



**Murray City Planning Commission Meeting  
Notice of Meeting and Agenda**

**Thursday, September 4<sup>th</sup>, 2025**

**Pre-Meeting: 6:00 p.m. (Poplar Room #151, Public Welcome)**

**The pre-meeting is to briefly review the agenda items and ask any questions to staff.**

**Meeting Time: 6:30 p.m.**

**Murray City Hall, 10 East 4800 South, Council Chambers**

The public may view the Murray Planning Commission meeting via live stream at [www.murraycitylive.com](http://www.murraycitylive.com) or <https://www.facebook.com/Murraycityutah/>. You may submit comments via email at [pc@murray.utah.gov](mailto:pc@murray.utah.gov). Comments are limited to 3 minutes or less, and written comments will be entered into the meeting record. Please include your name and contact information.

Supporting materials are available at <https://www.murray.utah.gov/779/Agendas-Attachment>.

**CALL MEETING TO ORDER**

**BUSINESS ITEMS:**

1. Approval of Minutes
  - a. August 7<sup>th</sup>, 2025
2. Conflict(s) of Interest
3. Approval of Findings of Fact
  - a. Murray Block One – Design Review

**DESIGN REVIEW(S) – ADMINISTRATIVE ACTION**

4. Lofts on Vine Project #25-010  
368 West Vine Street  
The applicant is requesting design review for a mixed-use project in the MCMU zone.

**SUBDIVISION(S) – ADMINISTRATIVE ACTION**

5. Lofts on Vine Project #25-011  
368 West Vine Street  
The applicant is requesting subdivision approval for a mixed-use project in the MCMU zone.
6. Murray Block One Subdivision Amendment Project #25-086  
4816, 4836-4844, 4854, 4858-4860, 4868 South State Street, 65, 75 East Fifth Avenue, and 4843, 4837 South Poplar Street  
The applicant is requesting subdivision amendment approval for the Murray Block One Subdivision.

## **ZONE MAP AMENDMENT(S) – LEGISLATIVE ACTION**

7. Lusso Office Services  
6446 South 900 East

Project #25-085

The applicant is requesting a zone map amendment to change a property from R-1-8 to R-N-B.

## **ANNOUNCEMENTS AND QUESTIONS**

### **ADJOURNMENT**

The next scheduled meeting will be held on Thursday, September 18<sup>th</sup>, 2025, at 6:30 p.m. MST in the Murray City Council Chambers, 10 East 4800 South, Murray, Utah.

Those wishing to have their comments entered into the record may send an email by 5:00 p.m. the day prior to the meeting date to [pc@murray.utah.gov](mailto:pc@murray.utah.gov). Comments are limited to three minutes or less (approximately 300 words for emails) and must include your name and address.

Special Accommodations for the hearing or visually impaired will be made upon a request to the office of Murray City Recorder (801-264-2662). We would appreciate notification two working days prior to the meeting. TTY is Relay Utah at #711.

Committee members may participate in the meeting via telephonic communication. If a Committee member does participate via telephonic communication, the Committee member will be on speakerphone. The speakerphone will be amplified so that the other Committee members and all other persons present will be able to hear all discussions.

No agenda item will begin after 10:00 p.m. without a unanimous vote of the Commission.

At least 24 hours prior to the meeting, a copy of the foregoing notice was sent to the City Recorder to post in conspicuous view in the front foyer of the Murray City Center, Murray, Utah. A copy of this notice was also posted on Murray City's internet website [www.murray.utah.gov](http://www.murray.utah.gov) and the state noticing website at <http://pmn.utah.gov>.





# MURRAY CITY PLANNING COMMISSION

## MEETING MINUTES

August 7, 2025

6:30 P.M. MDT

Murray City Council Chambers, 10 East 4800 South, Murray, Utah

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### CALL MEETING TO ORDER

### MEMBERS PRESENT

Present: Michael Richards, Chair  
Pete Hristou, Vice Chair  
Aaron Hildreth  
Peter Klinge  
Jake Pehrson  
Katie Rogers  
Mark Richardson, Deputy Attorney  
Chad Wilkinson, CED Director  
Ruth Ruach, Planner I  
Members of the Public (per sign-in sheet)

Excused: Ned Hacker  
Zachary Smallwood, Planning Division Manager  
David Rodgers, Senior Planner

Chair Richards called the meeting to order at 6:34 p.m.

### STAFF REVIEW MEETING

The Staff Review meeting was held from 6:00 p.m. to 6:30 p.m. The Planning Commission members briefly reviewed the applications on the agenda. An audio recording is available at the Murray City Community and Economic Development Department Office.

### BUSINESS ITEM(S)

### APPROVAL OF MINUTES

Commissioner Klinge made a motion to approve the minutes for July 3, 2025. Seconded by Vice Chair Hristou. A voice vote was made, with all in favor.

## CONFLICT(S) OF INTEREST

There was no conflict of interest for this meeting.

## APPROVAL OF FINDINGS OF FACT

Commissioner Pehrson made a motion to approve the findings of facts for Legacy Materials conditional use permit revocation, Automotive Addiction Museum conditional use permit, and the 1151 East subdivision. Seconded by Commissioner Rogers. A voice vote was made, with all in favor.

## CONDITIONAL USE PERMIT(S) – ADMINISTRATIVE ACTION

### Automotive Addiction Museum - Project #25-082 - 158 East 4500 South - Amended Conditional Use Permit to allow auto sales on the subject property

Iyar Koren was present to represent the request. Ruth Ruach presented the application requesting a conditional use permit amendment to allow auto sales on the subject property, located in the C-D zone. She reminded the commissioners that they had previously approved a conditional use permit for the applicant. The permit must be amended to include auto sales. The zoning and development standards remain the same as the original application. Notices were sent to surrounding properties, with no comments being received. Staff recommends that the Planning Commission approve the amended conditional use permit.

Iyar Koren approached the podium. Chair Richards asked if he had read and could comply with the conditions. Mr. Koren said yes.

Commissioner Klinge asked Mr. Koren to explain how car sales will work on the property. Mr. Koren said they will have cars stored inside, which can be viewed online. The cars are sold on consignment.

Chair Richards opened the agenda item for public comment. Seeing no comments, the public comment period was closed.

Commissioner Hildreth made a motion that the Planning Commission approve a conditional use permit amendment to allow auto sales at 158 East 4500 South, subject to the following conditions:

1. The applicant shall comply with all previously approved conditions from the original Conditional Use Permit for the automotive storage facility and museum (Project #25-069).
2. The applicant shall obtain a Murray City Business License that includes auto sales prior to beginning operations.
3. The applicant shall comply with all applicable city ordinances, building codes, and fire codes related to the operation of auto sales.

Seconded by Commissioner Rogers. Roll call vote:

A Hildreth  
A Hristou  
A Klinge  
A Pehrson

A Richards  
A Rogers

Motion passes: 6-0

AJ HVAC & Property Services - Project #25-081 - 1512 East Greenfield Avenue - Request for approval for a Major Home Occupation to establish an office for an HVAC and property services business

Perla Lee Polendo was present to represent the request. Ruch Ruach presented the application requesting approval to conduct office activities related to heating, ventilation, and air conditioning (HVAC) and property services at their place of residence as a major home occupation business, in the R-1-8 zone. The applicant stated there will be no employees or customers at the residence. Ms. Ruach showed the floor plan and site plan for the business. Notices were sent to adjacent properties, with one comment being received regarding parking. Staff recommends that the Planning Commission approve the request for a major home occupation to allow an office for an HVAC and Property Services business.

Perla Lee Polendo approached the podium. Chair Richards asked if she had read and could comply with the conditions. Ms. Polendo said yes.

Chair Richards opened the agenda item for public comment. Seeing no comments, the public comment period was closed.

Commissioner Klinge made a motion that the Planning Commission approve the request for a Major Home Occupation to allow office activities for an HVAC and property services business from the residential property addressed 1512 East Greenfield Avenue, as reviewed in the staff report and subject to the following conditions:

1. The applicant shall not have clients at the residence after 6:00 p.m.
2. All materials shall be located within the primary dwelling, no accessory structures may be used.
3. The applicant shall work with Planning Staff to ensure that the area for the home occupation is less than 25% of the main dwelling area.
4. The applicant shall comply with all requirements of Fire and Building Codes, and all State and County Health Department requirements.
5. The business shall, at all times, be conducted in accordance with all applicable requirements of Chapter 17.24, Major Home Occupations.
6. The applicant shall obtain the necessary home occupation business license.

Seconded by Vice Chair Hristou. Roll call vote:

A Hildreth  
A Hristou  
A Klinge  
A Pehrson  
A Richards  
A Rogers

Motion passes: 6-0

## GENERAL PLAN & ZONING MAP AMENDMENT(S) – LEGISLATIVE ACTION

### Ville Property Management - Project #25-027 & #25-028 - 975 East 6600 South - Zone Map Amendment from G-O, General Office to VMU, Village Mixed Use and Future Land Use Map from Office to Village & Centers Mixed Use in conjunction with a development agreement

Keith Warburton was present to represent the request. Chad Wilkinson presented the application for a Future Land Use Map and Zoning Map amendment in conjunction with a development agreement to facilitate a deeply affordable housing project. Mr. Wilkinson said the request is for a land use map change from G-O (General Office) to VMU (Village Mixed Use) and a zoning change from G-O to Village and Centers Mixed Use. He showed the property on a map, which included surrounding land uses and zoning. He described the standards and uses for the VMU zone. Staff determined that this project required a development agreement. Mr. Wilkinson elaborated on reasons for considering a development agreement. He said the reason, in this case, is that there's been a change in circumstances since the general plan was adopted. He said there is an issue with crime at the property. The city wants to encourage redevelopment in the area. The existing hotel is legal non-conforming use and needs to be adopted to another type of land use. The applicant would like to convert it to multi-family affordable housing. He said the development agreement will create parameters to ensure the property is developed in a way that ensures the goals of the city are accomplished. Mr. Wilkinson outlined the specific requirements of the development agreement, which included a residential component, commercial space for the general public, and compliance with city and VMU code standards. The applicant proposed some changes to the structure to accommodate the requirement for commercial space. Public notices were sent to nearby property owners. Four public comments were received via email were forwarded to the Planning Commission. He said the VMU zone has five criteria. Staff finds that the application meets those criteria. Mr. Wilkinson detailed how each of the criteria will be met. Staff recommends that the Planning Commission forward a recommendation of approval to City Council for this proposed zone change.

A discussion was had regarding the development agreement. They discussed that it's possible to set a timeline for completion. Mr. Wilkinson said that the Planning Commission will have review authority over the administrative portion of the agreement. He said they will also have the chance to review the Master Site Plan review.

Keith Warburton approached the podium. Chair Richards asked if he had read and could comply with the conditions of development agreement. Mr. Warburton said yes.

Commissioner Pehrson asked Mr. Warburton about the logistics of the commercial space.

Commissioner Pehrson asked Mr. Warburton if he plans in renovating the outside of the building. He said yes, they will make improvements.

Commissioner Pehrson asked what a reasonable timeline for completion of the development agreement would be. Mr. Warburton said he thinks two years is a reasonable timeline.

Commissioner Klinge asked who he had in mind for residents. Mr. Warburton anticipates a higher population of seniors. Commissioner Klinge asked if there will be elevators to accommodate

seniors. He said no. There will be ADA accommodating apartments on the bottom floor. They will allow wheelchair access.

Commissioner Hildreth asked about security on the property. Mr. Warburton said there will be cameras, especially in parking lots. There will not be onsite security staff. Commissioner Hildreth asked if these rentals will function like an extended stay hotel, being rented weekly or monthly. Mr. Warburton said only annual leases will be offered.

Commissioner Klinge asked if all of the occupants will be low-income. Mr. Warburton said yes. He said they have a housing grant from the State of Utah.

A discussion was had regarding the difference between permanent supportive housing and deeply affordable housing. This development is deeply affordable housing, which offers wrap-around services, but not 24-hour care services, like permanent supportive housing. He said they will have some case managers onsite.

Chair Richards opened the agenda item for public comment.

Marianne Ross expressed her concerns with Mr. Warburton's project. She shared research she'd done on other affordable housing projects he's been involved in. She said that he's been involved in multiple failed projects. She said the tenants on his properties have engaged in drug trafficking and the properties are not well monitored. She wants to know if background checks will be done for the residents and if inspections will be done. She asked if the city has any oversight in the property.

Drew Ross said he's seen crime grow rapidly in the area because of similar property near his home. He encouraged the council to study the properties Mr. Warburton has been involved with already, as well as other similar properties, before they make their decision. He said he'd rather see it become a commercial building.

Lorenz Rindlisbacher, from Investment Group Property, said he feels that since this building has been such an issue with drug trafficking and crime, it should be torn down and rebuilt. He said they have lodged many of the complaints to police for this property. He feels this request needs to be considered in terms of what is needed in the area. He said this development agreement is premature. If this is approved, he asked that guardrails are in place to ensure the development is done properly.

Chair Richards closed the public comment period for this agenda item.

Chad Wilkinson addressed public comments. He acknowledged the high crime in the area and said that's why they are entertaining this option as a solution. He said he'll let the applicant address the level of investment the applicant is making on the interior, that will result in a high-quality development. He said it is the task of the Planning Commission to determine if this project fits the area and meets the criteria for a high-quality development and if it the best and highest use for the property.

Chair Richards asked if Murray City could contribute funds to the project to ensure it's high-quality. Mr. Wilkinson said no, there's no subsidy being offered. The city's role is limited to land use.

Chair Richards asked for the details of guardrails for the agreement and what will happen if the agreement is not met. Mr. Wilkinson said, if the request is forwarded to the City Council and approved by them, the applicant will need to apply for building permits and a business license, as well as obtain land use approval from the Planning Commission to proceed. If these items are not completed, the zone request will be rescinded. The property will go back to its original zoning.

Commissioner Pehrson asked if they can make the recommendation to the City Council contingent upon a completion date of two years. Mr. Wilkinson said that would be a good idea. He recommended adding that the initial construction and establishment of use be completed within two years.

Vice Chair Hristou asked if the objective to determine if they feel the VMU is appropriate for the parcel, not what they think about the project. Mr. Wilkinson said that is the big issue.

Chair Richards asked if the spot zone is truly the best recommendation for this property. Mr. Wilkinson said that spot zoning is not inherently wrong and is a common practice. He said that the VMU zone does have a set of criteria projects must meet. Staff feel this project meets the required set of criteria. He said that the Planning Commission can decide that they don't agree with staff's findings.

Commissioner Rogers confirmed that the Planning Commission is considering a zone change and approval of a specific project. Mr. Wilkinson said that's correct.

A discussion was had regarding the best and highest use of the property. Some commissioners felt that commercial use would be more appropriate. Vice Chair Hristou said he's conflicted on what is the best use.

Commissioner Pehrson asked the applicant how much money he plans on investing into improvements. Mr. Warburton said it will be close to four million dollars. Commissioner Pehrson asked him if he'd be opposed to putting a required dollar amount in the development agreement. Mr. Warburton said yes, he would be opposed to it. Commissioner Pehrson said that five goals must be met to be considered high quality development and proper funds need to support that and that it shouldn't just be aesthetic. Mr. Warburton said that the property already has some high-quality features and doesn't want to be held to a specific dollar amount if it isn't needed. Commissioner Pehrson expressed he is concerned that not being held to some financial standard will result in the property not being a high-quality development.

A discussion was had regarding whether the VMU is the best and highest use of this property in this location. Chair Richards asked the implications of not approving the zone change and project. Mr. Wilkinson said that the Planning Commission could make a recommendation that the City Council not approve the application. The City Council can go with the recommendation or choose to approve. If they deny the application, the applicant must wait one year before reapplying.

Commissioner Pehrson said that just having low-income housing doesn't lead to increased crime rates. He feels that crime would decrease with the proposed project. He feels the mix of commercial with residential will be an improvement. He agrees with other commissioners that VMU may not be the best fit.

Chair Richards asked what would happen if the commission did not make a motion. Mr. Wilkison said they need to have a decision, but there are a variety of motions they could make. He said they could recommend approval, denial or that the item be tabled. He doesn't feel there's a reason to table the item.

Commissioner Pehrson made a motion that the Planning Commission forward a recommendation of approval to the City Council for the requested amendment to the Future Land Use Map, re-designating the property located at 975 East 6600 South from Office to Village & Centers Mixed Use subject to approval of a development agreement, with the condition that the development is completed within two years.

Seconded by Vice Chair Hristou.

Commissioner Hildreth asked if they should have made a recommendation of denial instead.

A discussion commenced related to the proper motion and whether an amended motion would need to be made if the current motion failed. Mr. Wilkinson clarified that the commission did not have to make an amended motion if the current motion to approve failed.

N Hildreth  
N Hristou  
N Klinge  
N Pehrson  
N Richards  
N Rogers

Motion fails: 0-6

#### ANNOUNCEMENTS AND QUESTIONS

The next scheduled meeting will be held on August 21, 2025, at 6:30 p.m. MST in the Murray City Council Chambers, 10 East 4800 South, Murray, Utah.

#### ADJOURNMENT

Chair Richards adjourned the meeting at 8:05 p.m. MDT.

A recording of this meeting is available for viewing at <http://www.murray.utah.gov> or in the Community and Economic Development office located at 10 East 4800 South, Suite 260.

The public was able to view the meeting via the live stream at <http://www.murraycitylive.com> or <https://www.facebook.com/Murraycityutah/>. Anyone who wanted to make a comment on an agenda item was able to submit comments via email at [planningcommission@murray.utah.gov](mailto:planningcommission@murray.utah.gov).

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Zachary Smallwood, Planning Division Manager  
Community & Economic Development Department

# MURRAY CITY PLANNING COMMISSION FINDINGS OF FACT AND CONCLUSIONS

**PROJECT NAME:** Block One

**PROJECT NUMBER:** PZ-25-076

**APPLICANT:** Rockworth Companies

**APPLICATION TYPE:** Design Review

## **I. REQUEST:**

The applicant is requesting design review approval for a horizontal mixed-use development on the properties that are known collectively as block one.

## **II. MUNICIPAL CODE AUTHORITY:**

Section 17.171.100 of the Land Use Ordinance outlines the process for review of applications located within the City Center Form Based Code District (CC-FBC). New construction within the Boulevard and Civic Center districts greater than 1 acre or buildings greater than 20,000 square feet requires approval by the Planning Commission after obtaining a recommendation from the Architectural Review Committee.

## **III. APPEAL PROCEDURE:**

Municipal Code Section 17.16.030 provides details for requesting an appeal of the Planning Commission's decision on a land use application that is heard by the Hearing Officer. An application for appeal must be presented within 10 calendar days after the approval of these findings of fact.

## **IV. SUMMARY OF EVIDENCE:**

- A.** The basic facts and criteria regarding this application are contained in the staff report, which is attached as **Exhibit A** and is incorporated herein.
- B.** The minutes of the public meeting held by the Planning Commission on August 21, 2025 which are attached as **Exhibit B** summarize the oral testimony presented and are hereby incorporated herein.

## **V. FINDINGS OF FACT:**

Based upon the information presented and oral testimony given the planning commission found that the request meets the standards contained in Section 17.56.060 based on the findings below:

1. The proposed mixed use development is consistent with the goals and objectives of the Murray City General Plan.



2. The proposed development is in harmony with the standards and intention of the form based code and the downtown strategic plan.
3. The proposed buildings and materials reflect the historic context of existing buildings along the State Street corridor.
4. With conditions, the proposed development complies with the requirements of the City Center Form Based Code and other applicable standards of the Murray City Land Use Ordinance.

## **VI. DECISION AND SUMMARY**

The Planning Commission **APPROVED** the request for a horizontal mixed used development on the property. The vote was 6-0 with Commissioners Hildreth, Klinge, Pehrson, Rogers, Hristou, and Richards in favor and none opposed. The approval is contingent on the following conditions:

1. The applicant shall meet all Murray City Engineering Division requirements.
2. The applicant shall meet all Murray City Water and Wastewater Requirements.
3. The applicant shall meet all Murray City Fire Department Requirements.
4. The applicant shall meet all Murray City Power Department Requirements.
5. The applicant shall obtain the appropriate building permits prior to construction on the properties.
6. The applicant shall consolidate the multiple properties and record an amended subdivision plat prior to certificate(s) of occupancy.
7. The applicant shall work with Staff to ensure that all standards in the Form Based Code are addressed.
8. The applicant shall construct the project as depicted in this staff report.
9. The applicant shall ensure that any new business obtains a Murray City Business License prior to conducting operations.

**FINDINGS OF FACT APPROVED BY THE MURRAY PLANNING COMMISSION  
THIS 4th DAY OF September, 2025.**

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Michael Richards, Chair  
Murray City Planning Commission



## AGENDA ITEM # 04 & 05 Vine Street Lofts

<b>ITEM TYPE:</b>	Design Review, Conditional Use Permit, and Preliminary Subdivision		
<b>ADDRESS:</b>	368 West Vine Street	<b>MEETING DATE:</b>	September 4 <sup>th</sup> , 2025
<b>APPLICANT:</b>	Adam Maher	<b>STAFF:</b>	David Rodgers, Senior Planner
<b>PARCEL ID:</b>	21-12-177-009	<b>PROJECT NUMBER:</b>	25-010 & 011
<b>ZONE:</b>	MCMU, Murray Central Mixed Use		
<b>SIZE:</b>	.20-acre site   5,201 ft <sup>2</sup> building   4 units / 682 ft <sup>2</sup> of commercial space		
<b>REQUEST:</b>	The applicant is requesting Design Review and Preliminary and Final Subdivision approval to allow the development of a mixed-use project.		



## I. LAND USE ORDINANCE

The Murray Center Mixed Use Zone (MCMU) is intended to encourage compact, carefully planned mixed-use projects in the core of Murray City. This is done by emphasizing pedestrian-oriented design, promoting development, and protecting the public health, safety, and welfare of the residents and visitors of Murray in the vicinity of the Murray Central Frontrunner and Trax stations.

The proposed project is a mixed-use residential project that includes the subdivision of Condominium units. This requires a conditional use permit under Section 17.62 of the Land Use Ordinance. Title 16, Subdivision Ordinance, Section 16.04.040(F) requires the applications for subdivision of property to be reviewed and approved by the Murray City Planning Commission as the land use authority. This proposed subdivision has been designed to meet the requirements of both the MCMU zone and Code Section 17.62 Condominiums.

## II. BACKGROUND

The applicant is proposing a new mixed-use development that consists of four new condo units with one having ground floor commercial. These condos will include a large commercial garage and an upper floor that may be used as either office space or a living area.

### Project Location

The subject property is located on Vine Street east of Murray Boulevard. The property is adjacent to the I-15 Corridor, though has no access to the freeway. The property is currently a vacant single-family home that was constructed before the MCMU Zone was established. This site is located within the MCMU West Subdistrict due to being located west of I-15.

### Surrounding Land Use and Zoning

<u>Direction</u>	<u>Land Use</u>	<u>Zoning</u>
North	Mixed-Use	MCMU
South	General Office	G-O
East	Freeway Right of Way	MCMU
West	Single family residential	MCMU

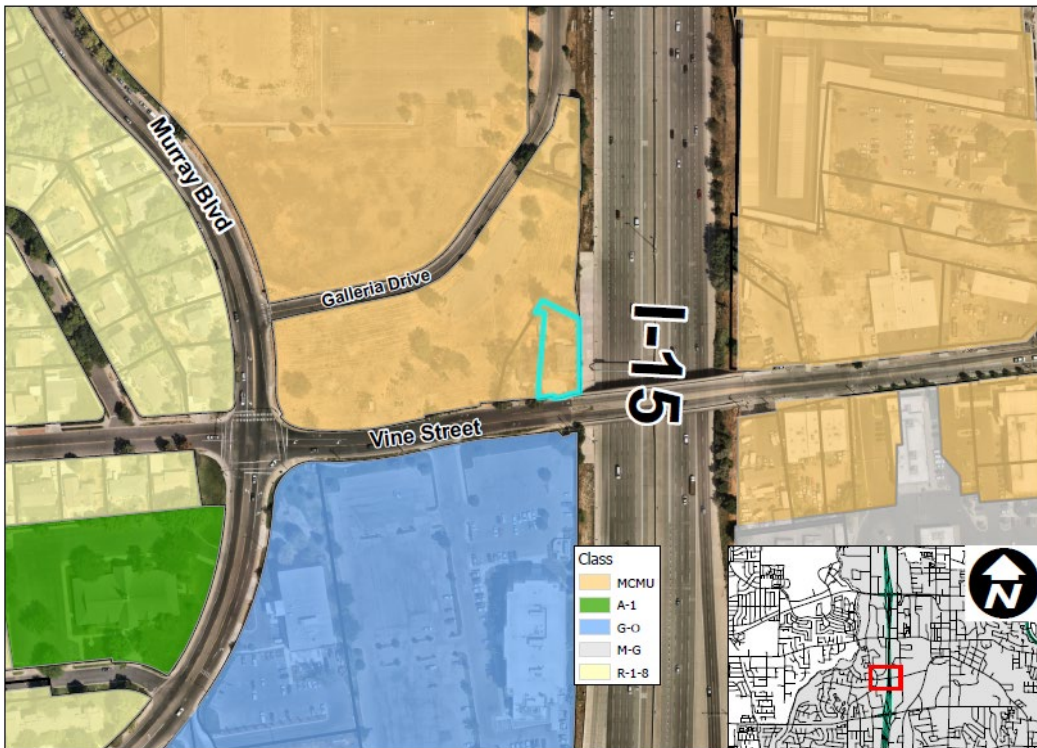


Figure 1: Zoning Map

### Project Description

Lofts on Vine is a proposed mixed-use development consisting of four (4) units. All four (4) of these units are residential, while one of the units has 682 sq. ft. of commercial space. This development is located on approximately .20 acres off Vine Street and next to the bridge over I-15.

