauer Street as shown on the map below**.

The applicants are requesting a subdivision amendment to amend approximately thirteen parcels to consolidate into the Murray City Hall Subdivision on 3.51 acres.

The meeting will be streamed online, at www.murraycitylive.com or www.facebook.com/MurrayCityUtah/.

Comments are limited to 3 minutes or less, written comments will be entered into the meeting record.



This notice is being sent to you because you own property within 500 feet of the subject property. Comments concerning this proposal, will be accepted by calling the Murray City Planning Division at 801-270-2430, e-mail to pc@murray.utah.gov or in person at the meeting.

Special accommodations for the hearing or visually impaired will be upon a request to the office of the Murray City Recorder (801-264-2660). We would appreciate notification two working days prior to the meeting. TTY is Relay Utah at #711.

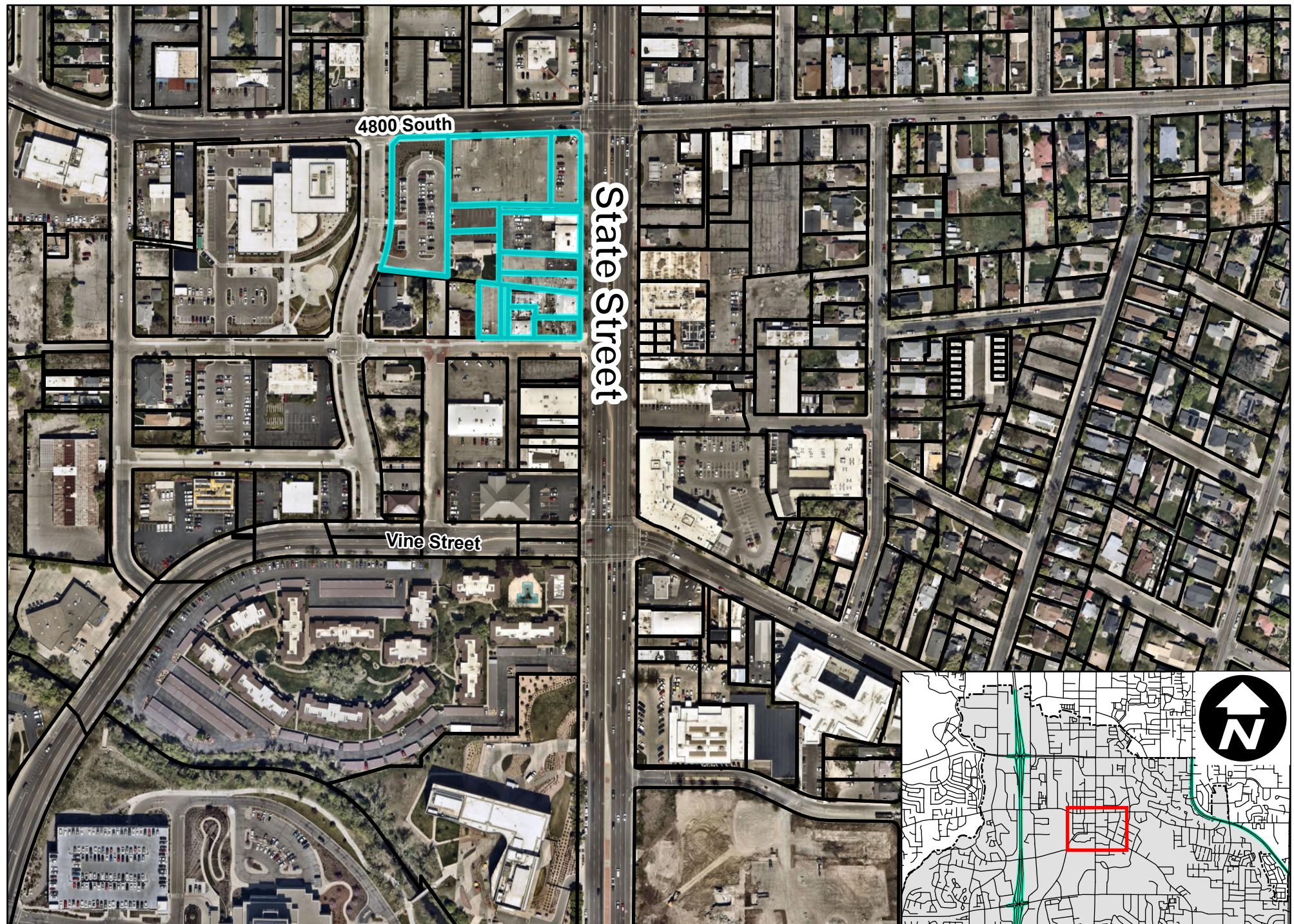
Public Notice Dated | August 22nd, 2025

FOUND BRASS CAP MONUMENT
WITH RING & LID

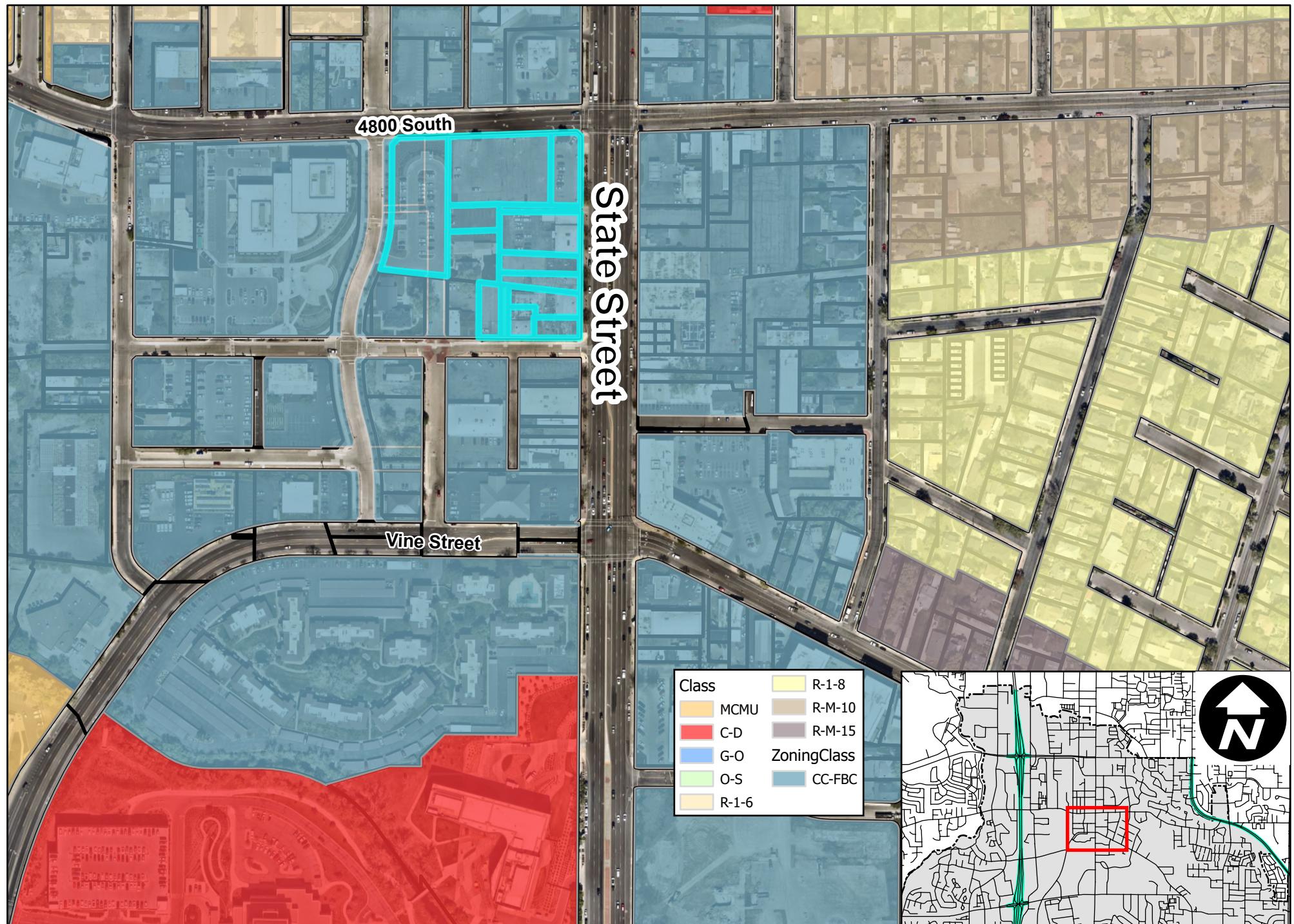
4800 SOUTH STREET

FOUND BRASS CAP
MONUMENT
WITH RING & LD

4800 South State Street

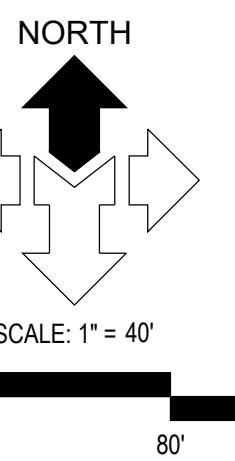


4800 South State Street



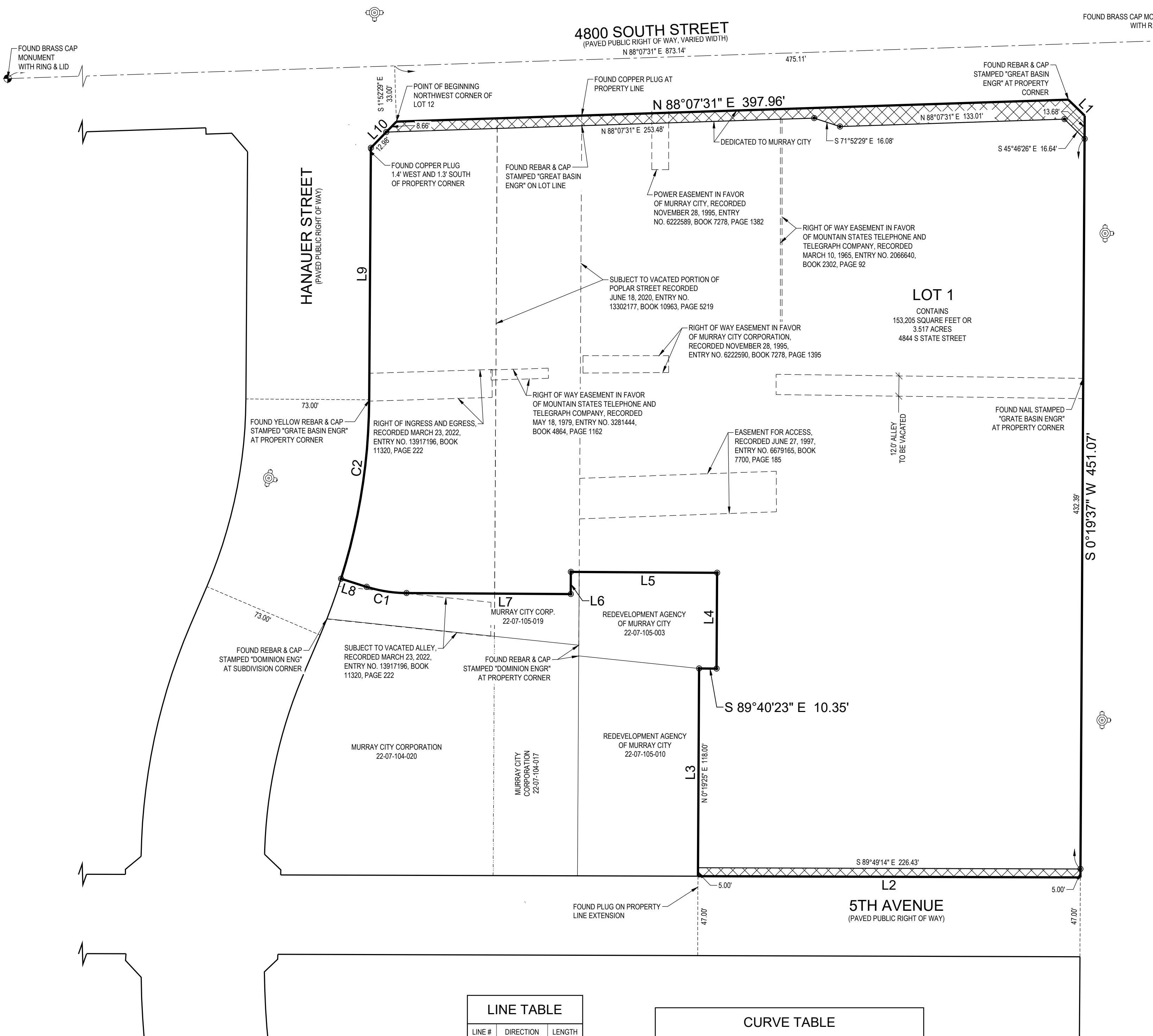
MURRAY BLOCK ONE SUBDIVISION

AMENDING LOT 2, MURRAY CITY HALL SUBDIVISION
LOCATED IN THE NORTHWEST QUARTER OF SECTION 7,
TOWNSHIP 2 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN



SURVEYOR'S CERTIFICATE