The proposed condominium units are all between 1,100 sq. ft. and 1,700 sq. ft. in size. The applicant is requesting design review for the new mixed-use structure in the MCMU zone along with a Conditional Use Permit to allow for Low Rise Condominium approval that allows for a subdivision of a parcel into four different units.

### Process

The application before the Planning Commission is for Design Review, Conditional Use Permit approval for Condominiums, and Preliminary and Final Subdivision approval. If the Planning Commission approves all the applications, the applicant will work with the Engineering Division to complete a Final Plat. When the final subdivision is approved and the Final Plat has been accepted by the City Engineer, it will be circulated for signatures of approval which will allow the recordation of the Plat at the Salt Lake County Recorder's Office.

### III. Design Review

#### Residential Density

The MCMU code specifies the amount of density permitted based on the subdistrict of the zone and the distance from the Murray Central Station. The West subdistrict of the MCMU allows for 40 units per acre regardless of the distance from the station. The site for this project is .20 acres which allows for up to eight (8) housing units. The applicant is proposing four (4) units, with three (3) that are proposed as residential and one (1) that is residential with a commercial component on the ground floor. The applicant meets the residential density requirement.

#### Required Commercial

The MCMU zone requires a commercial use on all mixed-use projects located adjacent to a principal street. Vine street has been identified in the code as a principal street. This application is a vertical mixed-use project which is located within a half (½) mile from the Murray Central Frontrunner platform. This requires 75% of the of width of the ground floor to have commercial and retail uses for a depth of forty feet (40') of the building. Based on the distance from the Frontrunner platform and the proposed length of the building, the applicant is required to have 1,220 sq. ft. of commercial space on the ground floor of the unit adjacent to Vine Street. This is calculated by taking the width of the building (40'8") and multiplying it by 0.75. The result is a net width of 30'6". By multiplying that by the required depth of forty feet (40'), the result is 1,220 sq. ft. of commercial.

The applicant has requested to reduce the required commercial space for the proposed project. The code allows for such a reduction if certain conditions are met. The applicant has requested a reduction to 75% of the required commercial. The following chart indicates what the requirements are and how much of a reduction of commercial space is permitted:

MCMU West Subdistrict, Reduction of Required Commercial			
Reduction of Required Commercial	Reduction of Allowed Density per Acre	Open Space & Amenities	Affordable Housing
75% of required commercial: fulfill one (1) option	5-9 Units	2 additional outdoor amenities/5% increase in total open space	10% of units reserved for tenants with household incomes no more than 80% of AMI
60% of required commercial: fulfill two (2) options	10-14 units	2 additional amenities/10% increase in total open space	15% of units reserved for tenants with household incomes no more than 80% of AMI

The applicant has proposed 682 sq. ft. of commercial, which is 56% of the required total. If the applicant would like to reduce the amount of required commercial space down to between 60%, and 45% additional requirements must be met. This is discussed in the open space and amenities paragraph below.

### Public Improvements

The project frontage along Vine Street will be improved with the 7' wide sidewalks and 8' wide park strips that are required by the MCMU Zone. These improvements will facilitate greater pedestrian comfort along this area and provide a consistent walkway for pedestrians walking along Vine Street.

### Access & Circulation

- Vehicular: Vehicle access to the site is provided from Vine Street. The access onto the property is approximately 26' wide and should provide adequate vehicular access.
- Pedestrian: Pedestrian circulation on the site is only shown on the right of way and the eastern side of the site. There are doors to access the residential units from the drive access, but no pedestrian access to these doors has been provided. On the east side of the property, the applicant is showing a five (5') foot path to access the open space near the rear of the building. Staff finds that this access is inadequate due to the small size of the path, which is only five feet (5') in size compared to the standard of seven feet 7' for a sidewalk in this zone. This combined with the lack of pedestrian access to the residential units does not allow adequate pedestrian access and circulation within the site.

### Parking

The Murray Central Mixed-Use district is intended to support development patterns which foster higher pedestrian activity and reduce the need for automobiles generally. Because of this, the MCMU has lower parking requirements than would normally be required as part of a traditional multi-family residential development.

Structured parking is highly encouraged in this area. The table below reviews the required and provided parking for the development.

<b>MCMU West Subdistrict Required Parking</b>			
	Requirement	Total Units	Required
Studio	1.25 spaces	0	0
1 Bedroom	1.5 spaces	1	2
2 Bedrooms	2.15 spaces	3	7
3 or More Bedrooms	2.65 spaces	0	0
Commercial	1 space per 300 ft <sup>2</sup>	682	3



Total			12 Spaces

The applicant is required to provide twelve (12) parking stalls. The plans are showing sixteen (16) stalls with fourteen (14) stalls designated for residential use and two stalls designated for commercial use. Staff wants to emphasize that tandem parking is only permitted for residential units and may not be used for commercial purposes.

### Landscaping, Open Space, & Site Amenities

Developments in the MCMU district require a mix of open and amenity spaces. Projects in this district require a minimum of 15% of the area to be landscaped or used as amenities. The applicant has also decided that they want to provide less commercial space, and this requires them to choose one of the options in the previous shown table.

The option the applicant has chosen is that they will add two additional amenities and a 5% increase in open space. The amenities that have been provided include a hanging bench on the rear of the property and a picnic table that is adjacent to the bench in the open space that is provided. The applicant has indicated that 17% of the site is landscaped, which falls below the 20% required to meet the additional 5% that is needed to reduce the commercial space. The applicant is also missing two five-gallon shrubs that are required along the Vine Street frontage. See below:

<b>Landscaping (Vine Street Frontage)</b>	<b>Required</b>	<b>Proposed</b>
Approximately 40.8 linear feet	1 Trees	3 Trees
	2 5-gallon shrubs	0 5-gallon shrubs
	4 1-gallon shrubs	3 1-gallon shrubs
Twenty Percent Coverage (10,161 sq. ft.) (Required due to reduction in Commercial)	2032 sq. ft.	1733 sq. ft.

Staff finds that the amenities provided do not meet the intent of the code, which states: "Project amenities are indoor and outdoor community improvements, elements, and programmed spaces that are available in common to the residents of the mixed-use development." The plans the applicant has provided indicate the open space and amenities are at the back of the property adjacent to the freeway. The only way to access these areas for most of the units or the public is to walk along the freeway on a five-foot path that only has a trellis in two locations to buffer the impacts of the freeway. Only one unit has an access closer than the front of the building to get to the amenities.

With these issues as discussed, staff finds that the applicant has not added the required amenities and open space to allow for the reduced commercial space that they are proposing.

## Elevations & Materials

Elevations of the buildings have been attached to this report for review. The building will be flat roofed, with varied architectural features on all elevations generally. Materials will include cement board siding, brick, and stucco with several accents. The Planning Commission has discretion to determine whether they feel the materials meet the intent of the ordinance.



*Figure 2: Architectural Materials*



*Figure 3: Architectural Materials*

## Height

The building is proposed to be thirty-five feet (35') in height and three stories. This



meets the requirements of the MCMU zone.

### Building Requirements

The MCMU Code states that “Blank walls shall not occupy over fifty percent (50%) of a principal frontage.” The principal frontage for this project is Vine Street. Staff measured the façade facing vine street and found that it measured at 654.72 sq. ft. When breaking down the material on this frontage, staff found that 340.24 sq. ft. of the façade is a blank wall which is larger than fifty percent (50%) of the principal frontage. The applicant will need to reduce the amount of the façade that is a blank wall before applying for a building permit.

### Lighting

Lighting plans have been provided and are attached to this report for your review. Lights provided along Vine Street will be reviewed and approved in conjunction with Murray City Power. Site lighting includes building mounted lights and path lighting for use along pedestrian paths and walkways.

### Trash Enclosures

Section 17.76.170 requires that refuse containers be enclosed by a solid barrier fence with attached solid barrier access gates. The applicant has not proposed any refuse containers on the current plan. The applicant will need to show that the commercial space has an adequate dumpster enclosure that meets the requirements of the city code.

## **IV. STATE AND MUNICIPAL SUBDIVISION CODE REVIEW STANDARDS**

Murray City Code Title 16, Subdivision Ordinance, outlines the requirements for subdivision review. Utah State Code (10-9a-604) states that a subdivision plat may not be recorded until approved by the land use authority of the City. The Planning Commission’s role as the land use authority is to ensure that a proposed subdivision is consistent with established ordinances, policies and planning practices of the City. The Planning Commission makes investigations, reports and recommendations on proposed subdivisions as to their conformance to the General Plan and Title 17 of City Code, and other pertinent documents as it deems necessary.

The Planning Commission may approve, subject to modification, or disapprove the submitted preliminary plat, and shall make findings specifying any inadequacy in the application, such as noncompliance with City regulations, questionable or undesirable design and/or engineering. The subdivider shall be notified in writing of the action taken by the findings of the Planning Commission regarding the submitted preliminary plat.

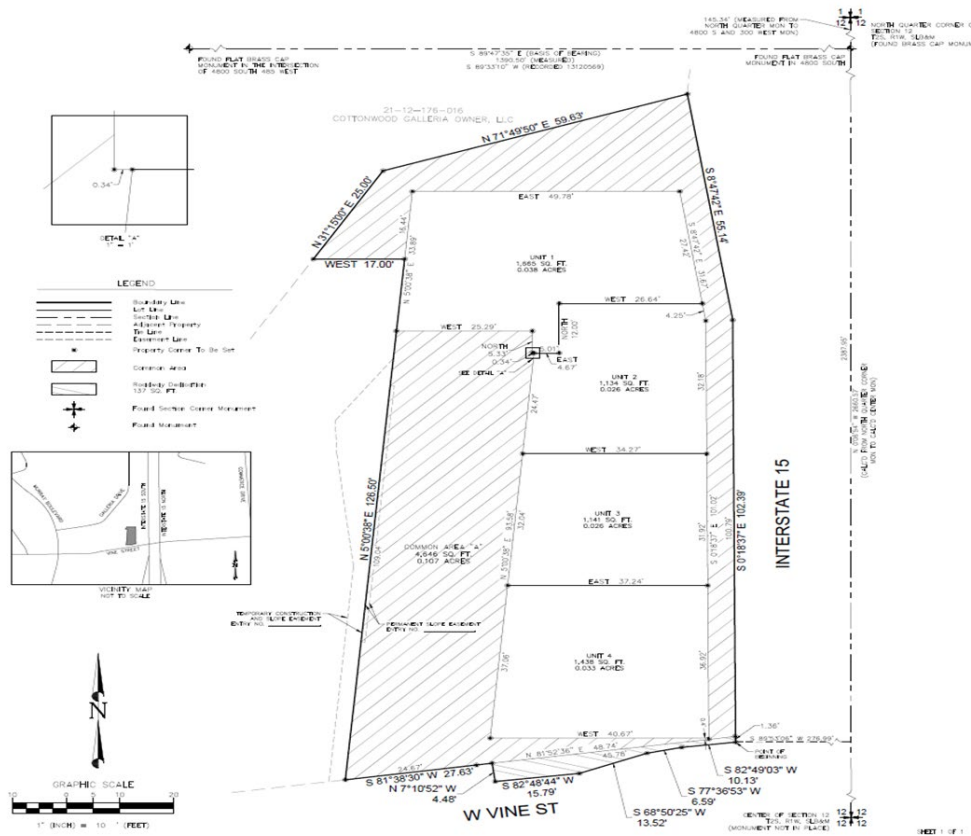


Figure 4: Preliminary Plat

## V. CONDOMINIUM:

As part of the Condominium Conditional Use Permit, the Planning Commission must find that the elements described in Section 17.62 are met. Among these elements are standards related to open spaces, access, and parking.

Section 17.62.040(E) requires Parking for a condominium project shall conform to the parking provisions contained in this title for specific zones. The commercial parking is shown to be inside of a garage with no way to access the commercial component without walking outside of the garage into the drive isle and around to the commercial area. While the parking is provided, staff finds that the parking will not meet the needs of the intended users in an adequate way.

Section 17.62.040(J) requires that where appropriate as recommended by the city engineer and required by the planning commission, an internal circulation system shall be provided for paved pedestrian paths that are physically separated from vehicular traffic to serve residential, nonresidential, and recreational facilities in the development. There is no pedestrian access to several of the units that does not involve walking directly on the drive isle. Only one unit has a human sized door that connects directly to

the open space, but it is located at the rear of the property.

Section 17.62.040(N) requires the condominium project property shall be landscaped with a variety of appropriate plants including lawn, shrubs, ground cover, and a combination of evergreen and deciduous trees to comply with the landscaping requirements of chapter 17.68 of this title or, where applicable, the specific landscaping requirements in the zone where the project is located. The applicant has proposed landscaping that does not fulfill the requirements of chapter 17.68. Two (2) additional five (5) gallon shrubs and one (1) addition ten-gallon shrub are required to meet the planting requirements. The applicant also needs to increase the overall landscaping amount from 17% to either 20% or 25% depending on the route the applicant chooses to take to reduce the amount of required commercial space.

Staff finds that the requirements for subdivision approval based on Murray City Code Title 16 are not all met and will not be recommending approval of the subdivision.

## **VI. CITY DEPARTMENT REVIEW**

The application and materials were distributed to various departments for their review and comments on August 19<sup>th</sup>, 2025. The following comments have been provided in response.

### **Engineering Division**

#### **Design Review:**

- Meet City storm drainage requirements, on-site retention is required – City Code Chapter 13.52.050. Provide a site drainage report.
- Drainage pipe connection to the retention system should be larger than 6” dia. for conveyance of large storm events and maintenance.
- Obtain construction and slope easements for encroachment on neighboring property.
- Unit 1 extends onto adjacent property. Provide a deed for the proposed property conveyance, the plat will not convey ownership.
- Meet Murray City Utility requirements.
- Install MU Street Improvements as per Murray Standards – 8’ wide park strip and 7’ wide sidewalk. Dedicate required right-of-way.
- Replace any damaged curb and gutter along property frontage to Vine Street.
- Asphalt surface on Vine Street is new and is in moratorium. If the surface is cut, it must be restored to new condition and will require a 2” deep mill and pave from the bridge to 10’ west of the utility cut.
- Develop a site erosion control plan and implement prior to beginning any site work.
- Obtain a City Excavation Permit for work within City rights-of-ways – City Code Chapter 12.16.020.

**Subdivision:**

- Meet City subdivision requirements and standards – City Code Title 16.
- Common areas need to also be defined as Public Utility Easements (PUE's) – City Code title 16.
- The plat must provide the correct Ownership and Acknowledgements for the signers.
- The plat boundary description does not match the vesting deed, Unit 1 extends onto adjacent property. A copy of the fully executed conveyance deed will need to be provided to the City and the Salt Lake County Recorder's office prior to recording the plat.
- The proposed plat amends a plat that has not yet been recorded. The Vine Street Condominium Plat cannot be recorded until the 49<sup>th</sup> Street Galleria Plat has been recorded.
- Dedication area needs to include the proposed 8' wide park strip and 7' wide sidewalk.
- Address all City and County comments prior to printing the plat to mylar.
- Provide an accurate copy of the HOA CC&R's and declaration.

**Building Division**

- Obtain proper building permits for all structures.

**Fire Department**

- Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet, approved aerial fire apparatus access roads 26' width shall be provided.
- Mixed use automatic sprinkler system installed in accordance with Section 903.3 shall be provided throughout all buildings with a Group R fire area.

\*Please use IFC 2021 and applicable NFPA as reference.

**Water Division**

- All water utility work must follow Murray City Water Specification and Requirements.  
<https://www.murray.utah.gov/DocumentCenter/View/16910/Murray-City-Water-Specifications--Requirements-2024>
- Change Meter Box Installation Detail (Page 16), with the current detail (Page 17) within the water specifications & requirements. The city now requires a polymer lid. If the lid is within landscaping, it is a 12.25" OD Polymer Solid Meter Lid. Must be black, large pentagon bolt, polymer worm gear, Water stamped on lid. To fit the appropriate ring.

**Wastewater Division**

- Civil sheet C-3 comments.
- Clean outs must be placed where lateral leaves the building, not at the sewer main. Correct placement and comment 2.
- Clean out size must match size of the lateral, 4" lateral must include 4" clean out.
- Dead end manhole in property can be 4 FT manhole not 6 FT as listed in comment #5
- New manhole in Vine Street must be a 5 FT manhole not 6 FT as listed in comment #4.
- Sewer lateral for far North unit should tie into the dead-end manhole. This will provide for better cleaning access in the future and eliminate one of the clean outs on this lateral.
- Please provide what the separation distance will be between the storm tech system and the proposed sewer main. Please provide a profile view sheet showing the sewer main elevation and the storm tech elevation.

#### **Power Department**

- John Galanis has retired, please contact Victor Meza [vmeza@murray.utah.gov](mailto:vmeza@murray.utah.gov) 801-264-2724 for meter placement and metering equipment requirements.

## **VI. PUBLIC INPUT**

Fifty-two (52) notices were mailed to property owners within a 450' radius and to affected entities. As of the writing of this staff report no comments have been received.

## **VII. FINDINGS**

Based on the analysis of the application, materials submitted, site visits, and a survey of the surrounding area, Staff concludes the following:

1. The proposed mixed-use development is not consistent with the requirements of the Murray Code Section 17.146 Murray Central Mixed Use (MCMU) zone.
2. The applicant is currently not providing the required amount of commercial space based on the amenities provided.
3. The applicant is not providing the required amount of landscaping, and the proposed amenities do not meet the intent of the open space and amenities code.
4. The proposed development does not comply with the requirements of the Murray Central Mixed-Use Zone and other applicable standards of the Murray City Land Use Ordinance.
5. The proposed subdivision does not meet all the development standards for Condominiums as outlined in Section 17.62.040.

## VIII. CONCLUSION/RECOMMENDATION

Based on the information presented in this report, application materials submitted and a site review, staff recommends that the **Planning Commission vote to DENY Design Review and Subdivision approvals for the Lofts on Vine development on the property located at 368 West Vine Street.**

The Staff recommendation is only one of multiple option that Planning Commission has when making a decision. A different option is included as follows:

**APPROVAL WITH CONDITIONS:** The Planning Commission may vote to approve both design review and subdivision requests and draft conditions that will allow it to meet the requirements of the code.

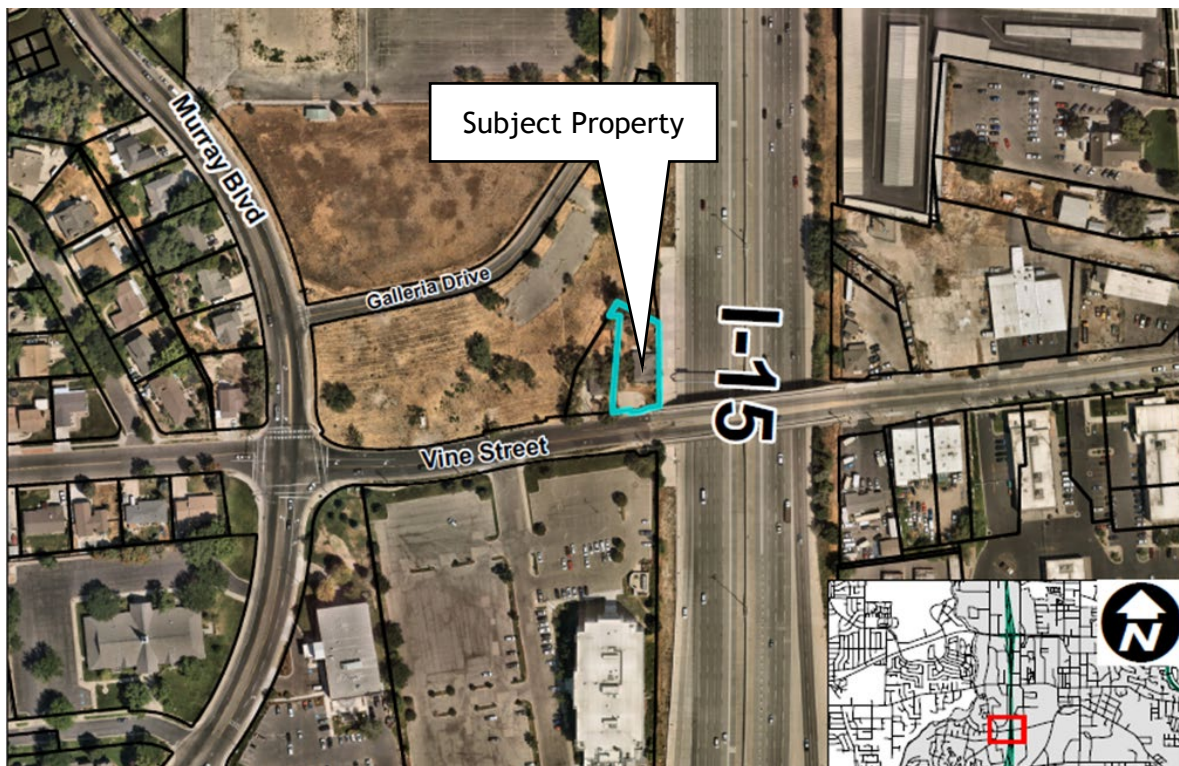


## NOTICE OF PUBLIC HEARING

September 4th, 2025, 6:30 PM

The Murray City Planning Commission will hold a public hearing on Thursday, July 17<sup>th</sup>, 2025 at 6:30 p.m. in the Murray City Municipal Council Chambers, located at 10 East 4800 South to receive public comment on applications submitted by **Adam Maher** for the property located at **368 West Vine Street**. The applicant is requesting Design Review and Subdivision approval to construct a mixed-use building consisting of four (4) units with both living and commercial components. The meeting is open and the public is welcome to attend in person or you may submit comments via email at [pc@murray.utah.gov](mailto:pc@murray.utah.gov). If you would like to view the meeting online, you may watch via livestream at [www.murraycitylive.com](http://www.murraycitylive.com) or [www.facebook.com/MurrayCityUtah/](https://www.facebook.com/MurrayCityUtah/).

Comments are limited to 3 minutes or less, written comments will be read into the meeting record.



This notice is being sent to you because you own property within 400 feet of the subject property. Comments concerning this proposal, will be accepted by calling the Murray City Planning Division at 801-270-2430, e-mail to [pc@murray.utah.gov](mailto:pc@murray.utah.gov) or in person at the meeting.

Special accommodations for the hearing or visually impaired will be upon a request to the office of the Murray City Recorder (801-264-2660). We would appreciate notification two working days prior to the meeting. TTY is Relay Utah at #711.

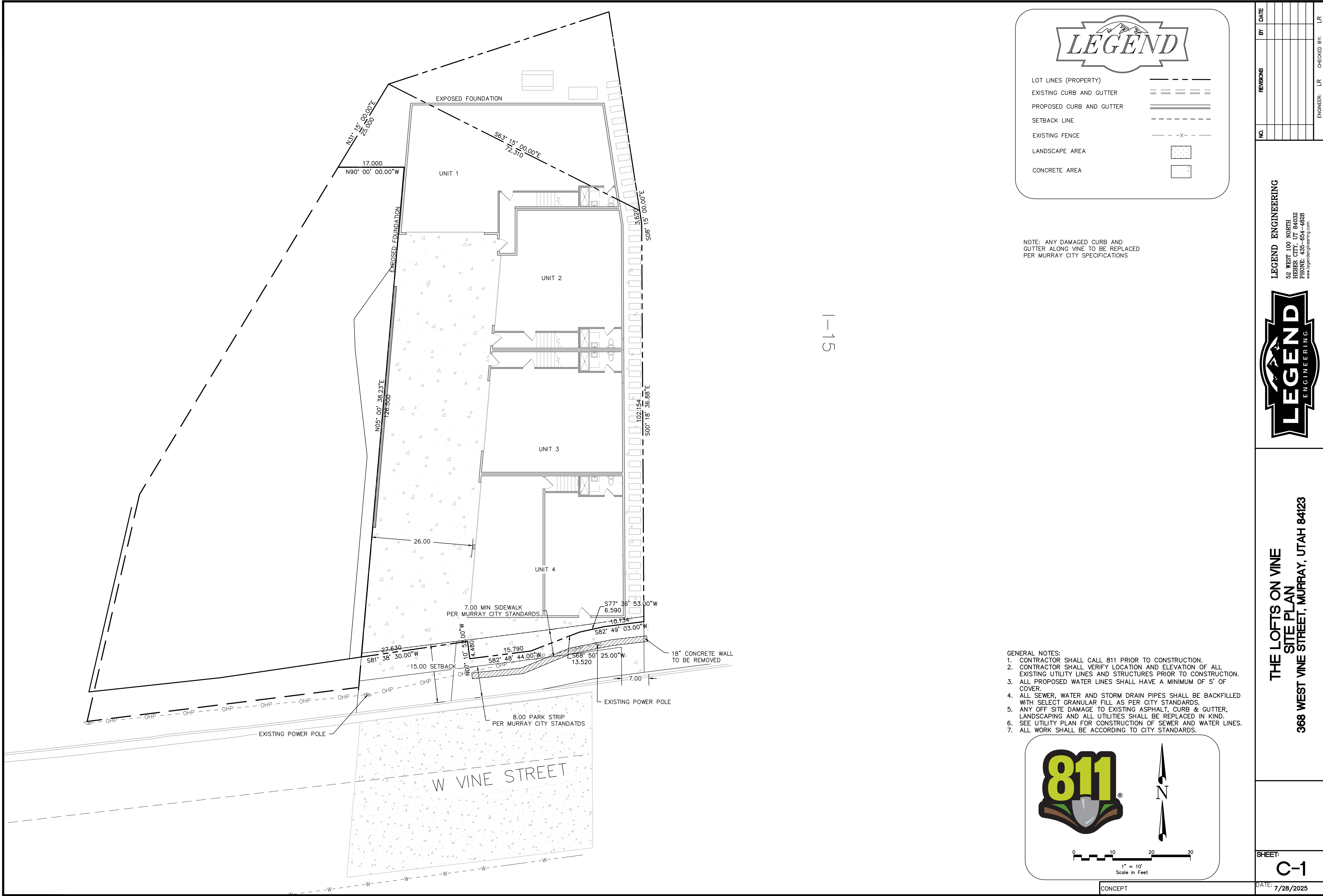
Public Notice Dated | August 22<sup>nd</sup>, 2025

Murray City Hall | 10 East 4800 South | Murray | Utah | 84107





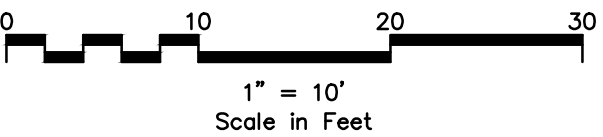




- LOT LINES (PROPERTY) ---
- EXISTING CURB AND GUTTER ===
- PROPOSED CURB AND GUTTER ===
- SETBACK LINE - - -
- EXISTING FENCE - - -X-
- LANDSCAPE AREA [Pattern]
- CONCRETE AREA [Pattern]

NOTE: ANY DAMAGED CURB AND GUTTER ALONG VINE TO BE REPLACED PER MURRAY CITY SPECIFICATIONS

- GENERAL NOTES:
1. CONTRACTOR SHALL CALL 811 PRIOR TO CONSTRUCTION.
  2. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITY LINES AND STRUCTURES PRIOR TO CONSTRUCTION.
  3. ALL PROPOSED WATER LINES SHALL HAVE A MINIMUM OF 5' OF COVER.
  4. ALL SEWER, WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL AS PER CITY STANDARDS.
  5. ANY OFF SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES SHALL BE REPLACED IN KIND.
  6. SEE UTILITY PLAN FOR CONSTRUCTION OF SEWER AND WATER LINES.
  7. ALL WORK SHALL BE ACCORDING TO CITY STANDARDS.