I, B. DRAPER, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NUMBER 6861599, AS PRESCRIBED BY
58, CHAPTER 22, PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY THAT BY THE
ORITY OF THE OWNER(S) ESI ENGINEERING HAS PERFORMED A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED HEREON,
AVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS, TOGETHER WITH EASEMENTS, HEREAFTER TO BE KNOWN AS MURRAY CITY HALL
VISION, AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND MONUMENTED ON THE GROUND AS SHOWN ON THIS PLAT IN ACCORDANCE
SECTION 17-23-17. I FURTHER CERTIFY THAT ALL LOTS MEET FRONTAGE WIDTH AND AREA REQUIREMENTS OF THE APPLICABLE ZONING
ANCES.



LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	S 45°46'23" E	13.64'
L2	N 89°49'14" W	226.43'
L3	N 00°19'04" E	123.00'
L4	N 00°19'37" E	56.75'
L5	N 89°40'23" W	86.60'
L6	S 00°19'37" W	13.10'
L7	N 89°40'23" W	97.26'
L8	N 72°30'00" W	15.84'
L9	N 00°22'47" E	149.23'
L10	N 44°15'09" E	21.64'

CURVE TABLE					
CURVE #	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	80.00'	23.98'	017°10'28"	N81°05'11"W	23.89'
C2	360.50'	107.72'	017°07'13"	N8°56'25"E	107.32'

EASEMENT APPROVAL

MURRAY SEWER AND WATER DATE

ENBRIDGE DATE

MURRAY FIRE DEPARTMENT

PLANNING COMMISSION

LAKE COUNTY HEALTH DEPARTMENT

PREPARED BY:

McNEIL ENGINEERING™

Economic and Sustainable Designs, Professionals You Know and Trust

Structural Engineering • Land Surveying & TDS

MURRAY BLOCK ONE SUBDIVISION

SALT LAKE COUNTY RECORDER

RECORD NO. _____.

OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF _____

TIME: _____ BOOK: _____ PAGE: _____

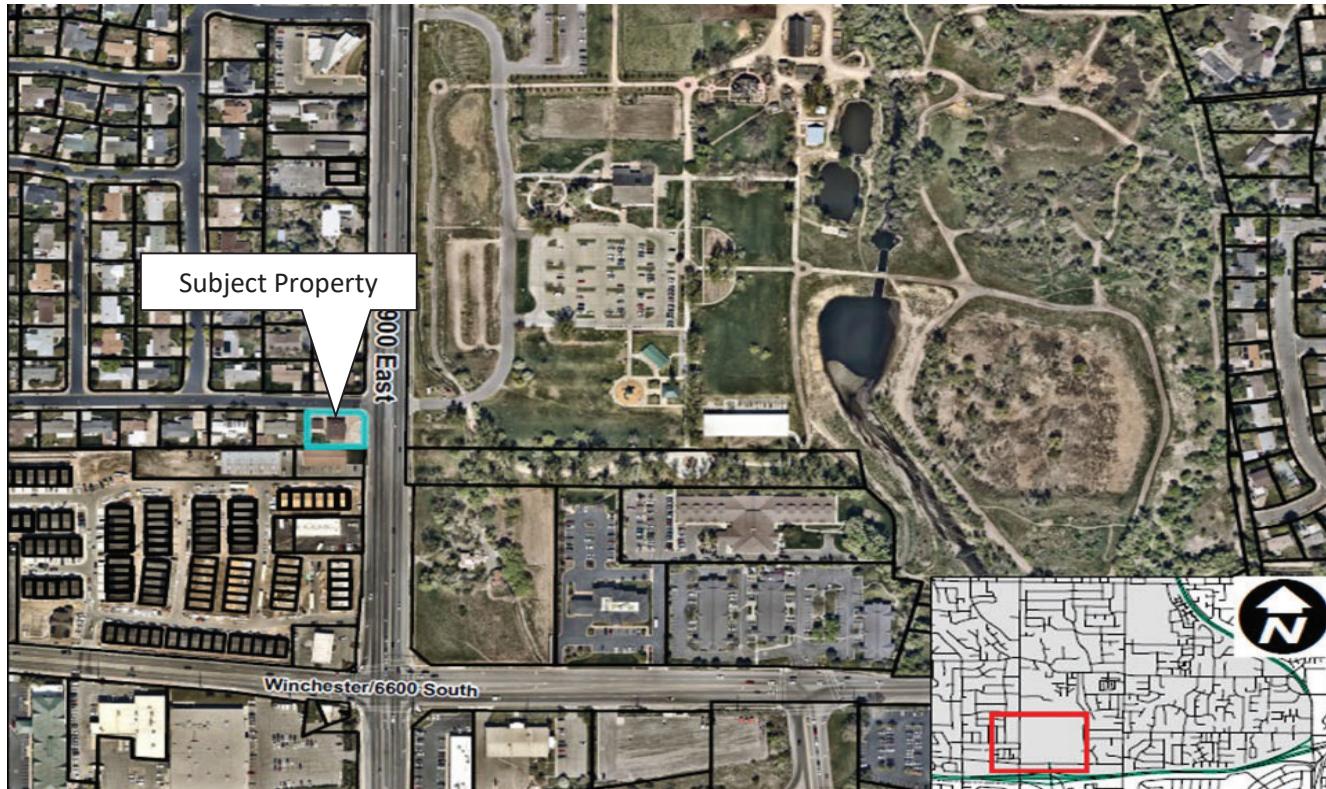
FEE \$ _____

SALT LAKE COUNTY RECORDER



AGENDA ITEM #08 - Lusso Office Services

ITEM TYPE:	Zone Map Amendment		
ADDRESS:	6446 South 900 East	MEETING DATE:	September 4 th , 2025
APPLICANT:	Claudia Alvarado	STAFF:	David Rodgers, Senior Planner Ruth Ruach, Planner 1
PARCEL ID:	22-20-176-003	PROJECT NUMBER:	25-085
CURRENT ZONE:	R-1-8, Residential Single Family	PROPOSED ZONE:	R-N-B Residential Neighborhood Business
Land Use Designation	Residential Business	PROPOSED DESIGNATION	N/A
SIZE:	.25 acres		
REQUEST:	The applicant would like to amend the Zoning Map for the subject property from R-1-8 to R-N-B to allow for a commercial use.		



I. BACKGROUND & REVIEW

The owner of the subject property has applied for an amendment to the Murray City Zoning Map from R-1-8 to R-N-B in order to permit the operation of a consulting firm. The subject property is distinguished from adjacent residential lots by its unique history and physical characteristics. Its direct access from 900 East, a feature not common for residential properties in the area, appears to be a remnant of its former use as a live-work preschool. This, combined with a rapid succession of zoning changes following its construction in 1974, suggests the property stands out from the area's conventional residential pattern and supports a case for a zoning change.

Surrounding Land Uses & Zoning

The subject property is currently located in the R-1-8 zone, situated on 900 East directly across from Wheeler Farm. The surrounding area features a mix of zoning designations, with properties to the south zoned C-D, Commercial Development, and some further north zoned R-N-B.