CONCEPT

LEGEND ENGINEERING  
52 WEST 100 NORTH  
HEBER CITY, UT 84032  
PHONE: 435-654-4828  
www.legendengineering.com



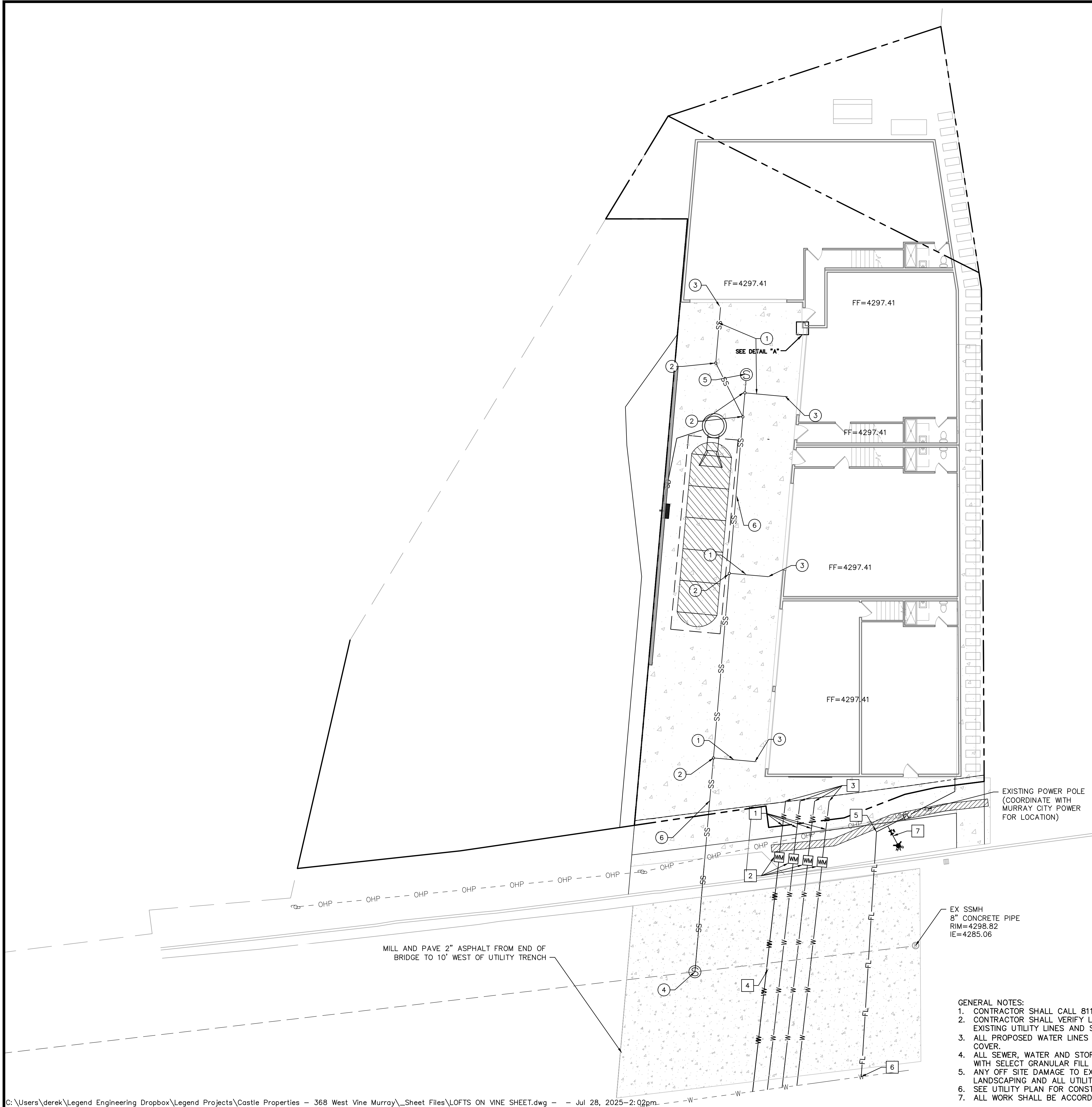
THE LOFTS ON VINE  
SITE PLAN  
368 WEST VINE STREET, MURRAY, UTAH 84123

SHEET:  
C-1

DATE: 7/28/2025







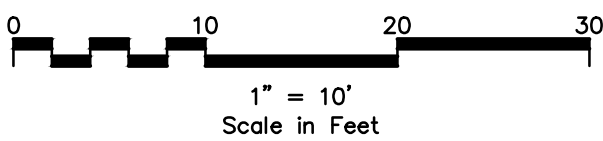
PROPERTY/ROW LINE	---
EXISTING CURB AND GUTTER	==
PROPOSED CURB AND GUTTER	==
PROPOSED STORM DRAIN LINE	-SD-
EXISTING STORM DRAIN LINE	-SS-
PROPOSED SEWER LINE	-SS-
EXISTING SEWER LINE	-SS-
PROPOSED WATER LINE	-W-
EXISTING WATER LINE	-W-
EXISTING GAS LINE	-G-
INVERT ELEVATION	IE
PROPOSED	PROP
FINISHED FLOOR ELEVATION	FFE
EXISTING FIRE HYDRANT	
EXISTING WATER VALVE	
EXISTING WATER METER	
EXISTING SEWER MANHOLE	
PROPOSED FIRE HYDRANT	
PROPOSED WATER VALVE	
PROPOSED WATER METER	
PROPOSED SEWER CLEANOUT	
PROPOSED SEWER MANHOLE	

SEWER DESIGN NOTES:

1. INSTALL 4"Ø PVC SDR-35 SEWER LATERAL AT 2% MINIMUM SLOPE.
2. INSTALL 6" CLEANOUT PER MURRAY WASTEWATER SPECIFICATIONS. SEE SHEET C-4.1 FOR DETAIL. ADD CAST IRON TRIANGULAR LID COVER
3. END ALL UTILITIES 5' FROM BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
4. CONSTRUCT NEW 6' SEWER MANHOLE PER MURRAY WASTEWATER SPECIFICATIONS. SEE SHEET C-4.1 FOR DETAIL. CONTRACTOR TO VERIFY LOCATION AND ELEVATION PRIOR TO ANY CONSTRUCTION. RIM=4297.66 I.E.=(VERIFY EXISTING PIPE INVERT ELEVATION) I.E.(NORTH)=MATCH CROWNS
5. CONSTRUCT NEW 6' SEWER MANHOLE PER MURRAY WASTEWATER SPECIFICATIONS. SEE SHEET C-4.1 FOR DETAIL. RIM=4297.66 I.E.=(VERIFY EXISTING PIPE INVERT ELEVATION IN ROAD CONTACT LEGEND ENGINEERING)
6. INSTALL 8"Ø PVC SDR-35 SEWER PIPE AT 0.4% MINIMUM SLOPE.

WATER DESIGN NOTES:

1. INSTALL 1"Ø TYPE K COPPER WATERLINE.
2. INSTALL 1" WATER METER PER APWA PLAN 522 SEE SHEET C-4.1 FOR DETAIL.
3. END ALL UTILITIES 5' FROM BUILDING, SEE PLUMBING PLANS FOR CONTINUATION
4. 1" SERVICE TAP PER MURRAY CITY WATER SPECIFICATIONS. SEE SHEET C-4.1 FOR DETAIL.
5. INSTALL 6" CLASS 52 DUCTILE IRON FIRE LINE.
6. INSTALL 6" AND 6" GATE VALVE HOT TAP PER MURRAY CITY STANDARDS.
7. INSTALL FIRE HYDRANT AND VALVER PER MURRAY CITY WATER SPECIFICATIONS. SEE SHEET C-4.1 FOR DETAIL.



CONCEPT

- GENERAL NOTES:
1. CONTRACTOR SHALL CALL 811 PRIOR TO CONSTRUCTION.
  2. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITY LINES AND STRUCTURES PRIOR TO CONSTRUCTION.
  3. ALL PROPOSED WATER LINES SHALL HAVE A MINIMUM OF 5' OF COVER.
  4. ALL SEWER, WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL AS PER CITY STANDARDS.
  5. ANY OFF SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES SHALL BE REPLACED IN KIND.
  6. SEE UTILITY PLAN FOR CONSTRUCTION OF SEWER AND WATER LINES.
  7. ALL WORK SHALL BE ACCORDING TO CITY STANDARDS.

LEGEND ENGINEERING  
52 WEST 100 NORTH  
HEBER CITY, UT 84032  
PHONE: 435-654-4828  
www.legendengineering.com



THE LOFTS ON VINE  
UTILITY PLAN  
368 WEST VINE STREET, MURRAY, UTAH 84123

SHEET:  
C-3

DATE: 7/28/2025

NO.	REVISIONS	BY	DATE

ENGINEER: LR CHECKED BY: LR



SPACE INTENTIONALLY LEFT BLANK

SPACE INTENTIONALLY LEFT BLANK

ACCEPTABLE FILL MATERIALS: STOR

MATERIAL LOCATION	DESCRIPTION	
D	<b>FINAL FILL:</b> FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER CHECK PLANS FOR PAVEMENT SUBGRADE RE
C	<b>INITIAL FILL:</b> FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURE OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN THIS LAYER.
B	<b>EMBEDMENT STONE:</b> FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE
A	<b>FOUNDATION STONE:</b> FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE

PLEASE NOTE:

- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR, FOR EXAMPLE, 57, 57A, 57B, 57C, 57D, 57E, 57F, 57G, 57H, 57I, 57J, 57K, 57L, 57M, 57N, 57O, 57P, 57Q, 57R, 57S, 57T, 57U, 57V, 57W, 57X, 57Y, 57Z, 57AA, 57AB, 57AC, 57AD, 57AE, 57AF, 57AG, 57AH, 57AI, 57AJ, 57AK, 57AL, 57AM, 57AN, 57AO, 57AP, 57AQ, 57AR, 57AS, 57AT, 57AU, 57AV, 57AW, 57AX, 57AY, 57AZ, 57BA, 57BB, 57BC, 57BD, 57BE, 57BF, 57BG, 57BH, 57BI, 57BJ, 57BK, 57BL, 57BM, 57BN, 57BO, 57BP, 57BQ, 57BR, 57BS, 57BT, 57BU, 57BV, 57BW, 57BX, 57BY, 57BZ, 57CA, 57CB, 57CC, 57CD, 57CE, 57CF, 57CG, 57CH, 57CI, 57CJ, 57CK, 57CL, 57CM, 57CN, 57CO, 57CP, 57CQ, 57CR, 57CS, 57CT, 57CU, 57CV, 57CW, 57CX, 57CY, 57CZ, 57DA, 57DB, 57DC, 57DD, 57DE, 57DF, 57DG, 57DH, 57DI, 57DJ, 57DK, 57DL, 57DM, 57DN, 57DO, 57DP, 57DQ, 57DR, 57DS, 57DT, 57DU, 57DV, 57DW, 57DX, 57DY, 57DZ, 57EA, 57EB, 57EC, 57ED, 57EE, 57EF, 57EG, 57EH, 57EI, 57EJ, 57EK, 57EL, 57EM, 57EN, 57EO, 57EP, 57EQ, 57ER, 57ES, 57ET, 57EU, 57EV, 57EW, 57EX, 57EY, 57EZ, 57FA, 57FB, 57FC, 57FD, 57FE, 57FF, 57FG, 57FH, 57FI, 57FJ, 57FK, 57FL, 57FM, 57FN, 57FO, 57FP, 57FQ, 57FR, 57FS, 57FT, 57FU, 57FV, 57FW, 57FX, 57FY, 57FZ, 57GA, 57GB, 57GC, 57GD, 57GE, 57GF, 57GG, 57GH, 57GI, 57GJ, 57GK, 57GL, 57GM, 57GN, 57GO, 57GP, 57GQ, 57GR, 57GS, 57GT, 57GU, 57GV, 57GW, 57GX, 57GY, 57GZ, 57HA, 57HB, 57HC, 57HD, 57HE, 57HF, 57HG, 57HH, 57HI, 57HJ, 57HK, 57HL, 57HM, 57HN, 57HO, 57HP, 57HQ, 57HR, 57HS, 57HT, 57HU, 57HV, 57HW, 57HX, 57HY, 57HZ, 57IA, 57IB, 57IC, 57ID, 57IE, 57IF, 57IG, 57IH, 57II, 57IJ, 57IK, 57IL, 57IM, 57IN, 57IO, 57IP, 57IQ, 57IR, 57IS, 57IT, 57IU, 57IV, 57IW, 57IX, 57IY, 57IZ, 57JA, 57JB, 57JC, 57JD, 57JE, 57JF, 57JG, 57JH, 57JI, 57JJ, 57JK, 57JL, 57JM, 57JN, 57JO, 57JP, 57JQ, 57JR, 57JS, 57JT, 57JU, 57JV, 57JW, 57JX, 57JY, 57JZ, 57KA, 57KB, 57KC, 57KD, 57KE, 57KF, 57KG, 57KH, 57KI, 57KJ, 57KK, 57KL, 57KM, 57KN, 57KO, 57KP, 57KQ, 57KR, 57KS, 57KT, 57KU, 57KV, 57KW, 57KX, 57KY, 57KZ, 57LA, 57LB, 57LC, 57LD, 57LE, 57LF, 57LG, 57LH, 57LI, 57LJ, 57LK, 57LL, 57LM, 57LN, 57LO, 57LP, 57LQ, 57LR, 57LS, 57LT, 57LU, 57LV, 57LW, 57LX, 57LY, 57LZ, 57MA, 57MB, 57MC, 57MD, 57ME, 57MF, 57MG, 57MH, 57MI, 57MJ, 57MK, 57ML, 57MM, 57MN, 57MO, 57MP, 57MQ, 57MR, 57MS, 57MT, 57MU, 57MV, 57MW, 57MX, 57MY, 57MZ, 57NA, 57NB, 57NC, 57ND, 57NE, 57NF, 57NG, 57NH, 57NI, 57NJ, 57NK, 57NL, 57NM, 57NN, 57NO, 57NP, 57NQ, 57NR, 57NS, 57NT, 57NU, 57NV, 57NW, 57NX, 57NY, 57NZ, 57OA, 57OB, 57OC, 57OD, 57OE, 57OF, 57OG, 57OH, 57OI, 57OJ, 57OK, 57OL, 57OM, 57ON, 57OO, 57OP, 57OQ, 57OR, 57OS, 57OT, 57OU, 57OV, 57OW, 57OX, 57OY, 57OZ, 57PA, 57PB, 57PC, 57PD, 57PE, 57PF, 57PG, 57PH, 57PI, 57PJ, 57PK, 57PL, 57PM, 57PN, 57PO, 57PP, 57PQ, 57PR, 57PS, 57PT, 57PU, 57PV, 57PW, 57PX, 57PY, 57PZ, 57QA, 57QB, 57QC, 57QD, 57QE, 57QF, 57QG, 57QH, 57QI, 57QJ, 57QK, 57QL, 57QM, 57QN, 57QO, 57QP, 57QQ, 57QR, 57QS, 57QT, 57QU, 57QV, 57QW, 57QX, 57QY, 57QZ, 57RA, 57RB, 57RC, 57RD, 57RE, 57RF, 57RG, 57RH, 57RI, 57RJ, 57RK, 57RL, 57RM, 57RN, 57RO, 57RP, 57RQ, 57RR, 57RS, 57RT, 57RU, 57RV, 57RW, 57RX, 57RY, 57RZ, 57SA, 57SB, 57SC, 57SD, 57SE, 57SF, 57SG, 57SH, 57SI, 57SJ, 57SK, 57SL, 57SM, 57SN, 57SO, 57SP, 57SQ, 57SR, 57SS, 57ST, 57SU, 57SV, 57SW, 57SX, 57SY, 57SZ, 57TA, 57TB, 57TC, 57TD, 57TE, 57TF, 57TG, 57TH, 57TI, 57TJ, 57TK, 57TL, 57TM, 57TN, 57TO, 57TP, 57TQ, 57TR, 57TS, 57TT, 57TU, 57TV, 57TW, 57TX, 57TY, 57TZ, 57UA, 57UB, 57UC, 57UD, 57UE, 57UF, 57UG, 57UH, 57UI, 57UJ, 57UK, 57UL, 57UM, 57UN, 57UO, 57UP, 57UQ, 57UR, 57US, 57UT, 57UU, 57UV, 57UW, 57UX, 57UY, 57UZ, 57VA, 57VB, 57VC, 57VD, 57VE, 57VF, 57VG, 57VH, 57VI, 57VJ, 57VK, 57VL, 57VM, 57VN, 57VO, 57VP, 57VQ, 57VR, 57VS, 57VT, 57VU, 57VV, 57VW, 57VX, 57VY, 57VZ, 57WA, 57WB, 57WC, 57WD, 57WE, 57WF, 57WG, 57WH, 57WI, 57WJ, 57WK, 57WL, 57WM, 57WN, 57WO, 57WP, 57WQ, 57WR, 57WS, 57WT, 57WU, 57WV, 57WW, 57WX, 57WY, 57WZ, 57XA, 57XB, 57XC, 57XD, 57XE, 57XF, 57XG, 57XH, 57XI, 57XJ, 57XK, 57XL, 57XM, 57XN, 57XO, 57XP, 57XQ, 57XR, 57XS, 57XT, 57XU, 57XV, 57XW, 57XX, 57XY, 57XZ, 57YA, 57YB, 57YC, 57YD, 57YE, 57YF, 57YG, 57YH, 57YI, 57YJ, 57YK, 57YL, 57YM, 57YN, 57YO, 57YP, 57YQ, 57YR, 57YS, 57YT, 57YU, 57YV, 57YW, 57YX, 57YY, 57YZ, 57ZA, 57ZB, 57ZC, 57ZD, 57ZE, 57ZF, 57ZG, 57ZH, 57ZI, 57ZJ, 57ZK, 57ZL, 57ZM, 57ZN, 57ZO, 57ZP, 57ZQ,

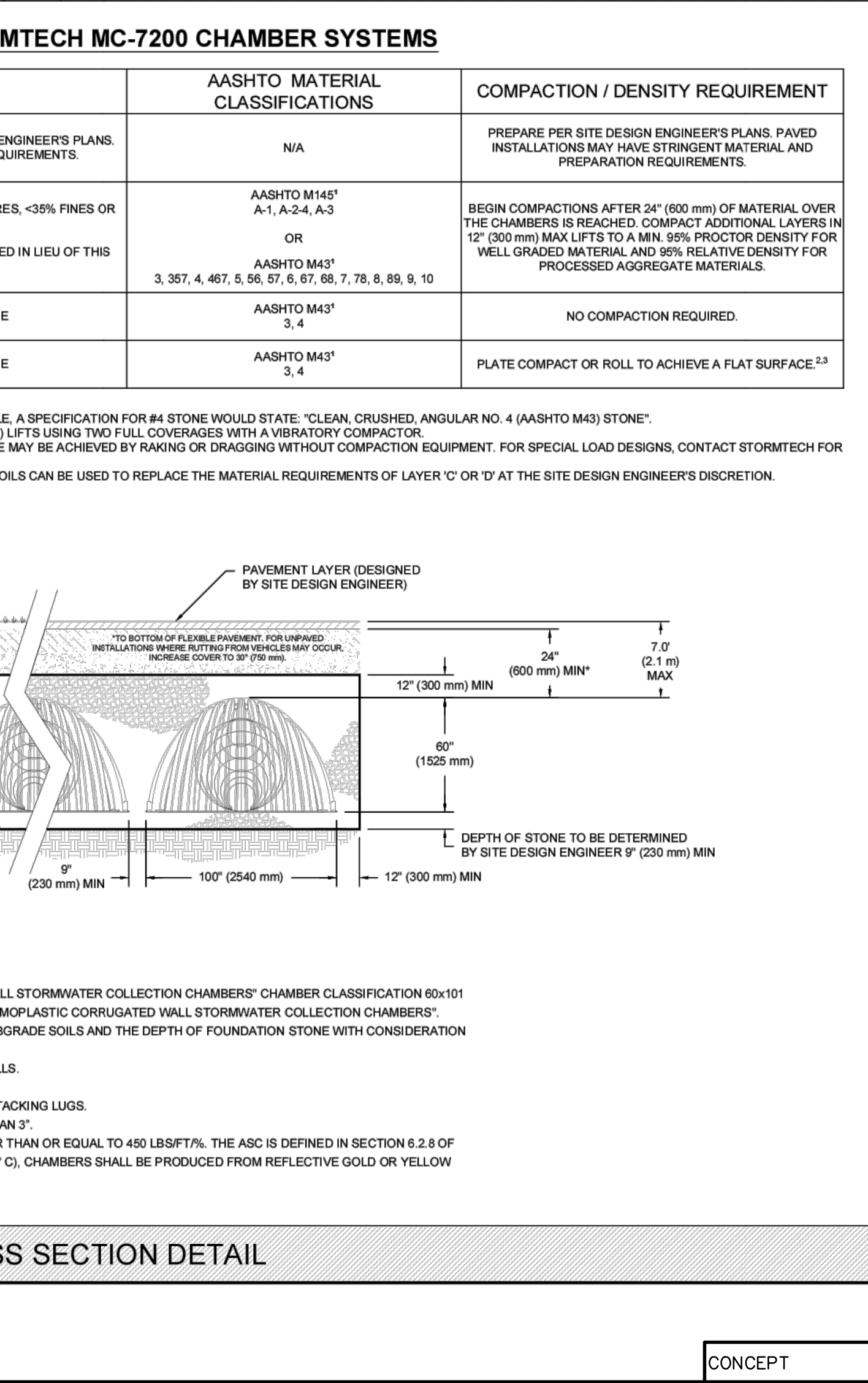
ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE S

NOTES:

- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALLS AND END CAPS FOR INFILTRATION SYSTEMS".
- MC-7200 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC COMPOSITE INFILTRATION CHAMBERS".
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
  - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STIFFENING RIBS.
  - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 12" (300 mm).
  - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN THAT OF ASTM F2418. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), COLORS SHALL BE USED TO IDENTIFY THE JOINTS.