<u>Direction</u>	<u>Land Use</u>	<u>Zoning</u>
North	Single-Family Residential	R-1-8
South	Commercial/Retail	C-D
East	Parks & Open Space	O-S
West	Single-Family Residential	R-1-8

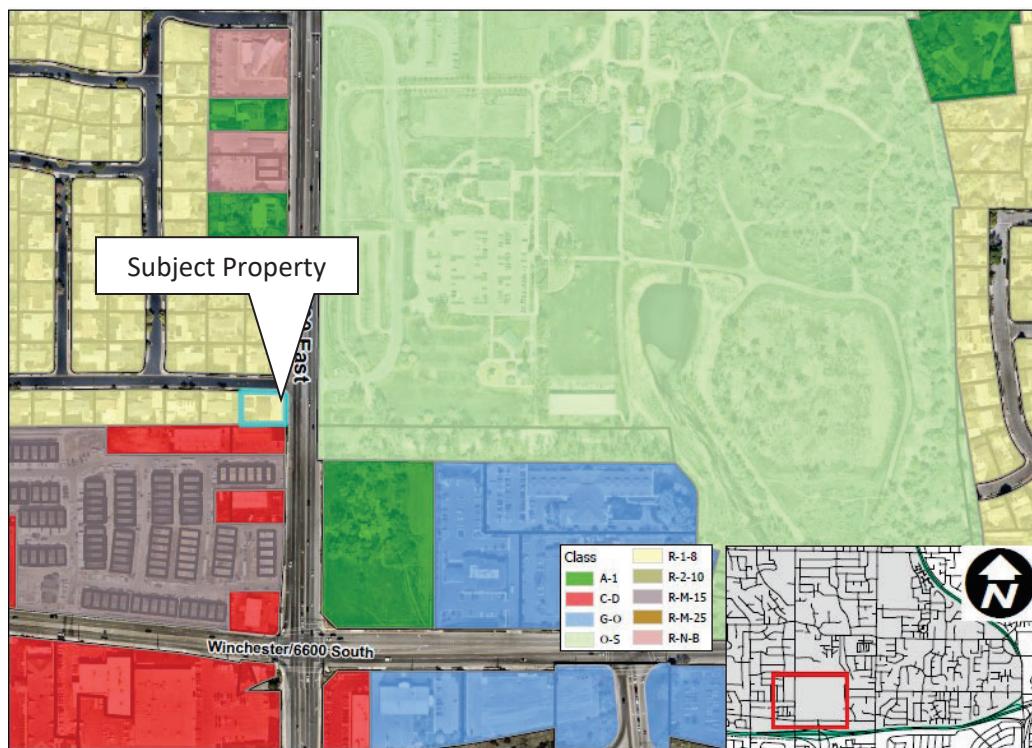


Figure 1: Zoning Map Segment

Zoning Considerations

Given the property's proximity to other commercial zones and its inclusion within the Residential Business designation in the General Plan, staff finds that the requested rezone would be a suitable fit. This change would align the property with its future land use designation and create consistency with several of the nearby properties.

Allowed Land Uses

Changing the zone from R-1-8 to R-N-B would allow the applicant to change the property from a single-family dwelling to a commercial use. This will allow the lot to be available for various uses while integrating into the currently existing neighborhood feel and character.

- **Existing R-1-8, Single Family Low Density Residential Zone:**
Permitted Uses in the proposed R-1-8 include single-family detached dwellings on 8,000 ft² lots, utilities, charter schools, and residential childcare facilities.

Conditional Uses in the proposed R-1-8 include attached single-family dwellings (in Planned Unit Developments, or PUDs) telephone stations and relay towers, radio and television transmitting stations, parks, schools and churches, utilities, cemeteries, libraries, and group instruction in single-family dwellings.
- **Proposed R-N-B, Residential Neighborhood Business Zone:**
Permitted Uses in the proposed R-N-B zone include single-family detached dwellings that must meet the requirements of the R-M-10 zone, twin homes, two-family dwellings (duplex) that must meet the requirements of the R-M-10 zone, residential disability care facilities, residential elderly care facilities, utilities, travel agencies, florists, optical goods, insurance offices, real estate offices, portrait photography, beauty and barber services, physician's offices, dental offices, other medical services, legal services, engineering firms, accounting and tax services, art and design studios, business consulting services, art, drama, and music schools, and dancing schools.