1

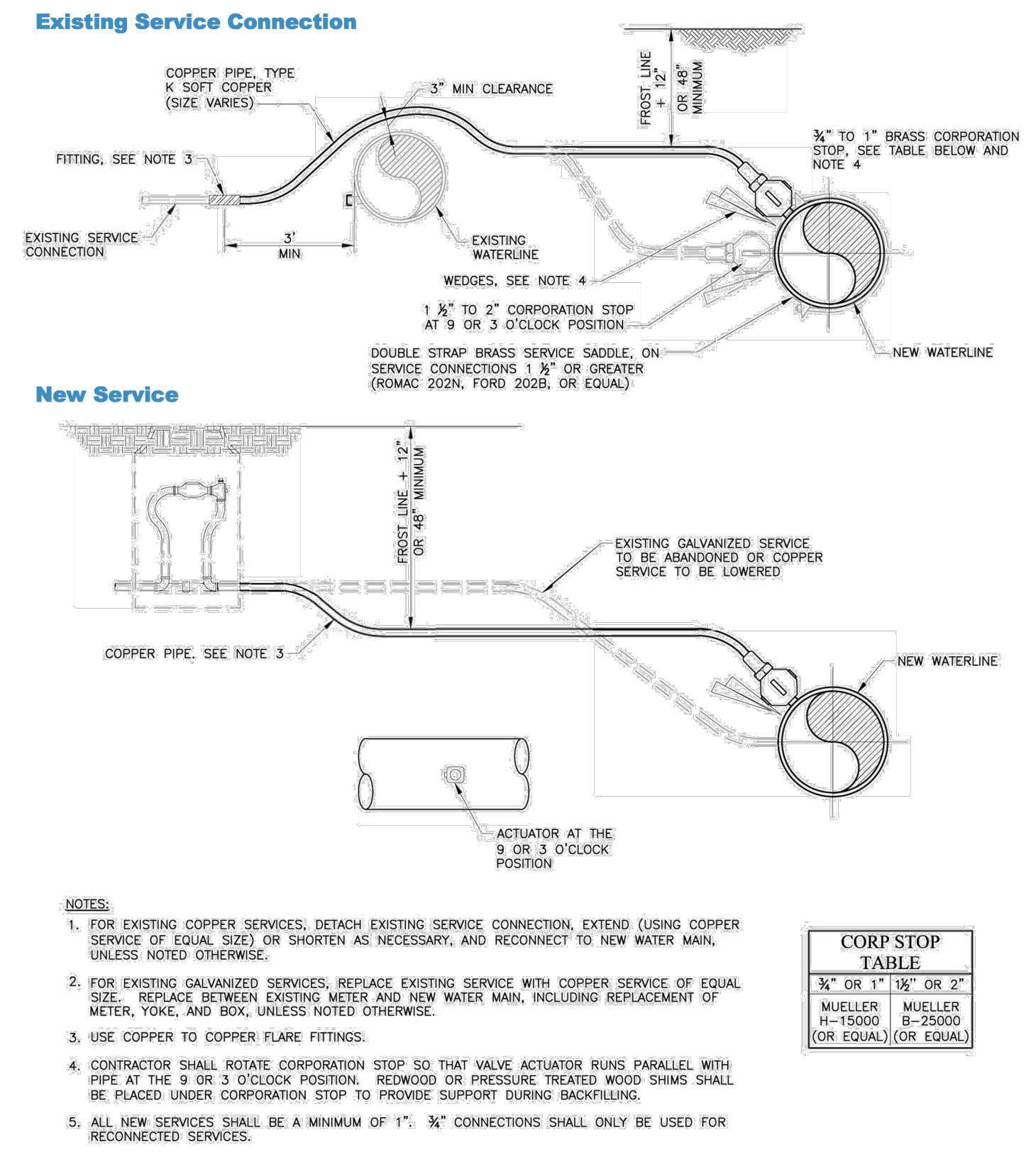
MC-7200 CROSS SECTION

[illegible]



Installation (Continued)

Water Service Taps

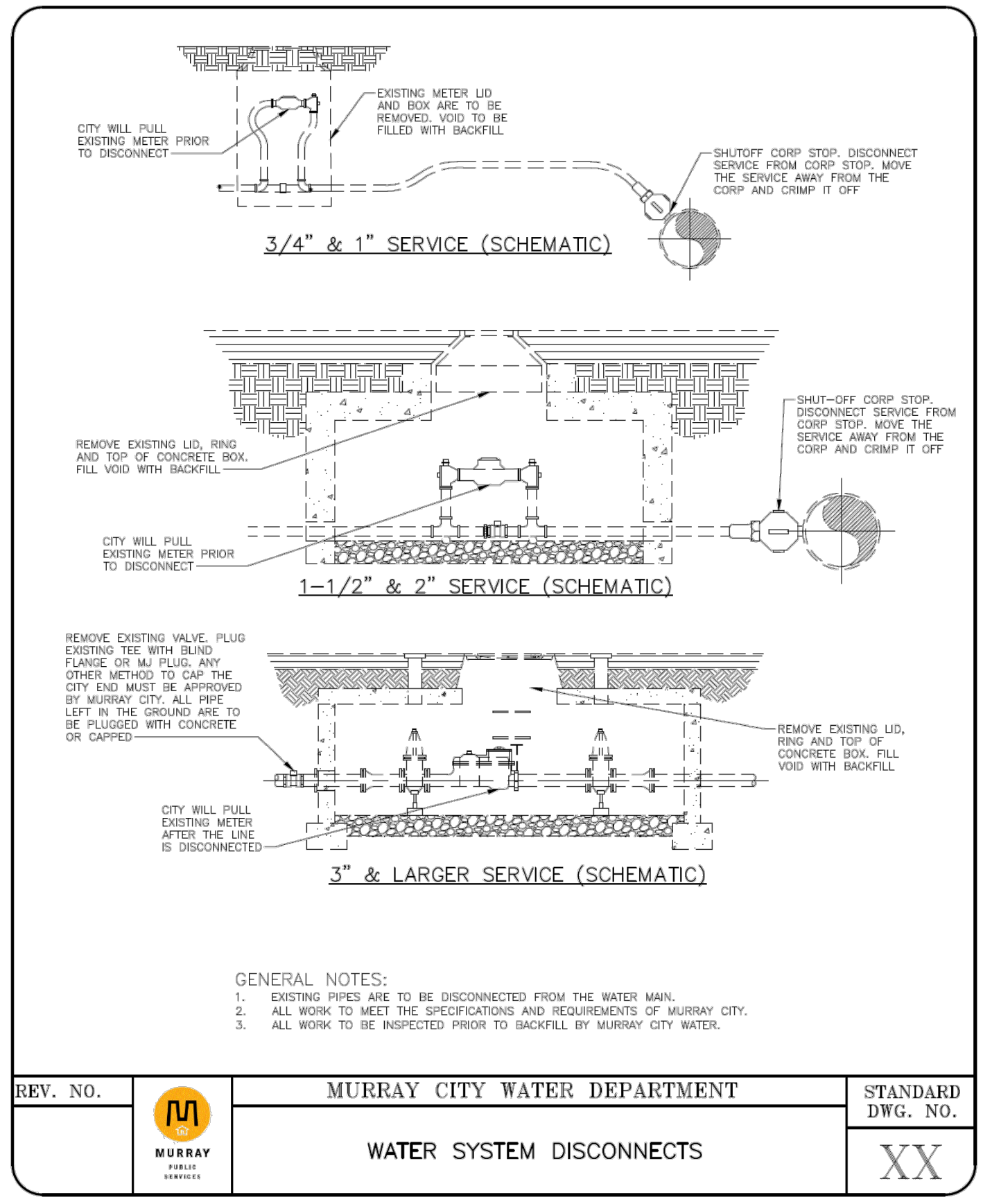


Water Specifications & Requirements

13

Murray City Water

Service Disconnect Standards



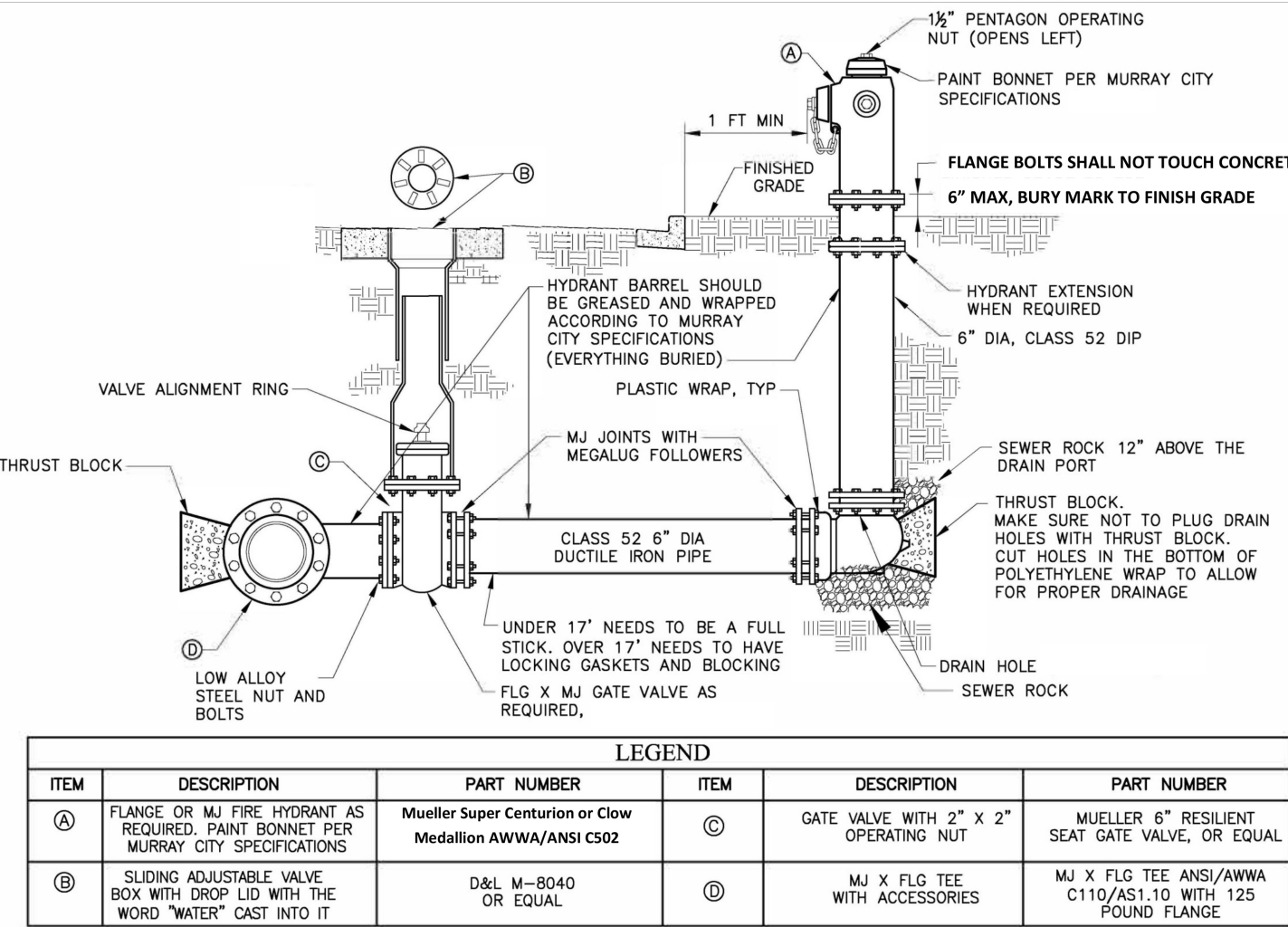
Water Specifications & Requirements

14

Murray City Water

Installation (Continued)

Hydrant Sectional Drawing



- All work and materials to be in accordance with ANSI/AWWA C502 and the APWA general conditions and standard specifications for construction.
- All ductile iron pipe to be in accordance with ANSI/AWWA C115/A21.15 Class 52.
- Gate valves to be in accordance with AWWA C509.
- Standard flange drilling—cast flanges, ANSI/AWWA C110 125/A21.10
- Substitutions to be in accordance with APWA Sec. 01 25 00.

Hydrant Bonnet Color Code

Fire hydrant bonnets shall be color coded to coincide with the size of the water main serving the hydrant.

- 4" and smaller main..... White
- 6" main..... Red
- 8" and 10" main..... Orange
- 12" or larger main..... Green



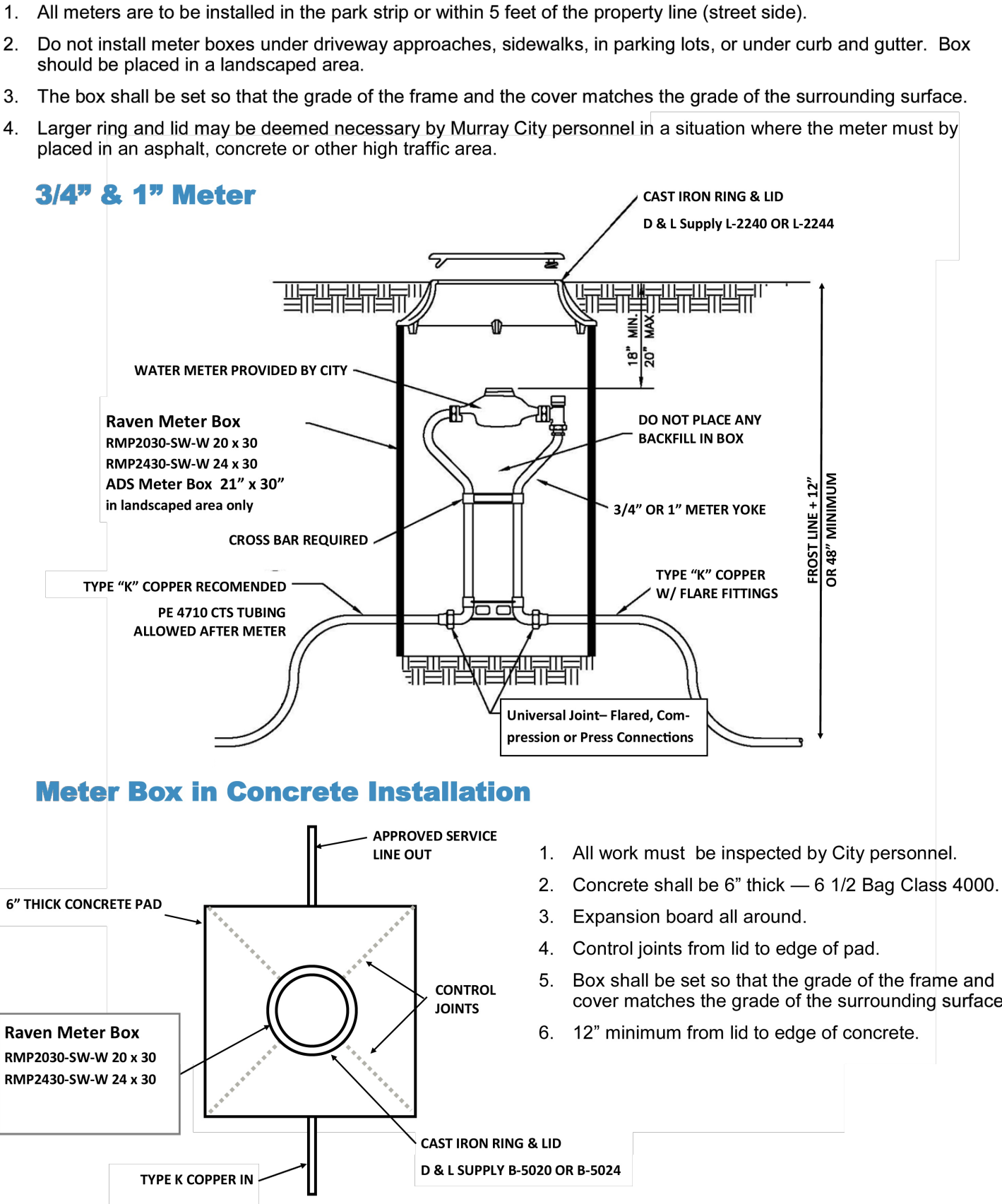
Water Specifications & Requirements

11

Murray City Water

Installation (Continued)

Meter Box Installation



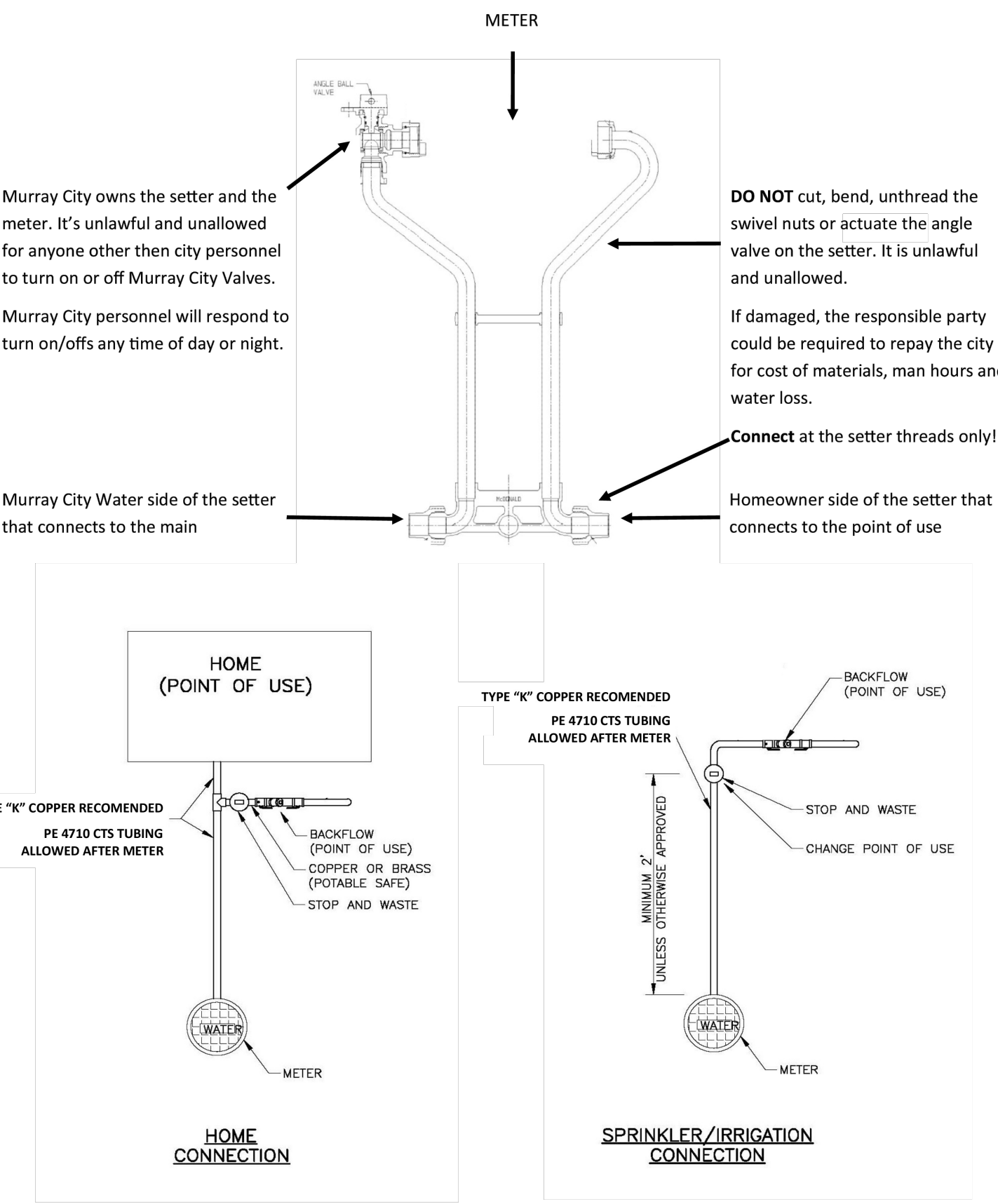
Water Specifications & Requirements

16

Murray City Water

Installation (Continued)

Point of Use



Water Specifications & Requirements

15

Murray City Water

LEGEND ENGINEERING  
52 WEST 100 NORTH  
HEBER CITY, UT 84032  
PHONE: 435-654-4828  
www.legendengineering.com



THE LOFTS ON VINE  
UTILITY DETAILS  
368 WEST VINE STREET, MURRAY, UTAH 84123

SHEET:

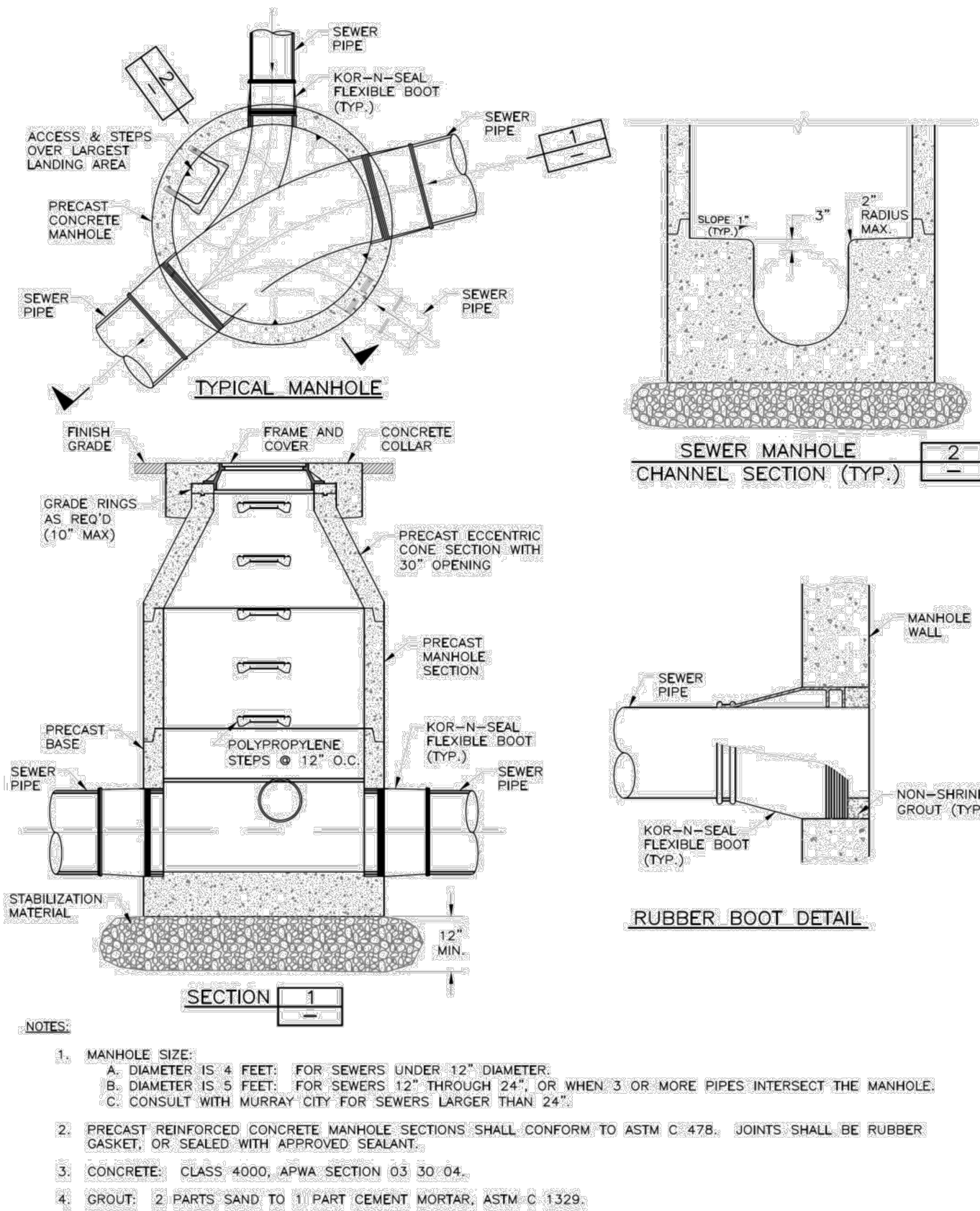
C-4.1

DATE: 7/28/2025

CONCEPT



Typical Sanitary Sewer Manhole



Wastewater Specifications & Requirements

7

Murray City Wastewater

Material Specifications



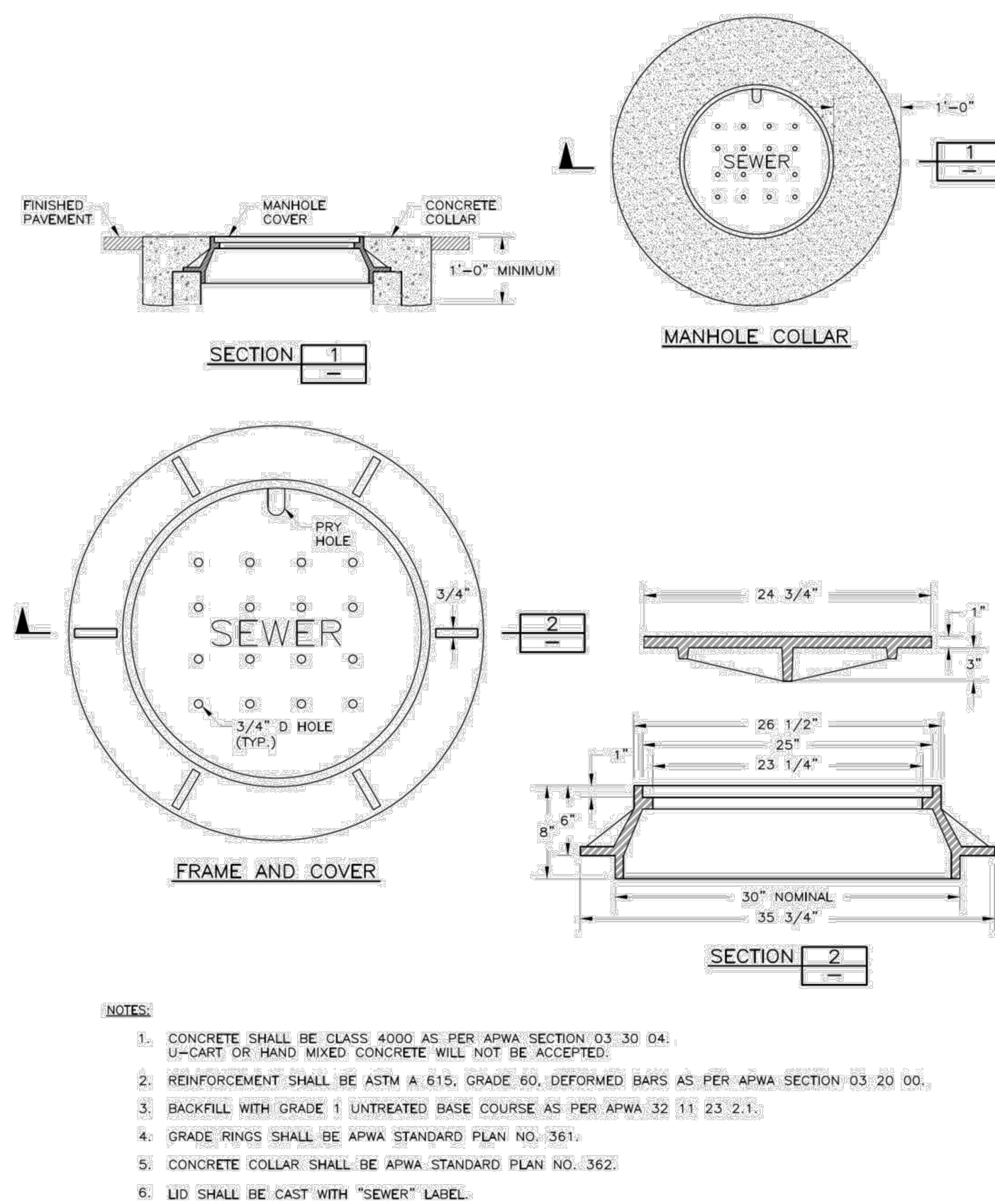
	<b>Pipe</b> Pipe size and material shall be approved by Murray city wastewater department.		<b>Clean Out Caps</b> Must be brass twist on cap
	<b>Shear Band Connectors</b> All connections must be stainless steel shear band (ferroco or approved equal by Murray City)		<b>Manhole Ring and Lids</b> Lid shall be cast with Sewer label
	<b>Inserta Tee</b> Use for service connection to Existing main		<b>Mechanical Test Plug</b> Use for abandoning existing manhole
	<b>Cast Iron Wye</b> Cast iron wye required on all cleanouts with shear band connectors		<b>Pipe Lubricant</b> Must be lubricant recommended by the manufacturer
	<b>PVC Wye</b> Must be appropriate size for the pipe.		<b>PVC 22'</b> Must be appropriate size for pipe
	<b>Triangular Clean out Box</b> Must be appropriate size for clean out.		<b>Kor N Seal Flexible Boot</b> Boot for connection to manhole.
	<b>RV Cleanout Caps</b> Must be metal and have a lockable cap.		