Conditional Uses in the proposed R-N-B include bed and breakfasts, delicatessen and lunch facilities without drive-throughs, health food facilities without drive-throughs, antiques, books and hobby supplies, gift shops and boutiques, banking and credit union services, tanning/sauna/message salon, dental laboratory services, protective functions, K-12 Schools, residential childcare facilities, denominational and sectarian schools, churches, business associations, professional membership organizations, political and civic organizations and non-profit organizations.

Zoning Regulations

The comparison of the regulations for setbacks, height, and parking between the existing R-1-8 and proposed R-N-B zones are summarized in the table below.

	R-1-8 (existing)	R-N-B
Height	35'	20' (30' with CUP)
Front yard setback	25'	20'
Rear Yard setback	25'	20'
Side Yard setbacks	8' minimum, total of 20'	8'
Corner Yard setback	20'	20'
Parking Required	2 spaces per dwelling	Based on Use

Table 1: Compared Regulations in existing and proposed zones.

Future Land Use Map Designations

Map 5.7 of the Murray City General Plan (the Future Land Use Map) identifies future land use designations for properties in Murray City. The designation of a property is tied to corresponding purpose statements and zones. These “Future Land Use” designations are intended to help guide decisions about the zoning designations of properties. The subject property is currently designated “Residential Business”. This designation calls for this area to be rezoned to R-N-B and thus the proposed rezone meets the intentions of the General Plan.



Figure 2: Future Land Use Map segment.

II. CITY DEPARTMENT REVIEW

The application and materials were distributed to various departments, including the Engineering Division, Building Division, Police Department, Fire Department, Power Department, Water Division, and Wastewater Division for their review and comments on August 19th, 2025. All departments approved of the rezone with no comments provided.

III. PUBLIC COMMENTS

Fifty-eight (58) notices of the public hearing for the requested amendments to the Future Land Use Map and Zone Map were sent to all property owners within 300' of the subject property and to affected entities. As of the date of this report no comments have been received.

IV. FINDINGS

1. The General Plan provides for flexibility in implementation and execution of the goals and policies based on individual circumstances.
2. Amending the Zoning Map will allow for cohesion as the character of 900 East develops into a mix of housing and commercial opportunities.
3. The proposed Zone Map amendment from R-1-8 to R-N-B has been considered based on the characteristics of the site and surrounding area. The potential impacts of the change can be managed within the uses allowed in the R-N-B zone.
4. The proposed Zone Map amendment from R-1-8 to R-N-B conforms to important goals and objectives of the 2017 Murray City General Plan and will allow an appropriate use of the subject property.

V. STAFF RECOMMENDATION

Based on the background, analysis, and findings within this report, Staff recommends that the Planning Commission forward a recommendation of APPROVAL to the City Council for the requested amendment to the Zoning Map designation of the properties located at 6446 South 900 East from R-1-8, Low Density Single Family to R-N-B Residential Neighborhood Business as described in the Staff Report.