Wastewater Specifications & Requirements

6

Murray City Wastewater

Manhole Collar

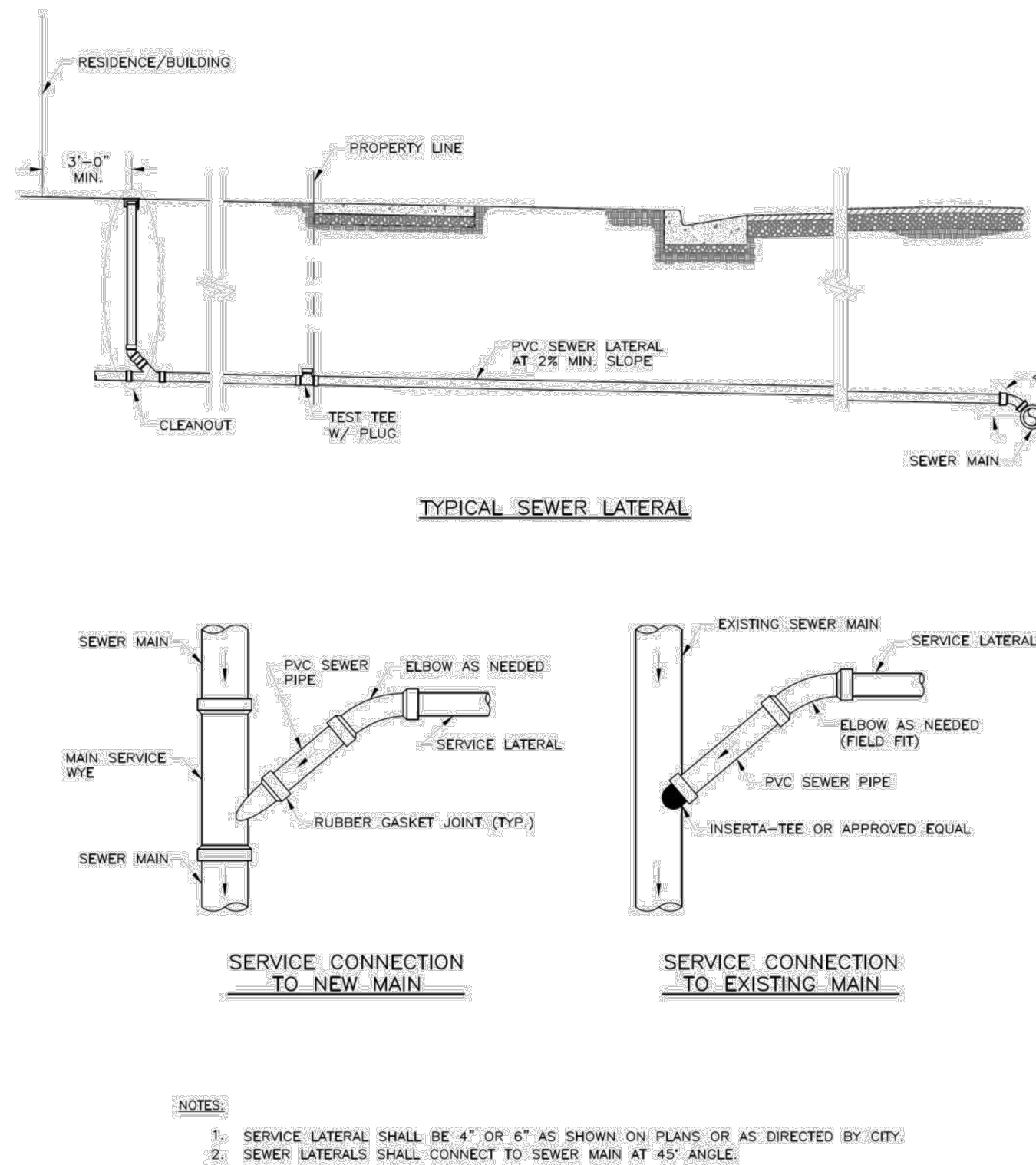


Wastewater Specifications & Requirements

9

Murray City Wastewater

Typical Sewer Lateral and Cleanout

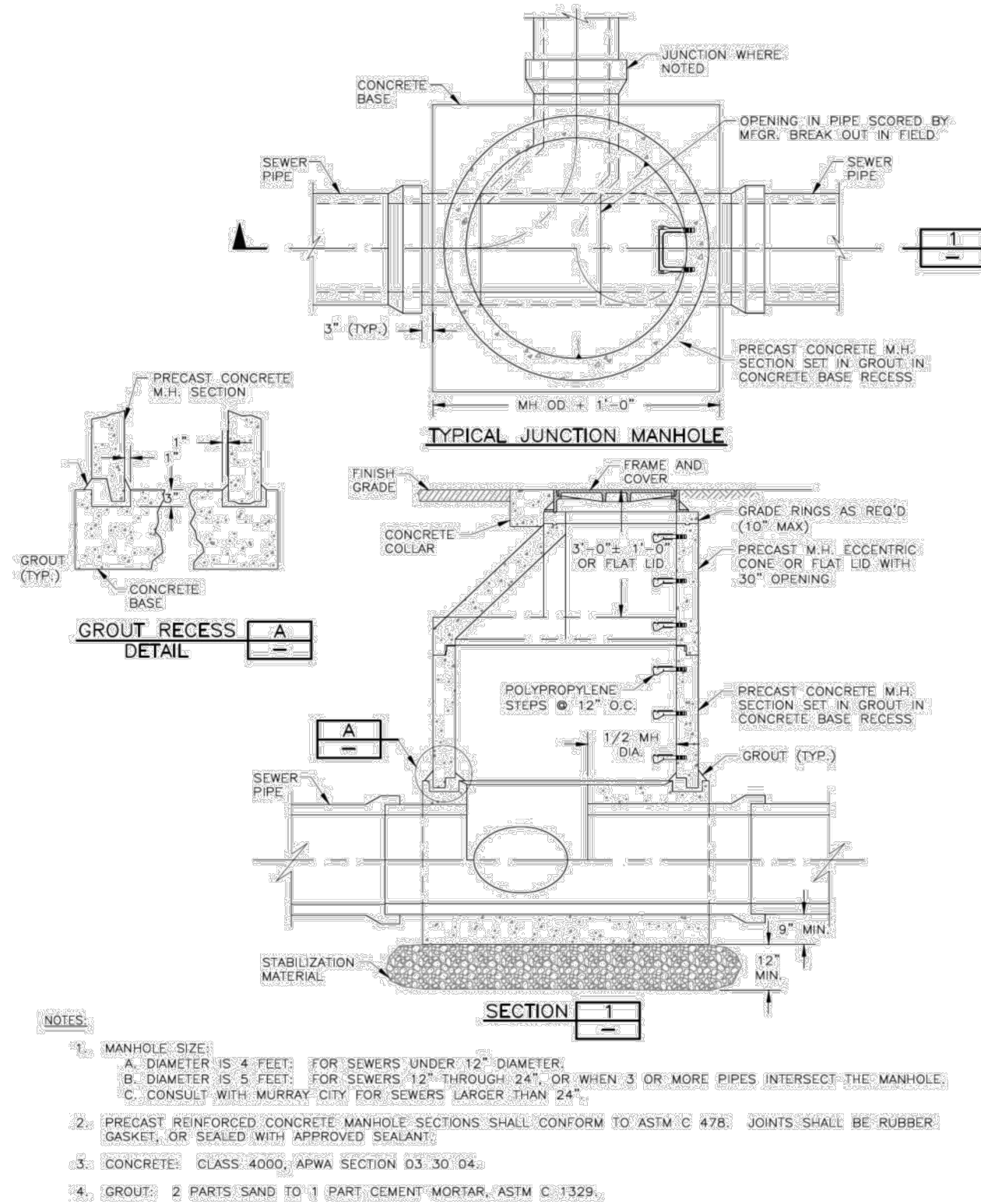


Wastewater Specifications & Requirements

11

Murray City Wastewater

Poured In Place Manhole Detail

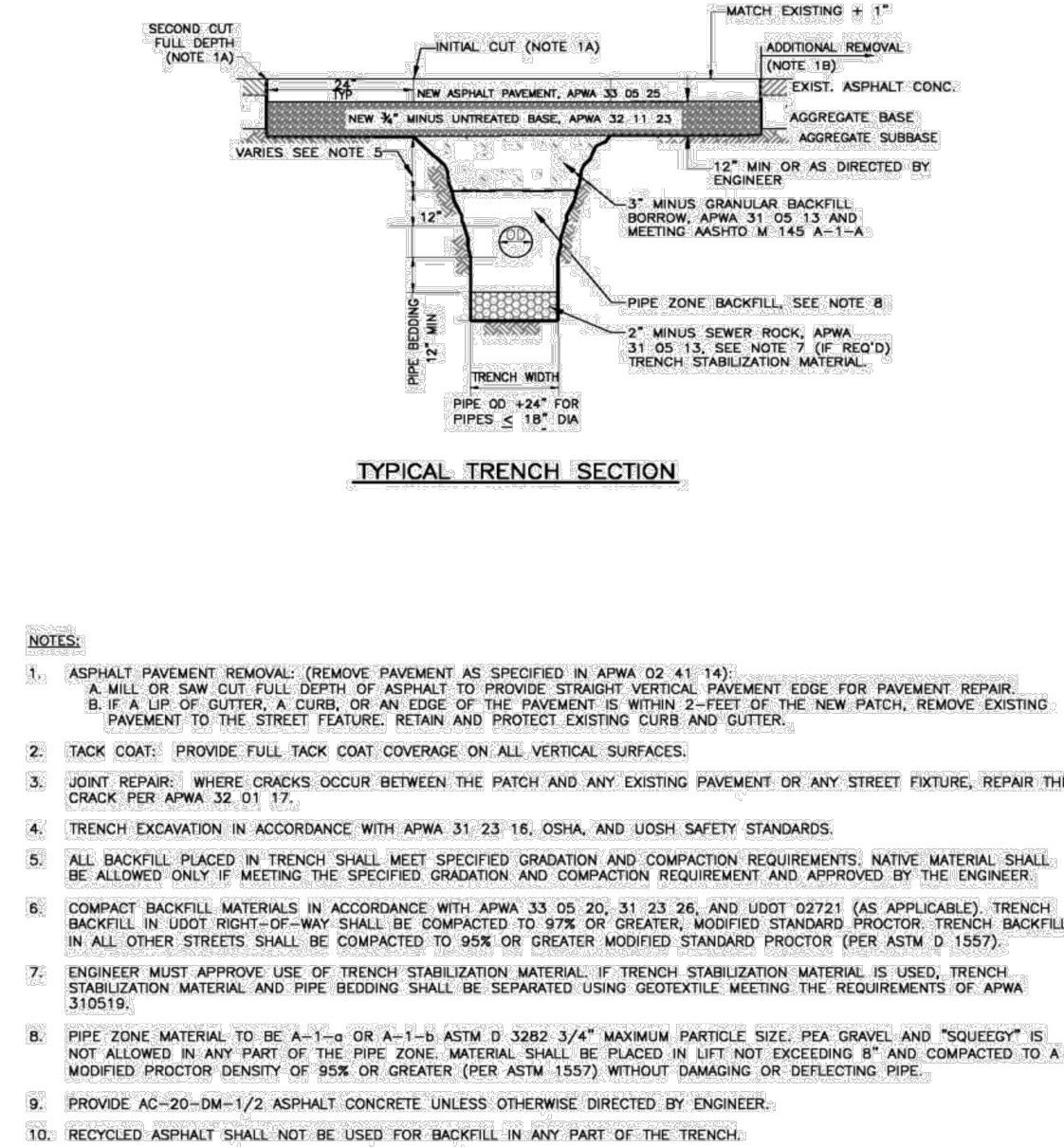


Wastewater Specifications & Requirements

12

Murray City Wastewater

Typical Trench Detail



Wastewater Specifications & Requirements

14

Murray City Wastewater

LEGEND ENGINEERING  
52 WEST 100 NORTH  
HOBBS CITY, UT 84032  
PHONE: 435-654-4828  
www.legendengineering.com



THE LOFTS ON VINE  
WASTEWATER DETAILS  
368 WEST VINE STREET, MURRAY, UTAH 84123

SHEET:  
C-4.2

DATE: 7/28/2025

CONCEPT



HANGING PARK BENCH AMENITY



BENCH/BIKE RACK COMBINATION



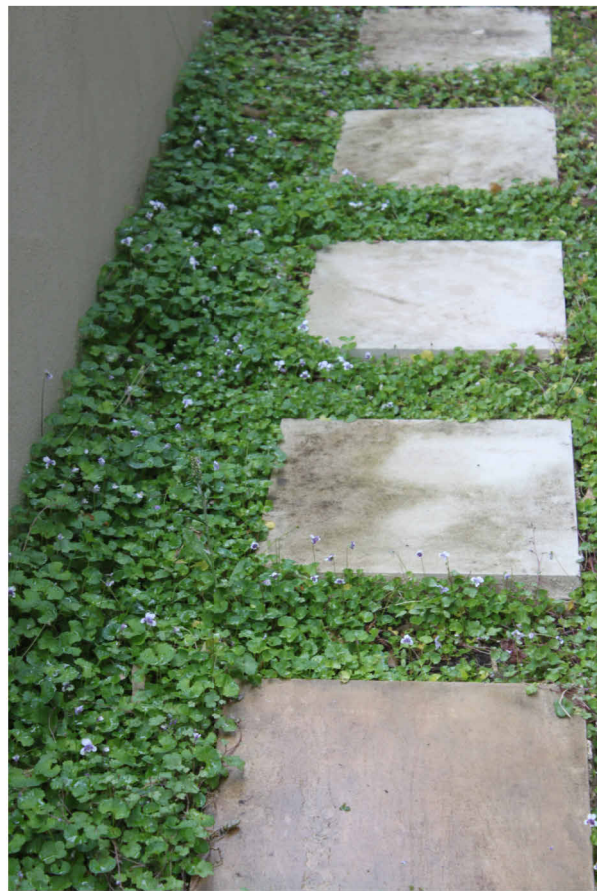
PATH LIGHTING



TRELLIS



GROUND COVER PAVERS



PLANTING LEGEND

SYMBOL		QTY
	PARKLAND PILLAR BIRCH	2
	STREET SPIRE OAK	2
	GOLD BAR MAIDEN GRASS	12

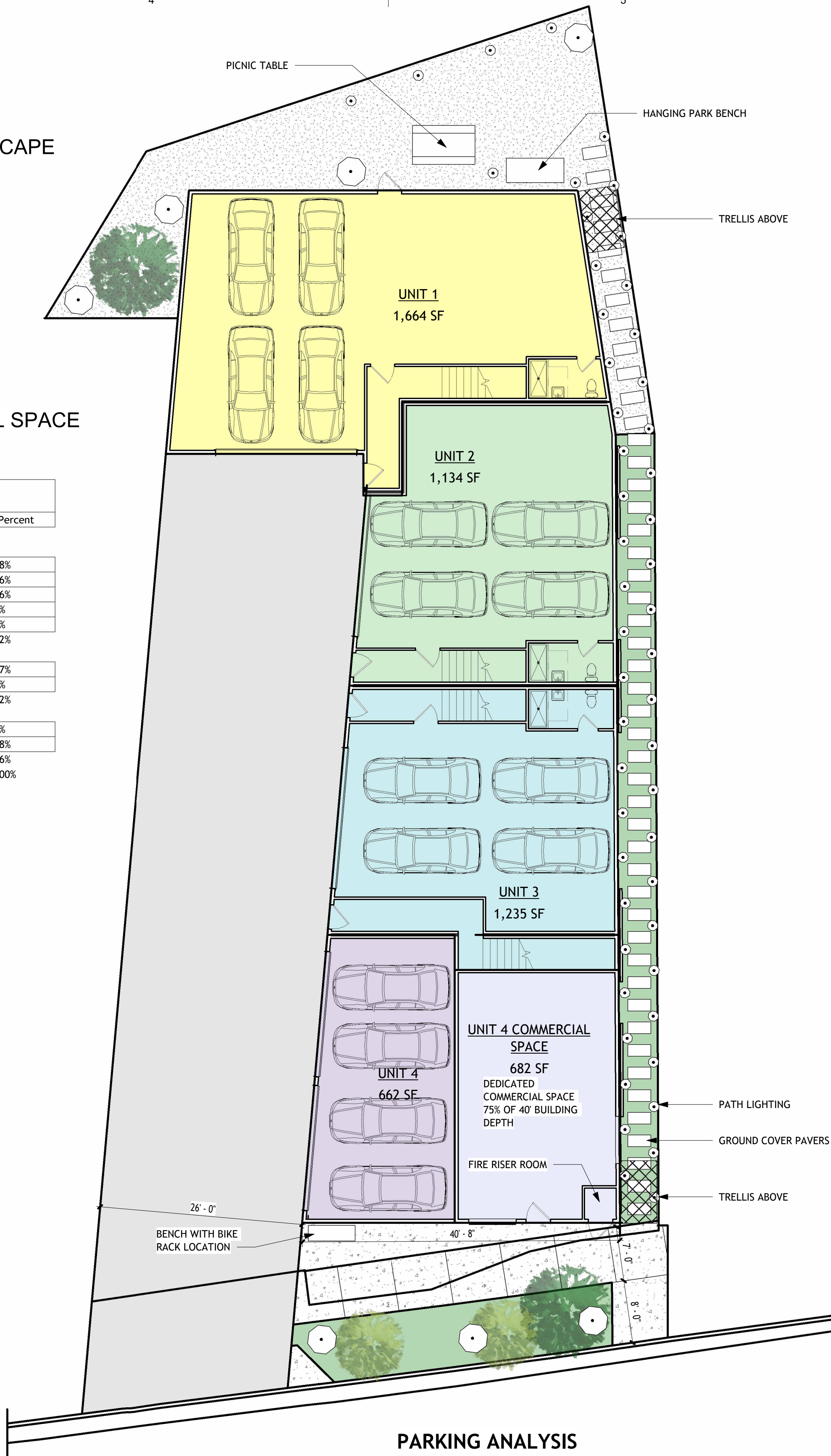
AMENITY LEGEND

	PICNIC TABLE
	HANGING PARK BENCH
	PATH LIGHTING
	TRELLIS

COLOR LEGEND

	LANDSCAPE - LAWN
	LANDSCAPE - XERISCAPE
	DRIVEWAY
	SIDEWALK
	UNIT 1
	UNIT 2
	UNIT 3
	UNIT 4
	UNIT 4 COMMERCIAL SPACE

Area Schedule (Site Area)		
Name	Area	Percent
BUILDING		
UNIT 1	1,664 SF	16.38%
UNIT 2	1,134 SF	11.16%
UNIT 3	1,235 SF	12.16%
UNIT 4	662 SF	6.52%
UNIT 4 COMMERCIAL SPACE	682 SF	6.71%
	5,377 SF	52.92%
HARDSCAPE		
DRIVEWAY	2,781 SF	27.37%
SIDEWALK	269 SF	2.65%
	3,050 SF	30.02%
LANDSCAPING		
LANDSCAPE - LAWN	506 SF	4.98%
LANDSCAPE - XERISCAPE	1,227 SF	12.08%
	1,733 SF	17.06%
Grand total	10,161 SF	100.00%



VINE ST



1 ARCHITECTURAL SITE PLAN/ LANDSCAPE PLAN  
1" = 10'-0"

0 5' 10' 20'  
0 2'  
1" = 10'-0"

PARKING ANALYSIS

UNIT 1: 4  
UNIT 2: 4  
UNIT 3: 4  
UNIT 4: 4  
TOTAL PARKING: 16 (8.4 REQUIRED)

COMMERCIAL SPACE ANALYSIS

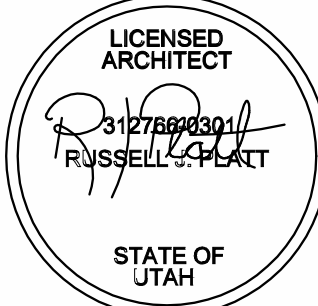
PROVIDED: 682 SQ FT LOCATED IN UNIT 4 GROUND FLOOR  
REQUIRED: 50% OF STREET FACE = (20' 6") MULTIPLIED BY  
75% OF 40' DEPTH (30') = 630 SQ FT

ARCHITECT'S INFORMATION:



RUSSELL PLATT ARCHITECTURE  
438 NORTH 300 WEST  
SALT LAKE CITY, UTAH 84103  
(801)-580-0181

PROFESSIONAL STAMP:



CODE OFFICIAL STAMP:

PROJECT NAME:

VINE

368 W Vine St  
Murray, UT 84123

REVISIONS:

NO. DATE DESCRIPTION

ISSUED: JULY 31ST, 2025

NO. DATE DESCRIPTION

OWNER PROJECT #:

RPA PROJECT #:

DRAWN BY:

CHECKED BY:

DESIGNED BY:

COPYRIGHT:  
© 2018 RUSSELL PLATT ARCHITECTURE

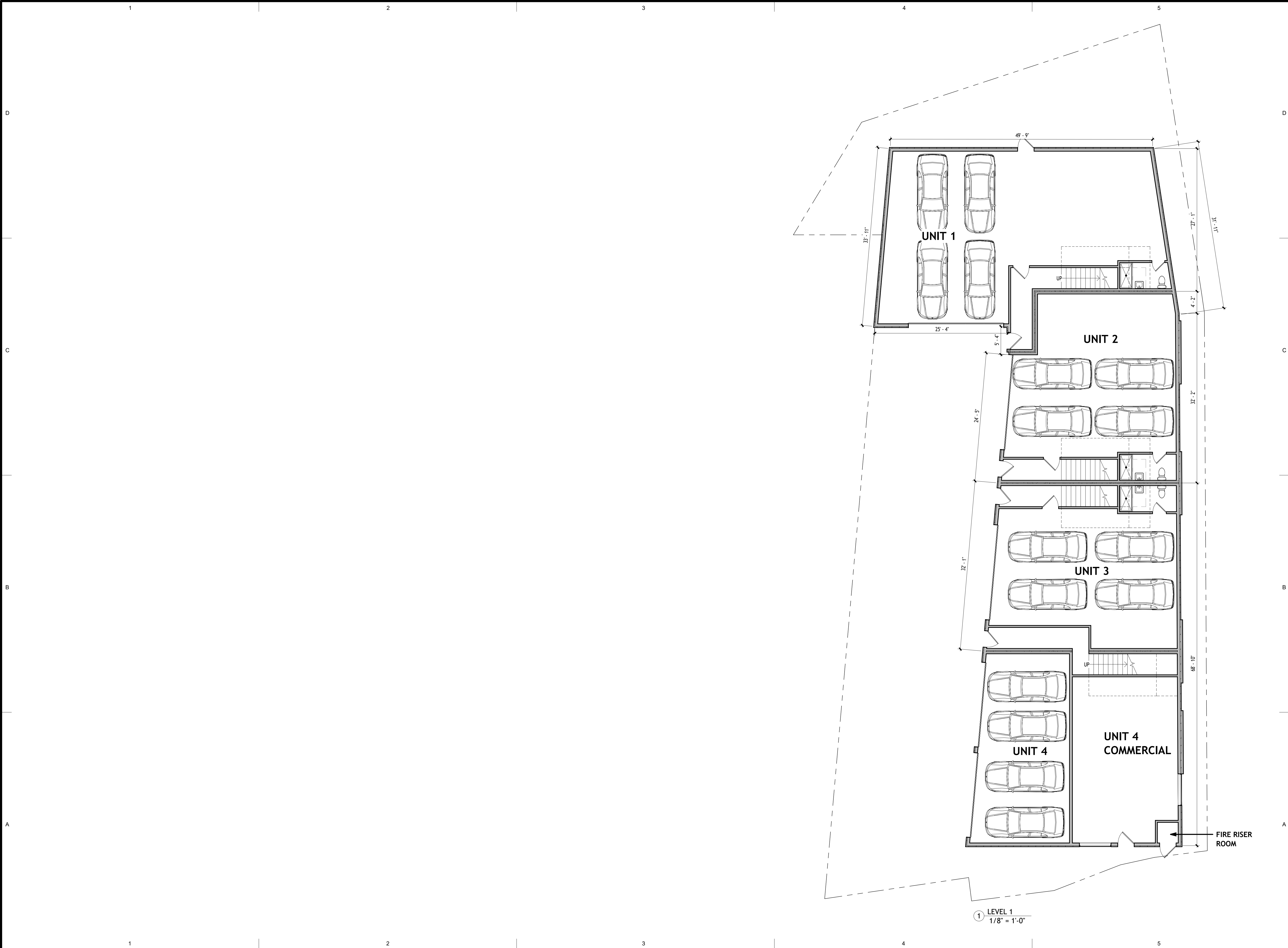
SHEET TITLE:

ARCHITECTURAL  
SITE PLAN/  
LANDSCAPE  
PLAN


SHEET NUMBER:

L100






ARCHITECT'S INFORMATION:

RUSSELLPLATT  
ARCHITECTURE

RUSSELL PLATT ARCHITECTURE  
438 NORTH 300 WEST  
SALT LAKE CITY, UTAH 84103  
(801)-580-0181

PROFESSIONAL STAMP:

LICENSED  
ARCHITECT

  
3127899301  
RUSSELL PLATT

STATE OF  
UTAH

CODE OFFICIAL STAMP:

PROJECT NAME:

VINE  
368 W Vine St  
Murray, UT 84123

REVISIONS:

NO.	DATE	DESCRIPTION

ISSUED: JULY 31ST, 2025

NO.	DATE	DESCRIPTION

OWNER PROJECT #:

RPA PROJECT #:

DRAWN BY:

CHECKED BY:

DESIGNED BY:

COPYRIGHT:  
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SHEET TITLE:


LEVEL 1 FLOOR  
PLAN

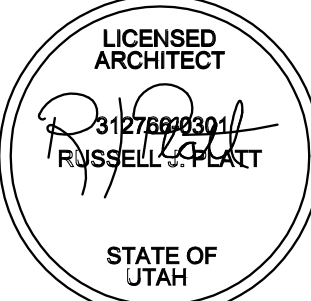
SHEET NUMBER:

A101





ARCHITECT'S INFORMATION:  
**RUSSELLPLATT**  
ARCHITECTURE  
RUSSELL PLATT ARCHITECTURE  
438 NORTH 300 WEST  
SALT LAKE CITY, UTAH 84103  
(801)-580-0181

PROFESSIONAL STAMP:  
  
STATE OF UTAH

CODE OFFICIAL STAMP:

PROJECT NAME:  
  
**VINE**  
  
368 W Vine St  
Murray, UT 84123

REVISIONS:  

NO.	DATE	DESCRIPTION

ISSUED: JULY 31ST, 2025  

NO.	DATE	DESCRIPTION


OWNER PROJECT #:  
RPA PROJECT #:  
DRAWN BY:  
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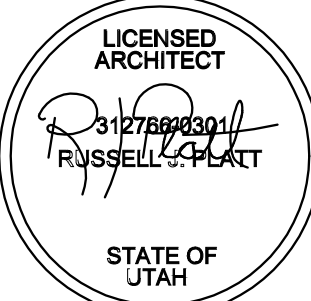
SHEET TITLE:  
**LEVEL 2 FLOOR PLAN**

SHEET NUMBER:  
**A102**



1 LEVEL 3  
1/8" = 1'-0"

ARCHITECT'S INFORMATION:  
 **RUSSELLPLATT**  
ARCHITECTURE  
RUSSELL PLATT ARCHITECTURE  
438 NORTH 300 WEST  
SALT LAKE CITY, UTAH 84103  
(801)-580-0181

PROFESSIONAL STAMP:  
 LICENSED  
ARCHITECT  
312789930  
RUSSELL PLATT  
STATE OF  
UTAH

CODE OFFICIAL STAMP:

PROJECT NAME:  
  
VINE  
  
368 W Vine St  
Murray, UT 84123

REVISIONS:  

NO.	DATE	DESCRIPTION

ISSUED: JULY 31ST, 2025  

NO.	DATE	DESCRIPTION

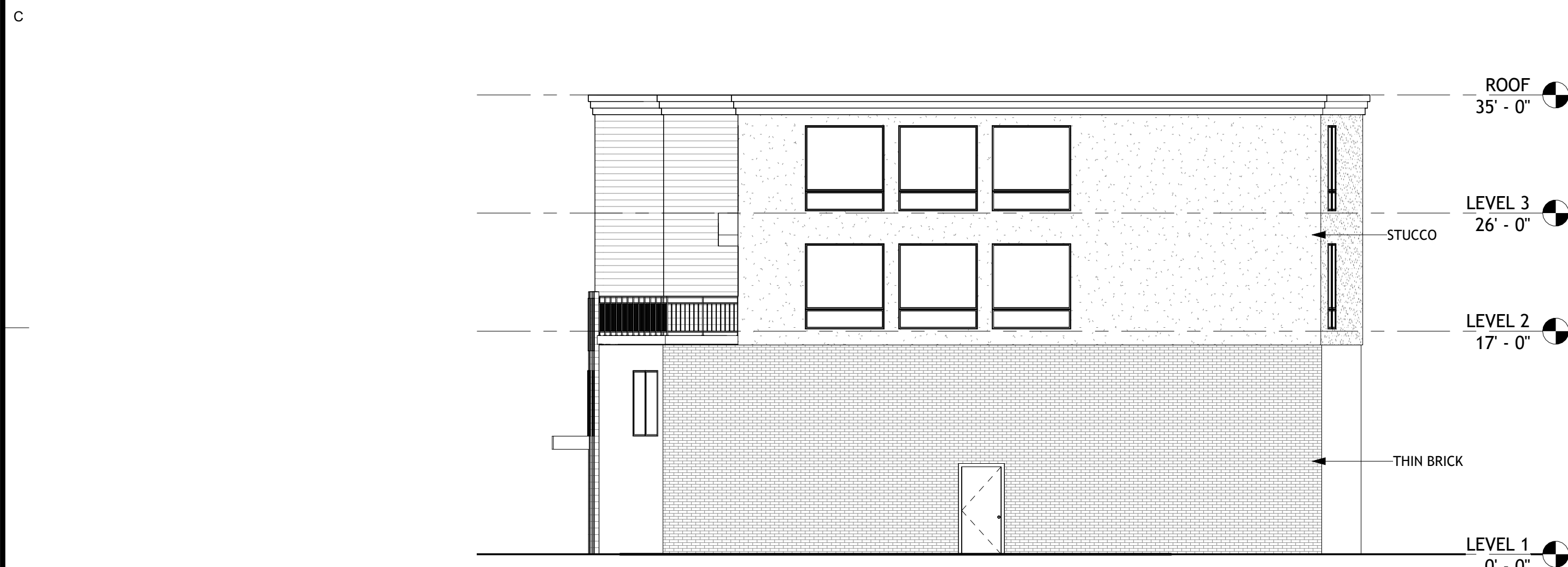
OWNER PROJECT #:  
RPA PROJECT #:  
DRAWN BY:  
CHECKED BY:  
DESIGNED BY:  
COPYRIGHT:  
© 2018 RUSSELL PLATT ARCHITECTURE

SHEET TITLE:  
LEVEL 3 FLOOR  
PLAN

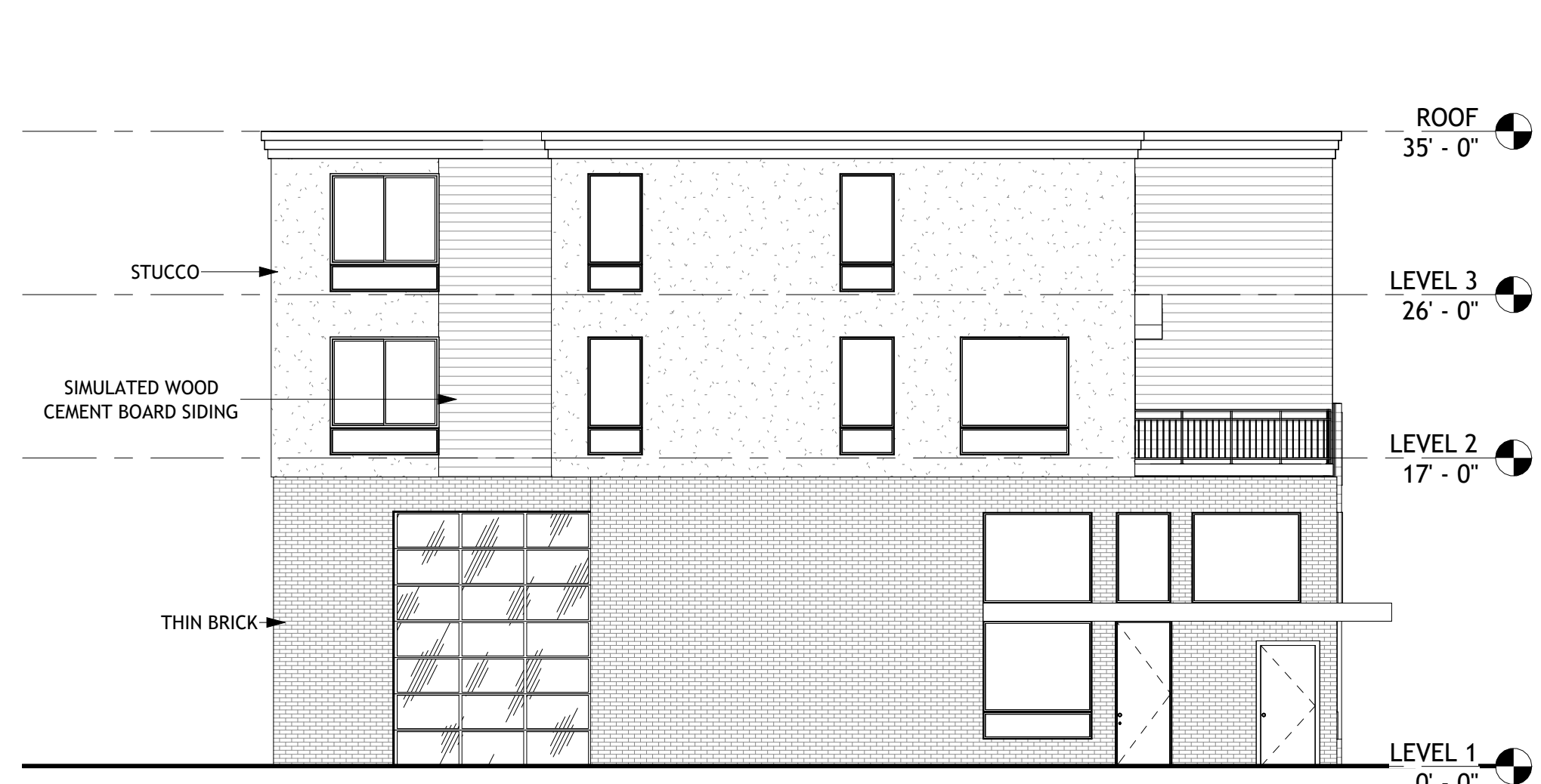
SHEET NUMBER:  
A103



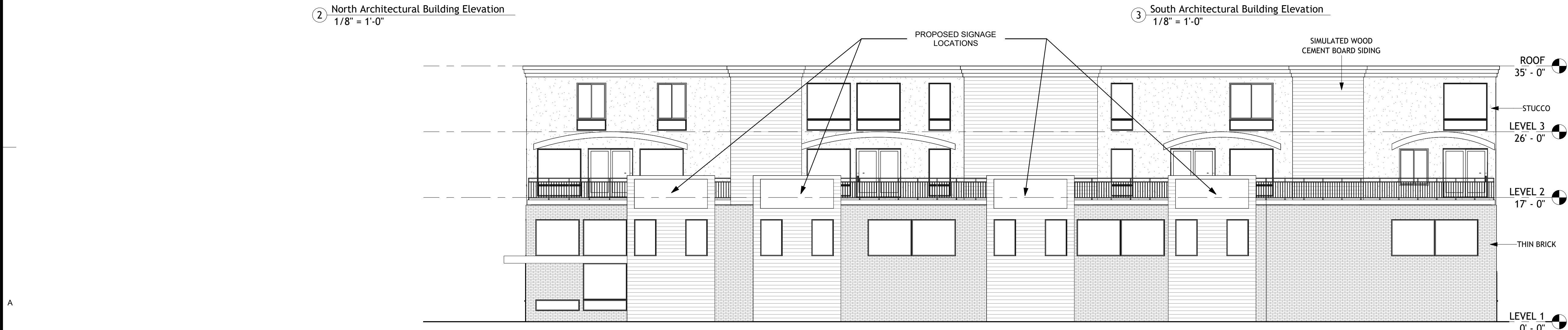
① West Architectural Building Elevation  
1/8" = 1'-0"




② North Architectural Building Elevation  
1/8" = 1'-0"



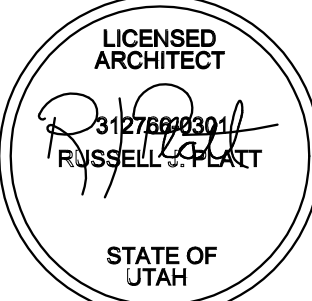
③ South Architectural Building Elevation  
1/8" = 1'-0"



④ East Architectural Building Elevation  
1/8" = 1'-0"

ARCHITECT'S INFORMATION:  
 **RUSSELL PLATT**  
ARCHITECTURE

RUSSELL PLATT ARCHITECTURE  
438 NORTH 300 WEST  
SALT LAKE CITY, UTAH 84103  
(801)-580-0181

PROFESSIONAL STAMP:  


CODE OFFICIAL STAMP:

PROJECT NAME:  

VINE

368 W Vine St  
Murray, UT 84123

REVISIONS:  

NO.	DATE	DESCRIPTION

ISSUED: JULY 31ST, 2025  

NO.	DATE	DESCRIPTION

OWNER PROJECT #:  
RPA PROJECT #:  
DRAWN BY:  
CHECKED BY:  
DESIGNED BY:  
COPYRIGHT:  
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SHEET TITLE:  
ELEVATIONS

SHEET NUMBER:  
A201











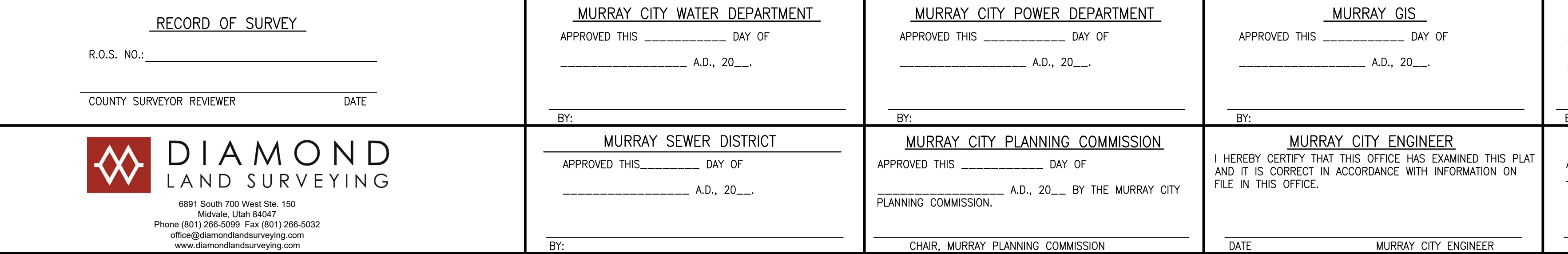


SIGNAGE









LOCATED IN THE NORTHEAST QUARTER OF SECTION 12,  
TOWNSHIP 2 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN,  
MURRAY CITY, SALT LAKE COUNTY, UTAH  
APRIL 2025

## MAYOR

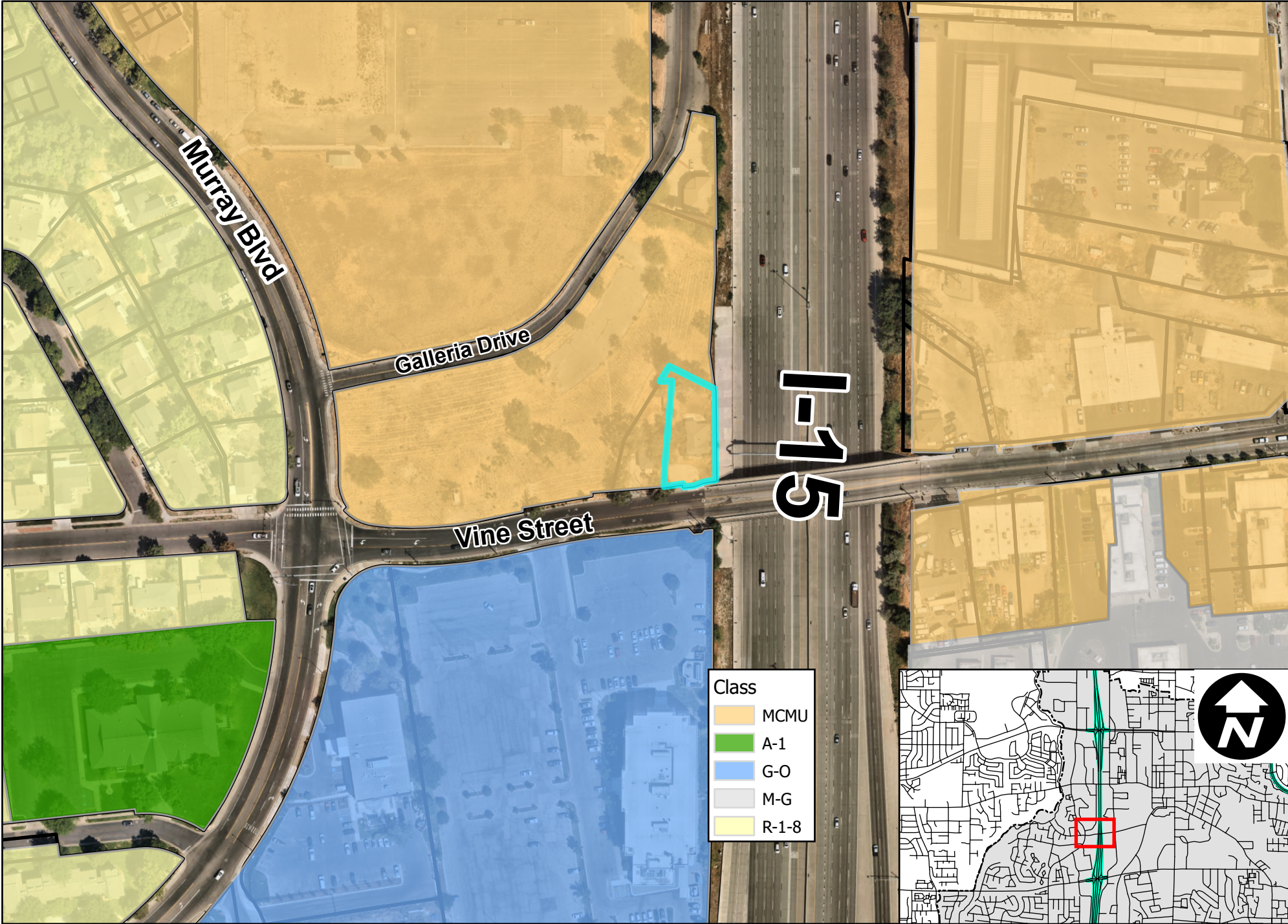
## NOTARY SIGNATURE

DATE: \_\_\_\_\_ TIME: \_\_\_\_\_ BOOK: \_\_\_\_\_ PAGE: \_\_\_\_\_

SALT LAKE COUNTY DEPUTY RECORDER



# 368 West Vine Street





# 368 West Vine Street

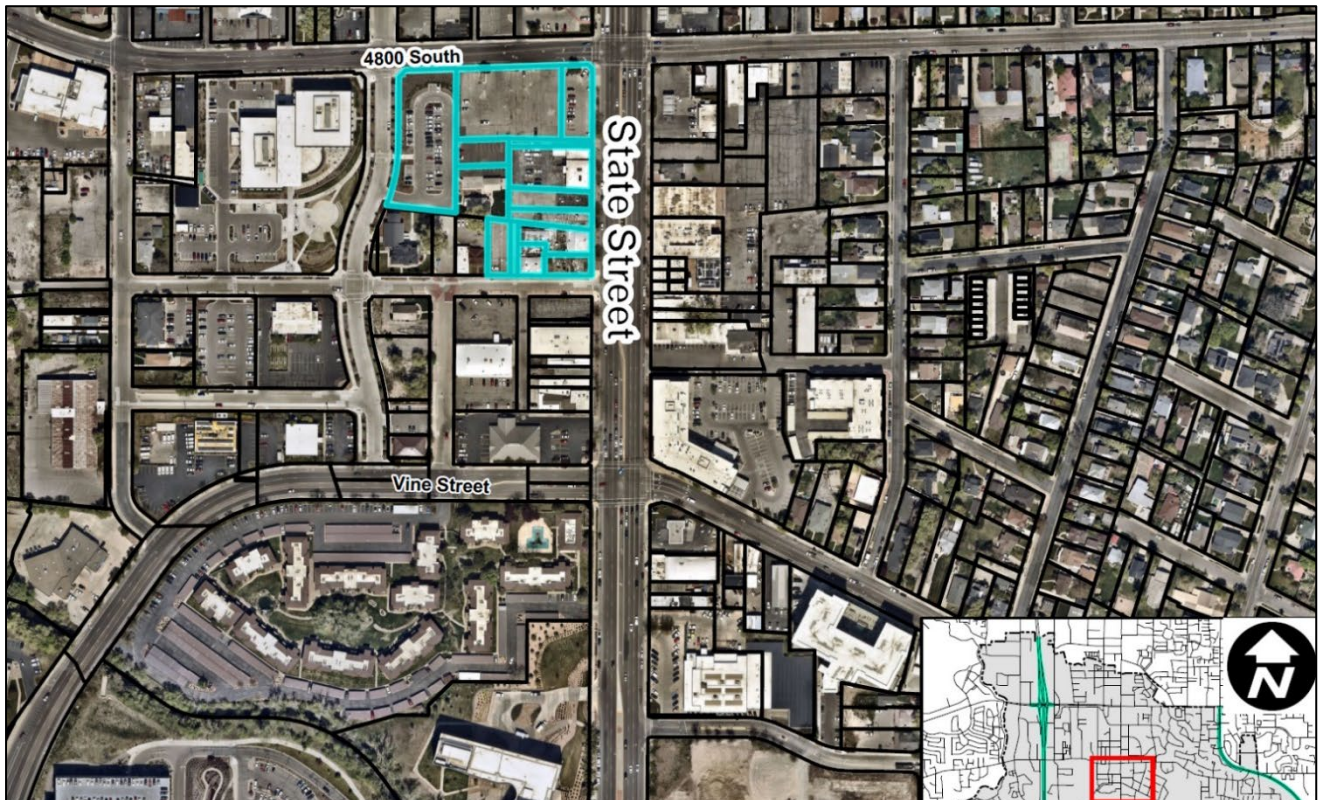






## ITEM # 06 - Block One Subdivision

<b>ITEM TYPE:</b>	Subdivision Amendment		
<b>ADDRESS:</b>	4816, 4836-4844, 4854, 4858-4860, 4868 South State Street, 65, 75 East Fifth Avenue, and 4843, 4837 South Poplar Street	<b>MEETING DATE:</b>	September 4, 2025
<b>APPLICANT:</b>	Murray City & Rockworth Companies	<b>STAFF:</b>	Zachary Smallwood, Planning Manager
<b>PARCEL ID:</b>	22-07-105-019, 22-07-1050-16, 22-07-105-017, 22-07-105-007, 22-07-105-008, 22-07-105-009, 22-07-105-014, 22-07-105-015, 22-07-105-013, 22-07-105-012, 22-07-105-011, 22-07-105-003, 22-07-105-004, 22-07-105-020		
<b>ZONE:</b>	City Center Form Based Code	<b>PROJECT NUMBER:</b>	25-086
<b>SIZE:</b>	3.51 acres		
<b>REQUEST:</b>	Murray City and Rockworth Companies are requesting approval to amend Lot 2 of the City Hall Subdivision approved by Planning Commission on March 2, 2023.		



**I. LAND USE & SUBDIVISION ORDINANCE**

Section 16.04.030(C) of the Murray City Subdivision Ordinance requires applications for modifications to existing subdivisions of property to be reviewed and approved by the Murray City Planning Commission as the Land Use Authority. Murray City Code Title 16, Subdivision Ordinance, outlines the requirements for subdivision review. Utah State Code (10-9a-604) states that a subdivision plat may not be recorded until approved by the land use authority of the City. The Planning Commission’s role as the Land Use Authority is to ensure that a proposed amended subdivision is consistent with established ordinances, policies, and planning practices of the City. The Planning Commission makes investigations, reports, and recommendations on proposed subdivisions as to their conformance to the General Plan and Title 17 of City Code, and other pertinent documents as it deems necessary.

**II. BACKGROUND**

The Murray City Hall Subdivision was created in 2024 to consolidate a number of parcels that encompassed what would become the Murray City Hall property, adjacent parking lots, and the dedication of the Hanauer Street extension.

As part of the development agreement with Rockworth Companies Murray City will be conveying Lot 2 of the City Hall Subdivision and multiple parcels. To streamline the process the city has opted to consolidate all of the parcels the city owns and the one parcel that Rockworth Companies owns to facilitate the development of the project that was reviewed at the August 21<sup>st</sup>, 2025 Planning Commission meeting.

Project Location

The subject properties are located along 4800 South on the north to 5<sup>th</sup> Avenue on the south and State Street on the east to Hanauer Street on the west. It does not include the property that Tea Rose Diner or the Murray Mansion are located on.

Surrounding Land Use and Zoning

<u>Direction</u>	<u>Land Use</u>	<u>Zoning</u>
North	Commercial	CC-FBC
South	Commercial	CC-FBC
East	Institutional	CC-FBC
West	Commercial	CC-FBC

**III. PROJECT REVIEW**

The proposed amendment will extend Lot 2 of the Murray City Hall Subdivision to encompass all the properties that are collectively known as block one. This request is to allow the disposition of the property to Rockworth Companies to building the project that was approved at the August 21<sup>st</sup>, 2025 Planning Commission meeting.

### Utilities, Grading

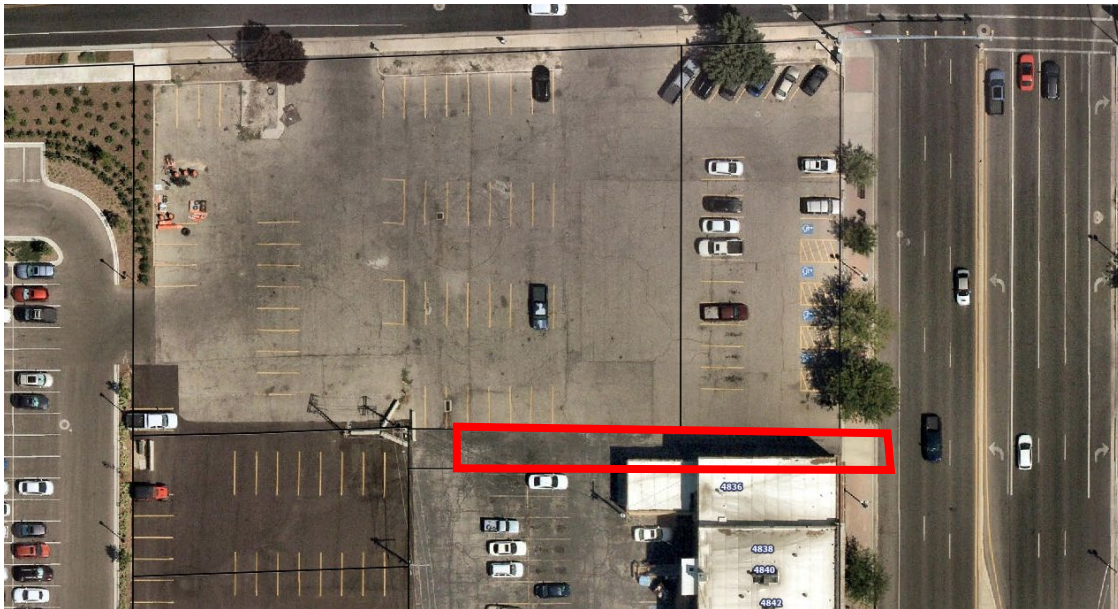
Utility and grading plans were reviewed by the Planning Commission and City Staff during the design review application. The applicants understand that there will need to be modifications to utilities during development of the project.

### Public Improvements

No new public improvements will be required with this subdivision. Rockworth companies will be installing new public improvements as part of their development.

### Existing Right of Way

There is a public right of way located to the north side of what is considered the Mercantile Building. The city is in the process of vacating this right of way to be included as part of the subdivision. The City will need to have this completed prior to recording of the plat.



*Figure 1: Existing Right of Way*

## **IV. CITY DEPARTMENT REVIEW**

The application and materials were distributed to city staff from various departments for their review and comments on August 19<sup>th</sup>, 2025. The following comments have been provided in response by the reviewing departments:

- The City Engineer's office made the following comments:
  - Meet City subdivision requirements and standards – City Code Title 16. The current plat does not meet city or county standards for recording.
  - The plat depiction and boundary description need to include a section corner tie.

- The 12' Alley must be vacated prior to recording the plat.
  - Provide an access easement on the southwest side of the property from Hanauer Street.
  - Provide dedication for 4800 South widening.
  - Vacate unused and unnecessary easements shown on the plat – relocate or abandon utilities as required.
  - The plat must provide the correct Ownership and Acknowledgements for the signers. There are currently three property owners within the plat boundary.
  - Provide conveyance deeds prior to recording the plat.
  - Include standard utility notes and signature lines for utilities – Enbridge Energy requires their own note and signature line.
  - Provide correct signature blocks and format.
  - Address all City and County comments prior to printing the plat to mylar.
- The Murray Sewer Department stated the following:
    - Approve of the subdivision amendment for the Murray Block One Subdivision.
    - Please note utilities for the subdivision still need work before approval.

Other reviewing staff recommended approval without specific conditions or comments.

## **V. PUBLIC COMMENTS**

Public notices were mailed to 113 property owners within a 500 foot radius of the proposed amendment and affected entities notifying them of the proposed subdivision amendment. As of the date of this report, no comments have been received.

## **VI. FINDINGS**

Based on the analysis of the application and materials provided and a survey of surrounding area, staff concludes the following:

1. With conditions, the proposed subdivision meets the requirements of Section 17.171 of the Murray City Land Use Ordinance.
2. With conditions, the proposed subdivision meets the requirements of the applicable sections of the Murray City Subdivision Ordinance, Title 16 of the City Code for the subdivision of land.
3. The subdivision of land is allowed by Utah State Code Section 10-9a-608(2)(a)(iii), and with conditions this proposed subdivision amendment will meet the requirements therein.

## **VIII. CONCLUSION/RECOMMENDATION**

Based on the information presented in this report, application materials submitted and a site

review, staff recommends that the Planning Commission **APPROVE the Block One Subdivision, amending and extending Lot 2 of the Murray City Hall Subdivision for the properties addressed 4816, 4836-4844, 4854, 4858-4860, 4868 South State Street, 65, 75 East Fifth Avenue, and 4843, 4837 South Poplar Street subject to the following conditions:**

1. The applicant shall meet the requirements of the City Engineer as stated in the staff report.
2. The applicant shall meet all relevant Power, Water, Sewer, and Fire Department requirements.
3. The property shall meet all the applicable requirements of Chapter 17.171 of the Murray Land Use Ordinance for the City Center Form Based Code.
4. The subdivision plat shall be recorded within one year of the final approval by the Planning Commission or the final plat shall be null and void.





## NOTICE OF PUBLIC HEARING

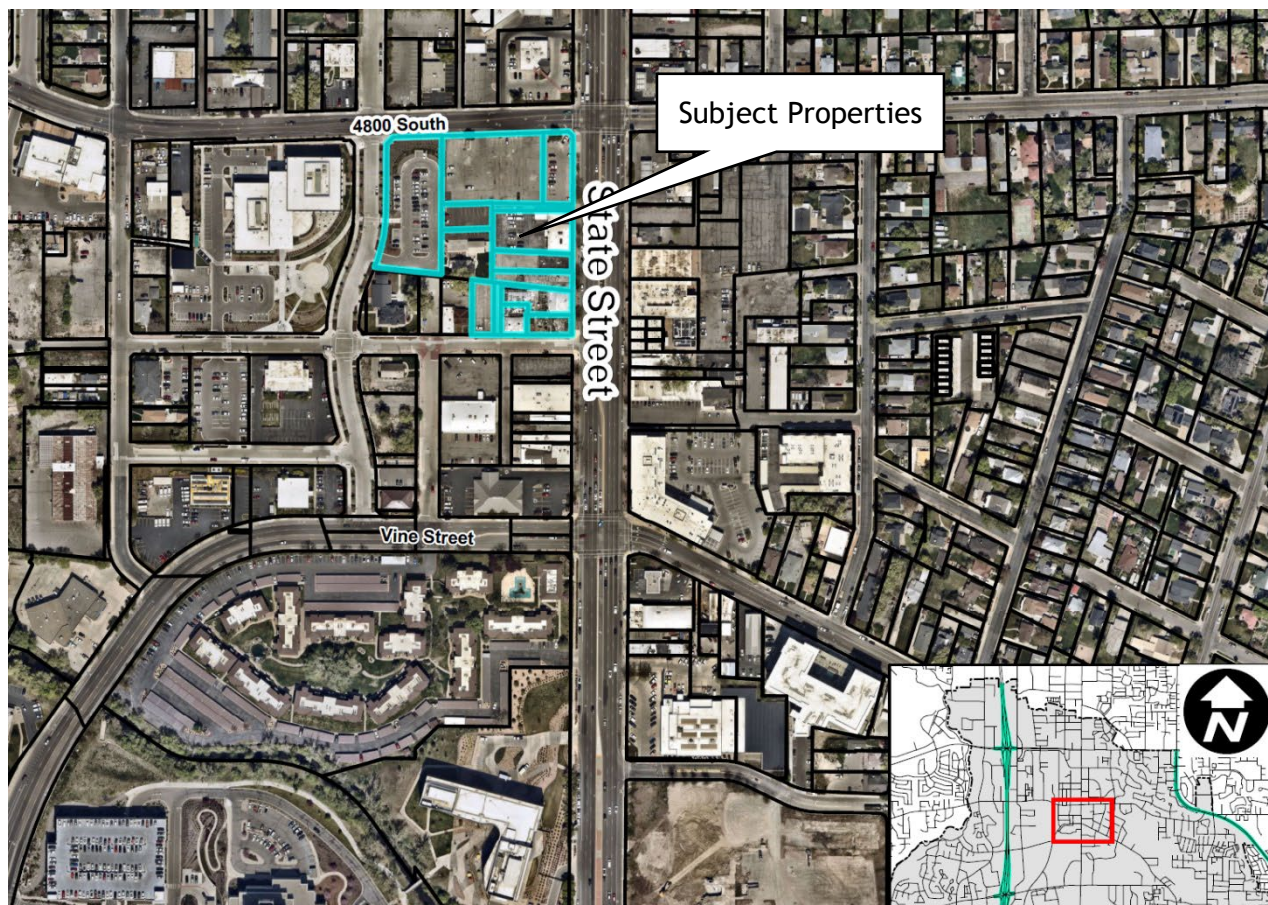
September 4th, 2025, 6:30 PM

The Murray City Planning Commission will hold a public hearing in the Murray City Council Chambers, located at 10 East 4800 South to receive comment on an application submitted by **Representatives of Murray City & Rockworth Companies** for the properties located between **4800 South to Fifth Avenue & State Street to Hanauer Street as shown on the map below.**

The applicants are requesting a subdivision amendment to amend approximately thirteen parcels to consolidate into the Murray City Hall Subdivision on 3.51 acres.

The meeting will be streamed online, at [www.murraycitylive.com](http://www.murraycitylive.com) or [www.facebook.com/MurrayCityUtah/](https://www.facebook.com/MurrayCityUtah/).

*Comments are limited to 3 minutes or less, written comments will be entered into the meeting record.*

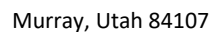


This notice is being sent to you because you own property within 500 feet of the subject property. Comments concerning this proposal, will be accepted by calling the Murray City Planning Division at 801-270-2430, e-mail to [pc@murray.utah.gov](mailto:pc@murray.utah.gov) or in person at the meeting.

Special accommodations for the hearing or visually impaired will be upon a request to the office of the Murray City Recorder (801-264-2660). We would appreciate notification two working days prior to the meeting. TTY is Relay Utah at #711.

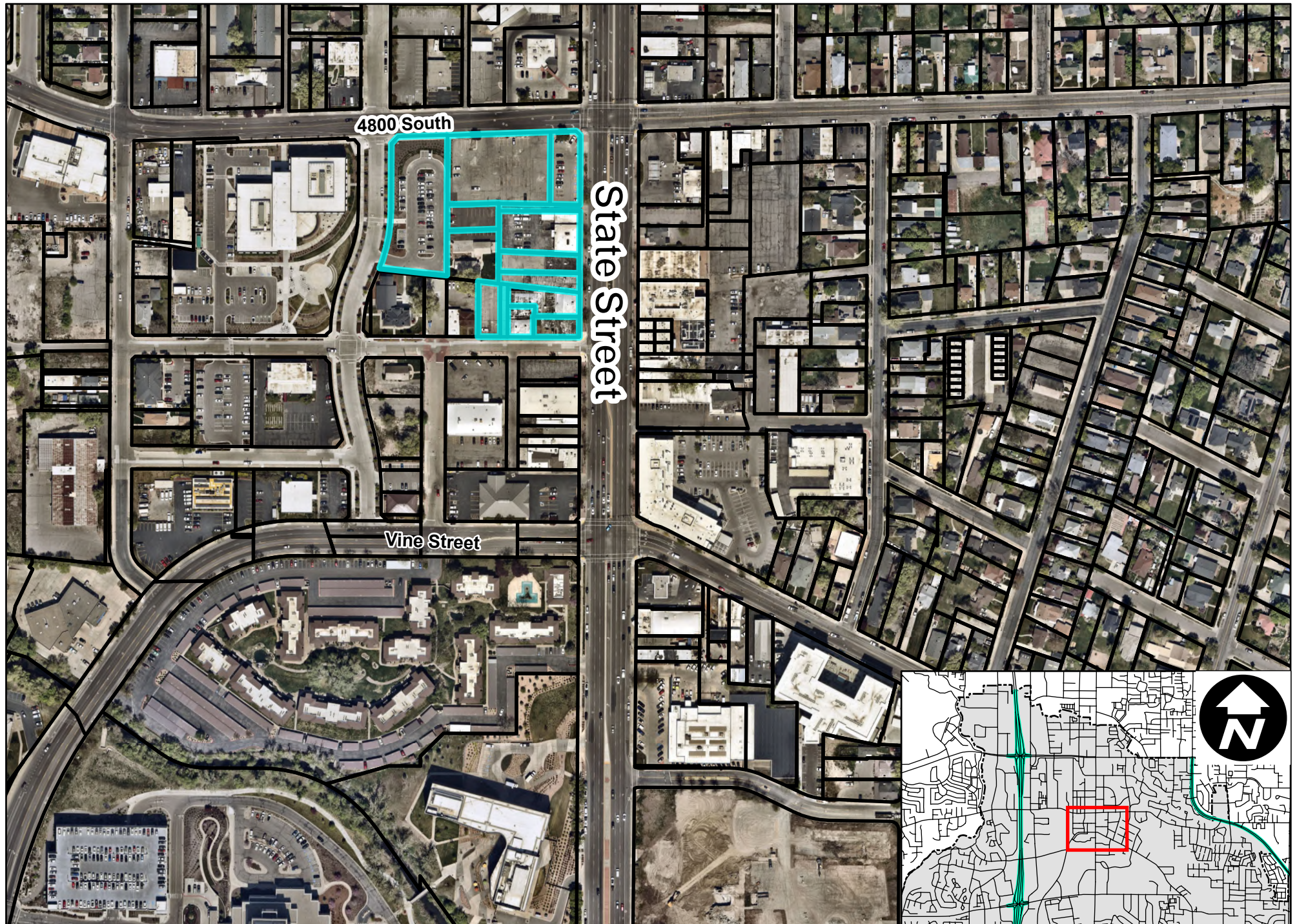
Public Notice Dated | August 22<sup>nd</sup>, 2025







# 4800 South State Street



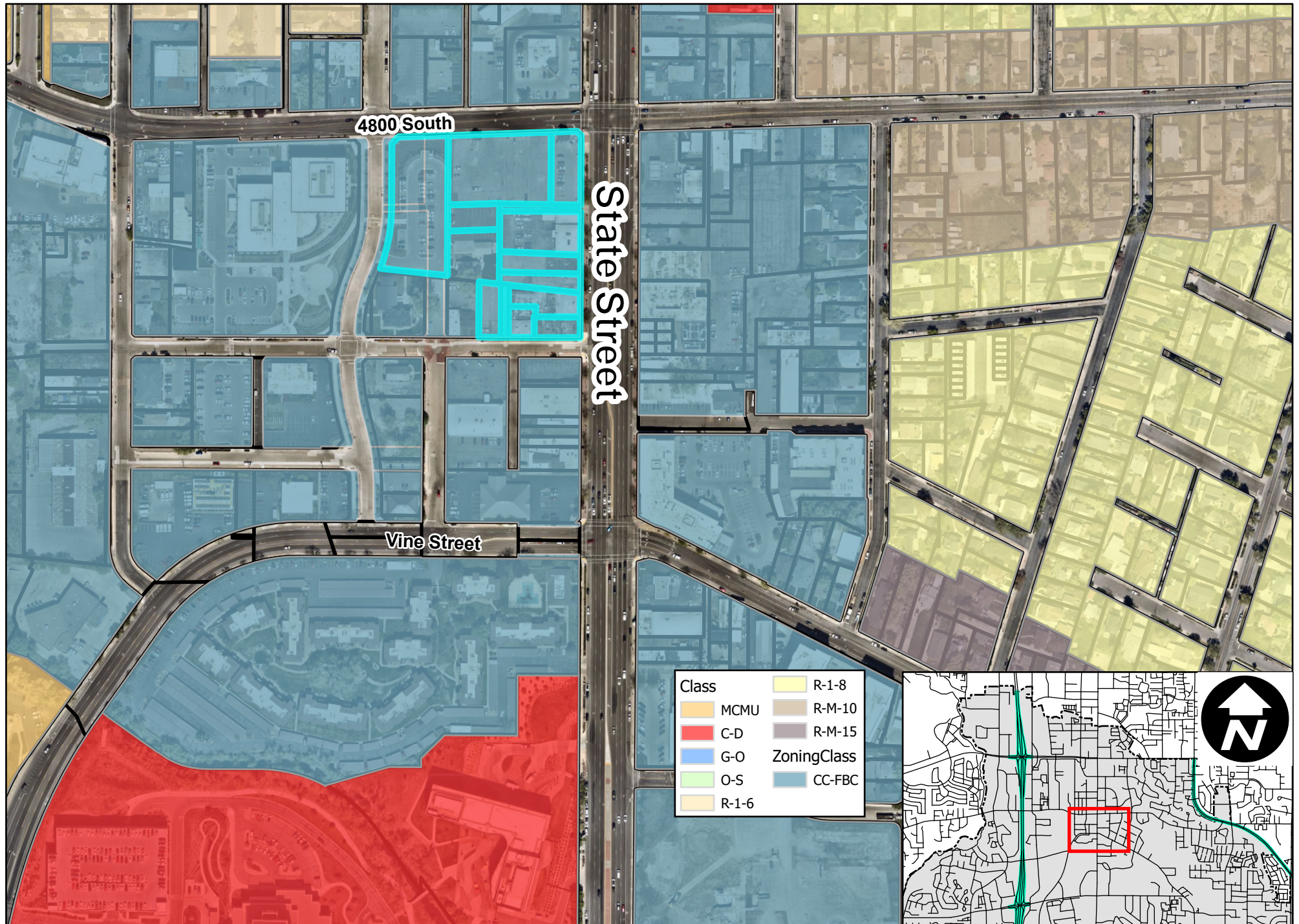
4800 South

State Street

Vine Street



# 4800 South State Street

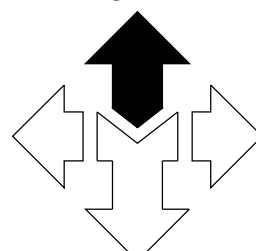




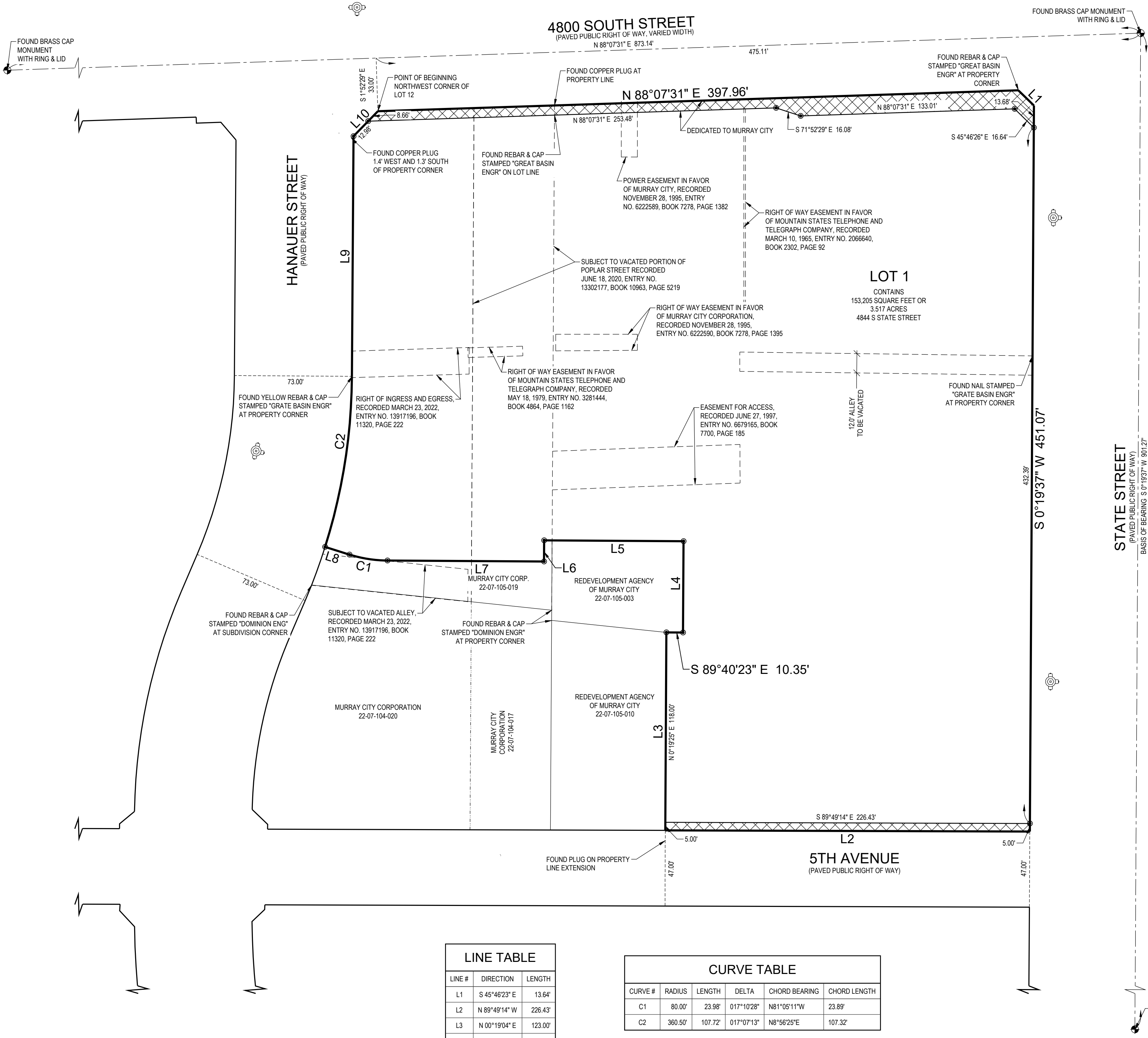
# MURRAY BLOCK ONE SUBDIVISION

AMENDING LOT 2, MURRAY CITY HALL SUBDIVISION  
LOCATED IN THE NORTHWEST QUARTER OF SECTION 7,  
TOWNSHIP 2 SOUTH, RANGE 1 EAST,  
SALT LAKE BASE AND MERIDIAN

NORTH



SCALE: 1" = 40'



VICINITY MAP

SCALE: N.T.S.

## LEGEND

- SUBDIVISION BOUNDARY
- MONUMENT LINE/CENTER LINE OF ROAD
- EASEMENT LINE
- ADJOINING PROPERTY LINE
- SUBDIVISION BOUNDARY CORNER, COPPER PLUG OR REBAR & CAP OR NAIL & WASHER STAMPED "MONEL ENGR"
- EXISTING FIRE HYDRANT
- DEDICATED TO MURRAY CITY FOR ROADWAY BY THE RECORDATION OF THIS PLAT

## LINE TABLE

LINE #	DIRECTION	LENGTH
L1	S 45°46'23" E	13.64'
L2	N 89°49'14" W	226.43'
L3	N 00°19'04" E	123.00'
L4	N 00°19'37" E	56.75'
L5	N 89°40'23" W	86.60'
L6	S 00°19'37" W	13.10'
L7	N 89°40'23" W	97.26'
L8	N 72°30'00" W	15.84'
L9	N 00°22'47" E	149.23'
L10	N 44°15'09" E	21.64'

## CURVE TABLE

CURVE #	RADIUS	LENGTH	DELTA	CHORD BEARINGS	CHORD LENGTH
C1	80.00'	23.98'	017°10'28"	N81°05'11"W	23.89'
C2	360.50'	107.72'	017°07'13"	N8°56'25"E	107.32'

## EASEMENT APPROVAL

MURRAY SEWER AND WATER  
DATE  
ENBRIDGE  
DATE  
LUMEN  
DATE

## MURRAY FIRE DEPARTMENT

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_  
BY THE MURRAY FIRE DEPARTMENT.

SIGNED

## PLANNING COMMISSION

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_  
BY THE MURRAY CITY PLANNING COMMISSION.

CHAIRMAN, MURRAY CITY PLANNING COMM.

## MURRAY POWER

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_ BY

SIGNED

## CITY ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.

DATE:

MURRAY CITY ENGINEER

## SURVEYOR'S CERTIFICATE

I, DAVID B. DRAPER, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NUMBER 6861599, AS PRESCRIBED BY TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY THAT BY THE AUTHORITY OF THE OWNER(S) ESI ENGINEERING HAS PERFORMED A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED HEREON, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS, TOGETHER WITH EASEMENTS, HEREFTER TO BE KNOWN AS MURRAY CITY HALL SUBDIVISION, AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND MONUMENTED ON THE GROUND AS SHOWN ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17. I FURTHER CERTIFY THAT ALL LOTS MEET FRONTAGE WIDTH AND AREA REQUIREMENTS OF THE APPLICABLE ZONING ORDINANCES.