NOTICE OF PUBLIC HEARING

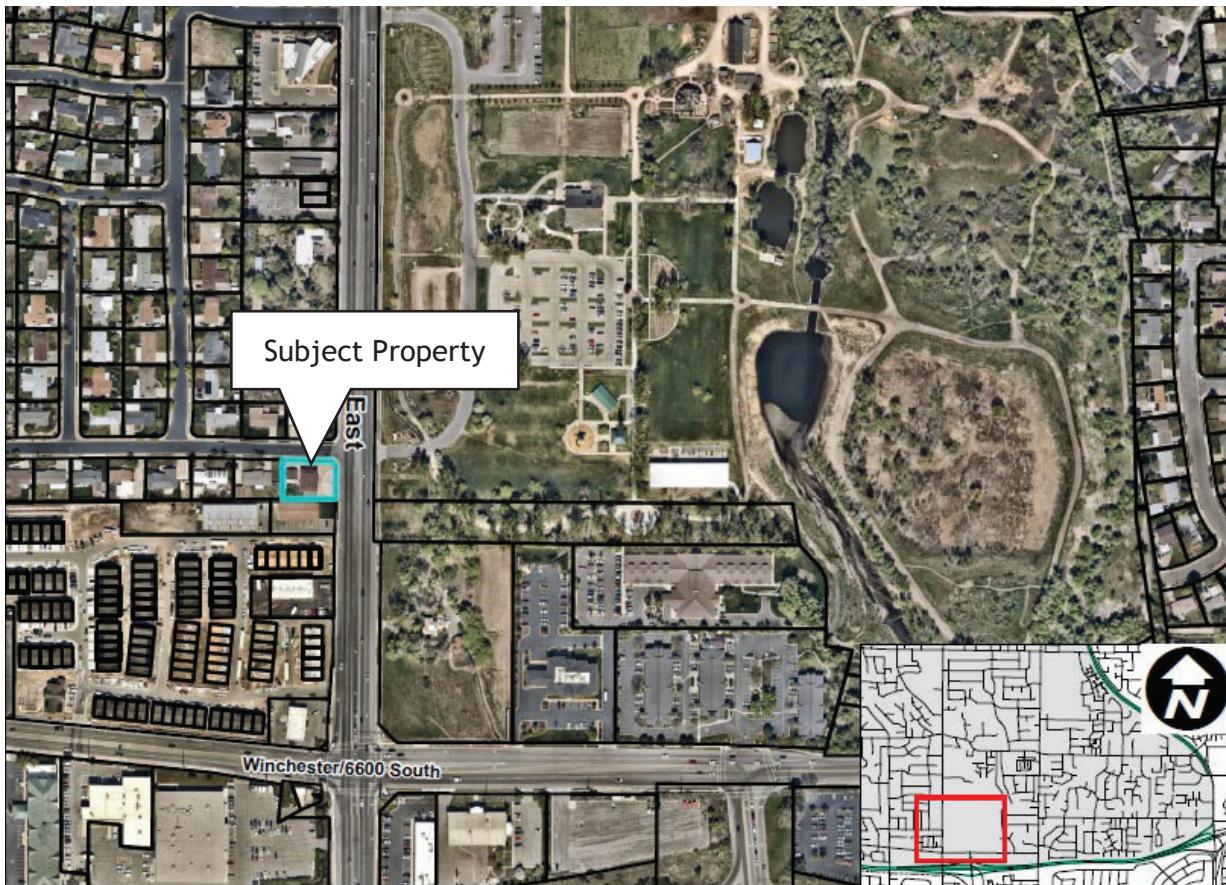
September 4th, 2025, 6:30 PM

The Murray City Planning Commission will hold a public hearing in the Murray City Council Chambers, located at 10 East 4800 South to receive public comment on the following application:

Claudia Alvarado has applied for a zone map amendment for the property located at **6446 South 900 East**. The applicant is requesting a Zone Map Amendment from R-1-8, Low Density Single Family Residential to R-N-B, Residential Neighborhood Business. The requirements of the zone are located on our website at www.murray.utah.gov. **The Planning Commission will be making a recommendation to the City Council for this item. The City Council will conduct another Public Hearing to make a decision regarding this application at a later date.**

To make comments regarding this proposal the public may attend the meeting, call Murray City Planning Division at (801) 270-2430, or email pc@murray.utah.gov. You have received this notice because you own property within 300 feet of the subject property.

The meeting will be streamed online, at www.murraycitylive.com or www.facebook.com/MurrayCityUtah/.



Special accommodations for the hearing or visually impaired will be upon a request to the office of the Murray City Recorder (801-264-2660). We would appreciate notification two working days prior to the meeting. TTY is Relay Utah at #711

Public Notice Dated | August 22nd, 2025

6446 South 900 East



6446 South 900 East





DocQuery

Parcel Number • 22-20-176-003-0000

Active Parcel Number

Acreage • 0.2500

Address • 6446 S 900 E • MURRAY • 84121

Owner of Record

ALVARADO, CLAUDIA

Legal Description • Property Description For Taxation Purposes Only

LOT 59 SILVER SHADOWS SUB