DAVID B. DRAPER,  
L.S. LICENSE NO. 6861599

## BOUNDARY DESCRIPTION

A PARCEL OF LAND LOCATED IN THE NORTHWEST QUARTER OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, SAID PARCEL BEING A PORTION OF LOT 2, MURRAY CITY HALL SUBDIVISION, ON FILE AND OF RECORD IN THE OFFICE OF THE SALT LAKE COUNTY RECORDER IN BOOK 2024P, AT PAGE 8, ALSO A PORTION OF THOSE PARCELS CONTAINED IN THAT CERTAIN WARRANTY DEED RECORDED ON NOVEMBER 15, 2016 AS ENTRY NUMBER 12412808, IN BOOK 10499, AT PAGE 8979-8982 AND QUIT-CLAIM DEED RECORDED APRIL 3, 2014 AS ENTRY NUMBER 11828149, IN BOOK 10221, AT PAGE 4582-4583, AND WARRANTY DEED RECORDED APRIL 30, 2025 AS ENTRY NUMBER 14370322, IN BOOK 11567, AT PAGE 7809, AND SPECIAL WARRANTY DEED RECORDED APRIL 1, 2010 AS ENTRY NUMBER 10925594, IN BOOK 9814, AT PAGE 7832-7834, ALL ON FILE AND OF RECORD IN THE OFFICE OF THE SALT LAKE COUNTY RECORDER, SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF 4800 SOUTH STREET, SAID POINT BEING A NORTHWESTERLY CORNER OF SAID LOT 2, SAID POINT ALSO BEING SOUTH 88°07'31" WEST 475.11 FEET ALONG THE MONUMENT LINE OF SAID 4800 SOUTH STREET AND SOUTH 1°52'29" EAST 33.00 FEET FROM A SALT LAKE COUNTY BRASS CAP MONUMENT FOUND AT THE INTERSECTIONS OF SAID 4800 SOUTH AND STATE STREET, AND RUNNING THENCE ALONG SAID RIGHT OF WAY LINE AND THE NORTHERLY LINE OF SAID LOT 2 THE FOLLOWING TWO COURSES: 1) NORTH 88°07'31" EAST 397.96 FEET; 2) SOUTH 45°46'23" EAST 13.64 FEET (SOUTH 45°46'23" EAST 13.65 FEET, RECORD) TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF STATE STREET; SAID POINT ALSO BEING ON THE EASTERLY LINE OF THAT CERTAIN PARCEL CONVEYED IN THAT SAID WARRANTY DEED, ENTRY NUMBER 10925594; THENCE SOUTH 00°19'37" WEST 451.07 FEET (SOUTH 00°05'26" WEST, RECORD) ALONG SAID WESTERLY RIGHT OF WAY LINE TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF 5TH AVENUE, SAID POINT BEING THE SOUTHEAST CORNER OF THAT CERTAIN PARCEL CONVEYED BY SAID QUIT-CLAIM DEED, ENTRY NUMBER 11828149; THENCE NORTH 89°49'14" WEST ALONG SAID NORTHERLY RIGHT OF WAY LINE 226.43 FEET (WEST, RECORD) TO THE SOUTHWEST CORNER OF THAT PARTICULAR PARCEL CONVEYED BY SAID QUIT-CLAIM DEED, ENTRY NUMBER 11828149; THENCE NORTH 00°19'37" EAST ALONG THE WESTERLY LINE OF SAID PARCEL 123.00 FEET (NORTH 126.06 FEET, RECORD); THENCE SOUTH 89°40'23" EAST 10.35 FEET; THENCE NORTH 0°19'37" EAST 86.75 FEET; THENCE NORTH 89°40'23" WEST 86.60 FEET; THENCE SOUTH 0°19'37" WEST 13.10 FEET; THENCE NORTH 89°40'23" WEST 97.26 FEET TO A POINT OF CURVATURE OF A 80.00-FOOT-RADIUS CURVE TO THE RIGHT; THENCE ALONG THE ARC OF SAID CURVE A DISTANCE OF 23.98 FEET, THROUGH A CENTRAL ANGLE OF 17°10'28"; CHORD BEARS NORTH 81°05'11" WEST 23.89 FEET; THENCE NORTH 72°30'00" WEST 15.84 FEET TO A POINT ON THE WESTERLY LINE OF SAID LOT 2, SAID POINT ALSO BEING THE POINT OF CURVATURE OF A NON-TANGENT 360.50 FOOT-RADIUS CURVE TO THE LEFT; THENCE ALONG THE WESTERLY LINE OF LOT 2 THE FOLLOWING THREE (3) COURSES: 1) RUNNING THENCE ALONG THE ARC OF SAID CURVE A DISTANCE OF 107.72 FEET, THROUGH A CENTRAL ANGLE OF 17°07'13"; CHORD BEARS NORTH 08°56'25" EAST 107.32 FEET; 2) NORTH 00°22'47" EAST 149.23 FEET (NORTH 00°22'47" EAST, RECORD); 3) NORTH 44°15'09" EAST 21.64 FEET (NORTH 44°15'09" EAST, RECORD) TO THE POINT OF BEGINNING. CONTAINS 157,665 SQUARE FEET OR 3.620 ACRES.

## OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT I / WE THE UNDERSIGNED OWNER (S) OF THE HEREON DESCRIBED TRACTS OF LAND, HAVING CAUSED THE SAME TO BE DIVIDED INTO LOTS AND STREETS TOGETHER WITH EASEMENTS AS SET FORTH TO BE HEREFTER KNOWN AS THE:

## MURRAY BLOCK ONE SUBDIVISION AMENDING LOT 2, MURRAY CITY HALL SUBDIVISION

DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE. OWNER(S) HEREBY AGREE TO WARRANT AND DEFEND AND SAVE THE CITY HARMLESS AGAINST ANY EASEMENTS OR OTHER ENCUMBRANCES ON THE DEDICATED STREET WHICH WILL INTERFERE WITH THE CITY'S USE, MAINTENANCE, AND OPERATION OF THE STREET. THE UNDERSIGNED OWNERS ALSO HEREBY CONVEY TO ANY AND ALL PUBLIC UTILITY COMPANIES A PERPETUAL, NON-EXCLUSIVE EASEMENT OVER THE PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITY LINES AND FACILITIES. THE UNDERSIGNED OWNERS ALSO HEREBY CONVEY ANY OTHER EASEMENTS AS SHOWN ON THIS PLAT TO THE PARTIES INDICATED AND FOR THE PURPOSES SHOWN HEREON.

IN WITNESS I / WE HAVE HEREUNTO SET OUR HANDS THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_

BY:

## MURRAY CITY ACKNOWLEDGMENT

STATE OF UTAH  
COUNTY OF SALT LAKE

} S.S.

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_, \_\_\_\_\_ PERSONALLY APPEARED BEFORE ME THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR SAID COUNTY OF SALT LAKE, IN SAID STATE OF UTAH, WHO AFTER BEING DULY SWORN, ACKNOWLEDGED TO ME THAT HE IS THE MAYOR OF MURRAY CITY, A PUBLIC BODY OF STATE OF UTAH, AND THAT HE SIGNED THE OWNER'S DEDICATION FREELY AND VOLUNTARILY FOR AND IN BEHALF OF SAID MURRAY CITY FOR THE PURPOSE THEREIN MENTIONED AND ACKNOWLEDGED SAID MURRAY CITY EXECUTED THE SAME.

MY COMMISSION EXPIRES: \_\_\_\_\_

NOTARY PUBLIC  
RESIDING IN SALT LAKE COUNTY

## MURRAY CITY

APPROVED AS TO FORM THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_ BY  
THE MURRAY SEWER DEPARTMENT.

APPROVED AS TO FORM THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_ BY  
THE MURRAY WATER DEPARTMENT.

SIGNED

SIGNED

## MURRAY CITY APPROVAL

PRESENTED TO MURRAY CITY THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_ AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.

MAYOR

ATTEST: CITY RECORDER

# MURRAY BLOCK ONE SUBDIVISION

AMENDING LOT 2, MURRAY CITY HALL SUBDIVISION  
LOCATED IN THE NORTHWEST QUARTER OF SECTION 7,  
TOWNSHIP 2 SOUTH, RANGE 1 EAST,  
SALT LAKE BASE AND MERIDIAN

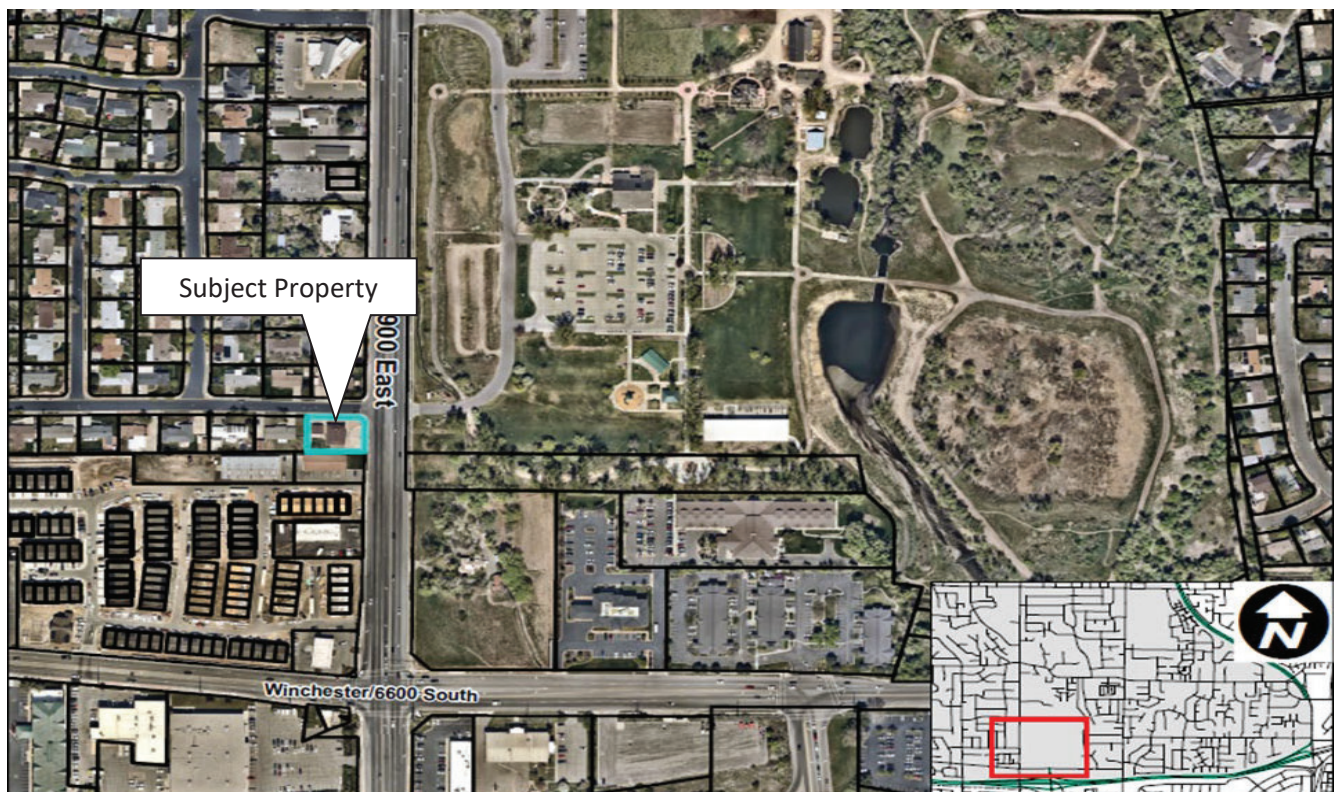
## SALT LAKE COUNTY RECORDER

RECORD NO. \_\_\_\_\_  
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF \_\_\_\_\_  
DATE: \_\_\_\_\_ TIME: \_\_\_\_\_ BOOK: \_\_\_\_\_ PAGE: \_\_\_\_\_  
FEE \$ \_\_\_\_\_  
SALT LAKE COUNTY RECORDER



## AGENDA ITEM #08 - Lusso Office Services

<b>ITEM TYPE:</b>	Zone Map Amendment		
<b>ADDRESS:</b>	6446 South 900 East	<b>MEETING DATE:</b>	September 4 <sup>th</sup> , 2025
<b>APPLICANT:</b>	Claudia Alvarado	<b>STAFF:</b>	David Rodgers, Senior Planner Ruth Ruach, Planner 1
<b>PARCEL ID:</b>	22-20-176-003	<b>PROJECT NUMBER:</b>	25-085
<b>CURRENT ZONE:</b>	R-1-8, Residential Single Family	<b>PROPOSED ZONE:</b>	R-N-B Residential Neighborhood Business
<b>Land Use Designation</b>	Residential Business	<b>PROPOSED DESIGNATION</b>	N/A
<b>SIZE:</b>	.25 acres		
<b>REQUEST:</b>	The applicant would like to amend the Zoning Map for the subject property from R-1-8 to R-N-B to allow for a commercial use.		





## I. BACKGROUND & REVIEW

The owner of the subject property has applied for an amendment to the Murray City Zoning Map from R-1-8 to R-N-B in order to permit the operation of a consulting firm. The subject property is distinguished from adjacent residential lots by its unique history and physical characteristics. Its direct access from 900 East, a feature not common for residential properties in the area, appears to be a remnant of its former use as a live-work preschool. This, combined with a rapid succession of zoning changes following its construction in 1974, suggests the property stands out from the area's conventional residential pattern and supports a case for a zoning change.

### Surrounding Land Uses & Zoning

The subject property is currently located in the R-1-8 zone, situated on 900 East directly across from Wheeler Farm. The surrounding area features a mix of zoning designations, with properties to the south zoned C-D, Commercial Development, and some further north zoned R-N-B.

<u>Direction</u>	<u>Land Use</u>	<u>Zoning</u>
North	Single-Family Residential	R-1-8
South	Commercial/Retail	C-D
East	Parks & Open Space	O-S
West	Single-Family Residential	R-1-8

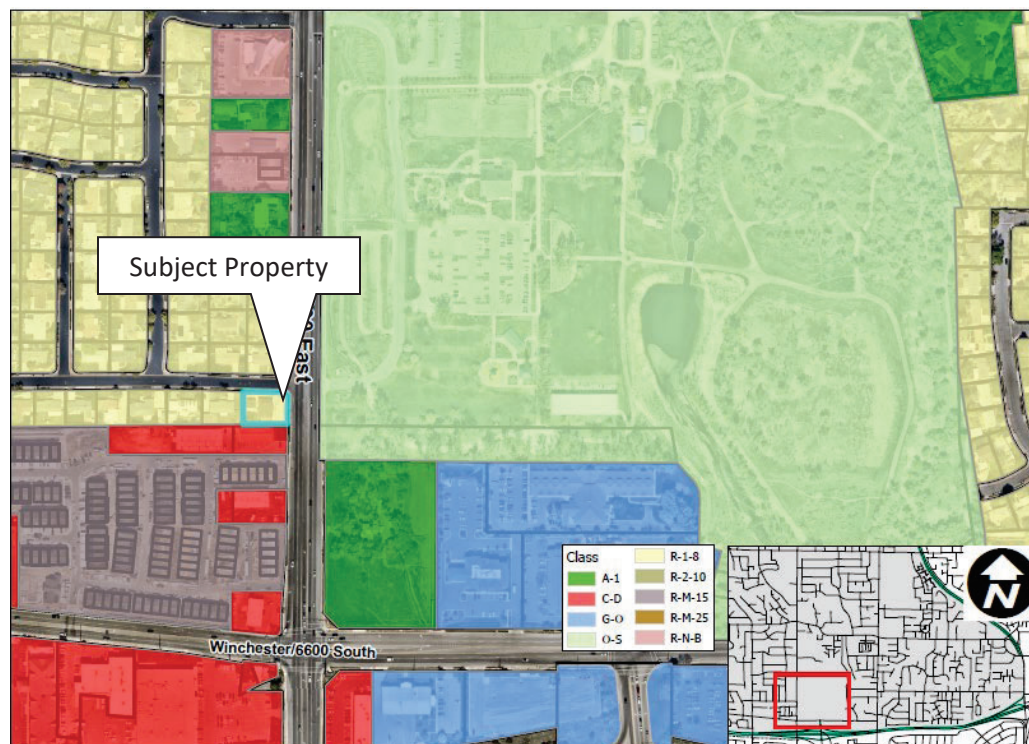


Figure 1: Zoning Map Segment

### Zoning Considerations

Given the property's proximity to other commercial zones and its inclusion within the Residential Business designation in the General Plan, staff finds that the requested rezone would be a suitable fit. This change would align the property with its future land use designation and create consistency with several of the nearby properties.

### Allowed Land Uses

Changing the zone from R-1-8 to R-N-B would allow the applicant to change the property from a single-family dwelling to a commercial use. This will allow the lot to be available for various uses while integrating into the currently existing neighborhood feel and character.

- **Existing R-1-8, Single Family Low Density Residential Zone:**  
Permitted Uses in the proposed R-1-8 include single-family detached dwellings on 8,000 ft<sup>2</sup> lots, utilities, charter schools, and residential childcare facilities.  
  
Conditional Uses in the proposed R-1-8 include attached single-family dwellings (in Planned Unit Developments, or PUDs) telephone stations and relay towers, radio and television transmitting stations, parks, schools and churches, utilities, cemeteries, libraries, and group instruction in single-family dwellings.
- **Proposed R-N-B, Residential Neighborhood Business Zone:**  
Permitted Uses in the proposed R-N-B zone include single-family detached dwellings that must meet the requirements of the R-M-10 zone, twin homes, two-family dwellings (duplex) that must meet the requirements of the R-M-10 zone, residential disability care facilities, residential elderly care facilities, utilities, travel agencies, florists, optical goods, insurance offices, real estate offices, portrait photography, beauty and barber services, physician's offices, dental offices, other medical services, legal services, engineering firms, accounting and tax services, art and design studios, business consulting services, art, drama, and music schools, and dancing schools.  
  
Conditional Uses in the proposed R-N-B include bed and breakfasts, delicatessen and lunch facilities without drive-throughs, health food facilities without drive-throughs, antiques, books and hobby supplies, gift shops and boutiques, banking and credit union services, tanning/sauna/message salon, dental laboratory services, protective functions, K-12 Schools, residential childcare facilities, denominational and sectarian schools, churches, business associations, professional membership organizations, political and civic organizations and non-profit organizations.

## Zoning Regulations

The comparison of the regulations for setbacks, height, and parking between the existing R-1-8 and proposed R-N-B zones are summarized in the table below.

	<b>R-1-8 (existing)</b>	<b>R-N-B</b>
Height	35'	20' (30' with CUP)
Front yard setback	25'	20'
Rear Yard setback	25'	20'
Side Yard setbacks	8' minimum, total of 20'	8'
Corner Yard setback	20'	20'
Parking Required	2 spaces per dwelling	Based on Use

*Table 1: Compared Regulations in existing and proposed zones.*

## Future Land Use Map Designations

Map 5.7 of the Murray City General Plan (the Future Land Use Map) identifies future land use designations for properties in Murray City. The designation of a property is tied to corresponding purpose statements and zones. These “Future Land Use” designations are intended to help guide decisions about the zoning designations of properties. The subject property is currently designated “Residential Business”. This designation calls for this area to be rezoned to R-N-B and thus the proposed rezone meets the intentions of the General Plan.



*Figure 2: Future Land Use Map segment.*



## II. CITY DEPARTMENT REVIEW

The application and materials were distributed to various departments, including the Engineering Division, Building Division, Police Department, Fire Department, Power Department, Water Division, and Wastewater Division for their review and comments on August 19<sup>th</sup>, 2025. All departments approved of the rezone with no comments provided.

## III. PUBLIC COMMENTS

Fifty-eight (58) notices of the public hearing for the requested amendments to the Future Land Use Map and Zone Map were sent to all property owners within 300' of the subject property and to affected entities. As of the date of this report no comments have been received.

## IV. FINDINGS

1. The General Plan provides for flexibility in implementation and execution of the goals and policies based on individual circumstances.
2. Amending the Zoning Map will allow for cohesion as the character of 900 East develops into a mix of housing and commercial opportunities.
3. The proposed Zone Map amendment from R-1-8 to R-N-B has been considered based on the characteristics of the site and surrounding area. The potential impacts of the change can be managed within the uses allowed in the R-N-B zone.
4. The proposed Zone Map amendment from R-1-8 to R-N-B conforms to important goals and objectives of the 2017 Murray City General Plan and will allow an appropriate use of the subject property.

## V. STAFF RECOMMENDATION

Based on the background, analysis, and findings within this report, Staff recommends that the Planning Commission forward a recommendation of **APPROVAL** to the City Council for the requested amendment to the Zoning Map designation of the properties located at **6446 South 900 East** from R-1-8, Low Density Single Family to R-N-B Residential Neighborhood Business as described in the Staff Report.



## NOTICE OF PUBLIC HEARING

September 4<sup>th</sup>, 2025, 6:30 PM

The Murray City Planning Commission will hold a public hearing in the Murray City Council Chambers, located at 10 East 4800 South to receive public comment on the following application:

Claudia Alvarado has applied for a zone map amendment for the property located at **6446 South 900 East**. The applicant is requesting a Zone Map Amendment from R-1-8, Low Density Single Family Residential to R-N-B, Residential Neighborhood Business. The requirements of the zone are located on our website at [www.murray.utah.gov](http://www.murray.utah.gov). **The Planning Commission will be making a recommendation to the City Council for this item. The City Council will conduct another Public Hearing to make a decision regarding this application at a later date.**

To make comments regarding this proposal the public may attend the meeting, call Murray City Planning Division at (801) 270-2430, or email [pc@murray.utah.gov](mailto:pc@murray.utah.gov). You have received this notice because you own property within 300 feet of the subject property.

The meeting will be streamed online, at [www.murraycitylive.com](http://www.murraycitylive.com) or [www.facebook.com/MurrayCityUtah/](http://www.facebook.com/MurrayCityUtah/).



Special accommodations for the hearing or visually impaired will be upon a request to the office of the Murray City Recorder (801-264-2660). We would appreciate notification two working days prior to the meeting. TTY is Relay Utah at #711

Public Notice Dated | August 22<sup>nd</sup>, 2025

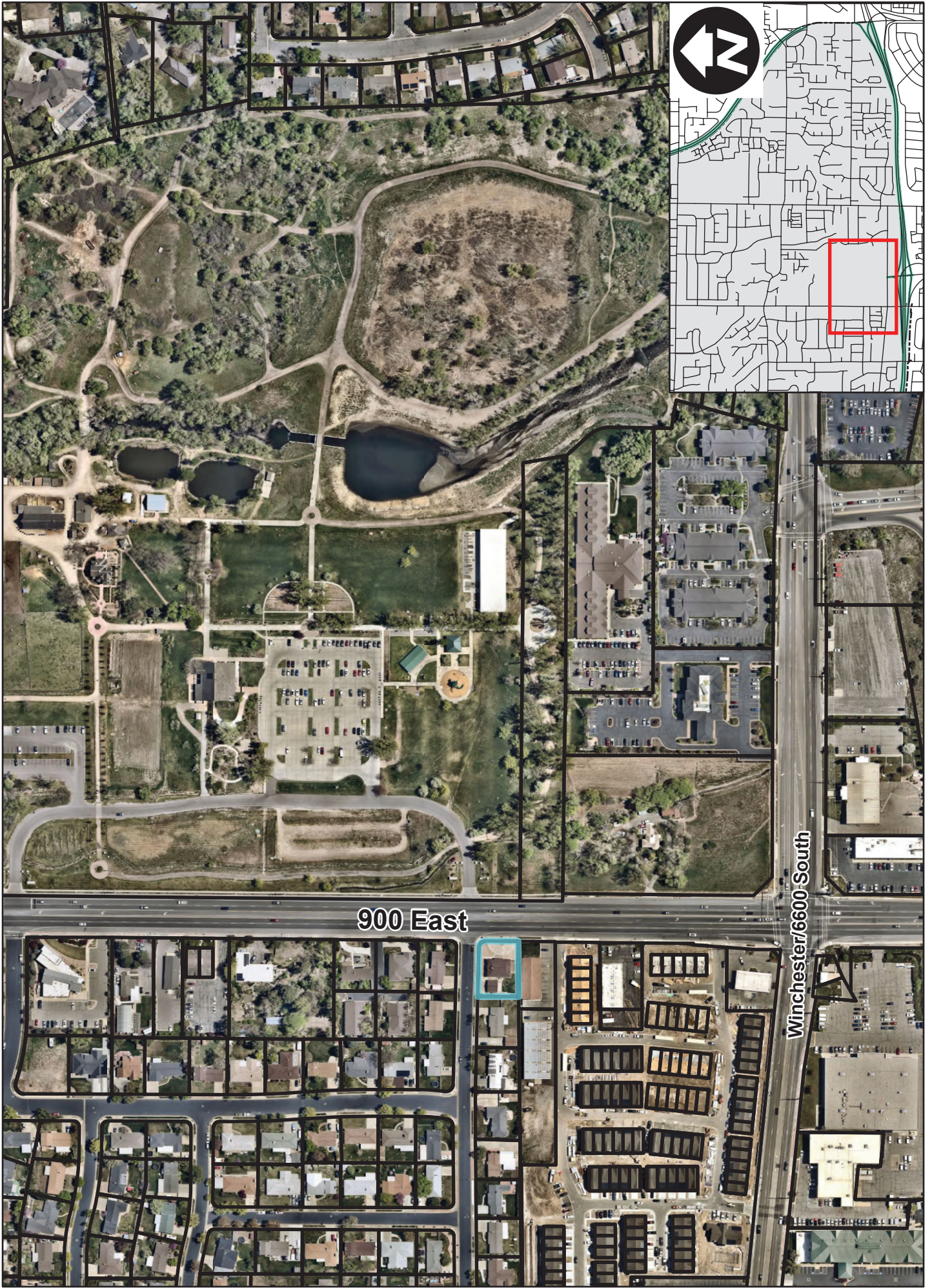


# 6446 South 900 East





# 6446 South 900 East







*DocQuery*

**Parcel Number • 22-20-176-003-0000**

Active Parcel Number

**Acreage • 0.2500**

**Address • 6446 S 900 E • MURRAY • 84121**

**Owner of Record**

ALVARADO, CLAUDIA

**Legal Description • Property Description For Taxation Purposes Only**

LOT 59 SILVER SHADOWS SUB